



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B14-1549

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC:

BUSINESS NAME:

ISSUED: 3/2/2016

DESCRIPTION OF WORK:

Permit for Parking Garage for Gateway Village Apartments by HCA

Garage 209,758 SF

All MEP's have been collected on B14-1484

Main Building B14-1484

Retail/commercial B14-1485



OWNER:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DR STE 550 NEWPORT BEACH, CA 92660	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2016
ARCH/ENG:	HUMPHREYS & PARTNERS 2350 SE BRISTOL ST STE 310 NEWPORT BEACH, CA 92660	PHONE: (949) 955-9400
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: IA

OCCUPANCY TYPE: U Utility Miscellaneous

TOTAL VALUATION \$13,365,779.76

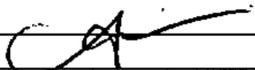
USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$61,164.45	\$62,999.10	\$27.27	\$124,190.82
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$535.00
GMU				\$1,375.00
MISC				\$3,742.42
			TOTAL PERMIT FEES:	\$129,843.24
			TOTAL FEES PAID	\$129,843.24

Comments:

Planning Approval: 
Building Permit Issued By: _____

Date: 3/2/16
Date: _____

Issued Receipt#: _____

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

Signature [Handwritten Signature] Date 3/2/16

*requires separate verification form
**requires separate authorization form

- 5-23-16 CMU 1-6.5 and A 1.-3-75, Party deck level 3~~rd~~ flr
- 5-31-16 level 3 CMU OK to grant. flr
- 6-1-16 shear walls deck level 1 flr
- 6-7-16 slab 4.5 CS line, Line B 1 flr
- 6-9-16 CMU 4th flr line 9-14. flr
- 6-10-16 columns & shear level 4th line 1-9 flr
- 6-18-16 CMU 4th level 7.5-10.2, line L JS
- 6-15-16 4th level shear wall steel JS
- 6-23-16 CMU 4th level flr
- 6-24-16 5th level deck flr
- 7-11-16 5th level deck slab. flr
- 7-12-16 5th level CMU. flr
- 8-4-16 CMU North & East party deck. flr
- 10-4-16 steel std pop outs 1/3 of North side. flr
- 10-7-16 steel std 2/3 North side. flr
- 10-8-16 steel std west side flr
- 11-4-16 Plumbing areas Phase 2 & 3 and 1/2 of 3 RS flr
- 12-5-16 Tower CMU No End loads 1-5 flr

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

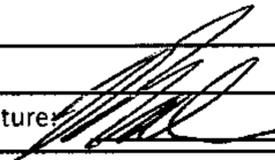
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 3/24/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
5. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Line Underground			410. P/S Approval to Cover-Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Underfmd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Vent/Sebacs			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mud Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P/W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCEFA SPRINKLER SYSTEMS -		
59. OCEFA Fire Sprinkler - Rough			932. FINAL - OCEFA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		

Handwritten initials: H 3018 BUC



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd.

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: _____

Property Owner: Broadstone Laguna Niguel, LLC

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: _____

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: _____

State License No.: 897318 **Class:** B

Expiration: 5/31/2015

Workman's Comp. Policy No.: TRJUB4245B18713

Expiration: 9/15/2014

Insurance Company (if applicable): Travelers Property Casualty Company of America

Architect: Architects Orange **Reg No.:** _____

Phone No.: (714) 639 - 9860

Address: 321 West Chapman Ave.

City: Orange **State:** CA **Zip:** 92866

Email: _____

Engineer: _____ **Reg. No.:** _____

Phone No.: () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____

Email: _____

Description of Work to be Performed (please be specific): _____

6-tier Parking Structure (aka Garage) - 200,469 s.f. 209

main Bldg B14-NB4

14,973,501.60 - per fee sheet sent over

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** IA **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC/Disc

Activity Number:	<u>B14-1549</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/26/14</u>
Planning Division:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input checked="" type="checkbox"/> Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:					
OK for issuance:					
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning J.O.	<input checked="" type="checkbox"/> CAA Steve	<input type="checkbox"/> GMU	<u>Abdullah</u>	
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Michael gave 3 checks - Applied to Garage

1 set sent to Curtis via Eclipse w/T 24 95K



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-0466

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$56,893.30
B14-1549 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Basement/Garage Gateway Village			\$56,893.30
BUILDING			\$51,240.88
CBSC FEE			\$535.00
GEO REVIEW FEE			\$1,375.00
SMIP FEE MF AND COM			\$3,742.42
TOTAL FEES PAID BY RECEIPT:R16-0466			\$56,893.30

Date Paid: Thursday, February 11, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 450 NEWORT CENTER DR STE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CHECK 1466



Alliance 27742 Forbes
Permit B14-1549

Permit Fee

Paid

Due

Parking Garage
209758SF

Plan Check Fees
Building Permit
Permit Issuance
Geo Review fee

61,164.45
62,999.10
27.27
1,375.00

61,164.45
11,785.49
0.00

0.00
51,213.61
27.27
1,375.00

SMIP
Building Standards Fee

3,742.42
535.00

0.00
0.00

3,742.42
535.00

Total Permit Fees Due

129,843.24

72,949.94

56,893.30

TCA Exempt
Impact fees:
CARITS/MP/LN

CUSD

GATEWAY VILLAGE - BROADSTONE LAGUNA NIGUEL LLC

Building Permit Plan Check Valuations

8/17/2015

	Square Feet	Occupancy Type	Cost per Sq. Ft.	Total Valuation
Retail	6,082	"Stores" IIIA	\$ 97.67	\$ 594,028.94
Leasing	2,950	"Offices" IIIA	\$ 123.04	\$ 362,968.00
Apartments	311,579	IIIA	\$ 141.37	\$ 44,047,923.23
Club/Fitness Area	4,940	IIIA	\$ 141.37	\$ 698,367.80
Common Area	107,265	IIIA	\$ 141.37	\$ 15,164,053.05
Basement	43,062	IA	\$ 59.60	\$ 2,566,495.20
Garage	209,758	IA	\$ 59.60	\$ 12,501,576.80
	685,636			\$ 75,935,413.02

Detail

Area 1	30,371
Area 2	49,411
Area 3	36,708
Area 4	50,009
Area 5	51,561
Area 6	16,045
Area 7	27,550
Area 8	43,231
Area 9	35,606
Area 10	34,510
Area 11	41,514
Area 12	16,300

432,816 - Does not include Garage and Basement

Apartments	311,579
Retail	6,082
Leasing	2,950
Club/Fitness	4,940
Common Area	107,265

Deducted from total sq.ft. to arrive at Common Area total.

Freestanding Parking Structure

Lower Tier	13,441
First Tier	38,293
Second Tier	38,081
Third Tier	38,081
Fourth Tier	38,081
Fifth Tier	38,081
Sixth Tier	5,700
Seventh Tier	0
Eighth Tier	0
	209,758

NO TLA
 IMPACT:
 CARTR
 MP
 SCHOOL
 No School

GATEWAY VILLAGE - BROADSTONE LAGUNA NIGUEL LLC

Building Permit Plan Check Valuations

06/10/2014

	Square Feet	Occupancy Type	Cost per Sq. Ft.	Total Valuation
Retail <i>BN-403</i>	6,082	"Stores" IIIA	\$ 97.67	\$ 594,028.94
Leasing	2,635	"Offices" IIIA	\$ 123.04	\$ 324,210.40
✓ Apartments	340,571	IIIA	\$ 141.37	\$ 48,146,522.27
Club/Fitness Area	4,180	IIIA	\$ 141.37	\$ 590,926.60
Common Area	78,865	IIIA	\$ 141.37	\$ 11,149,145.05
Basement	43,062	IA	\$ 59.60	\$ 2,566,495.20
Garage	208,169	IA	\$ 59.60	\$ 12,406,872.40
	683,564			\$ 75,778,200.86

*CNlew
B14-1549*

14,973,367.60

Detail

Area 1	30,181
Area 2	49,943
Area 3	36,968
Area 4	50,115
Area 5	50,799
Area 6	14,332
Area 7	26,789
Area 8	43,693
Area 9	33,184
Area 10	34,320
Area 11	45,457
Area 12	16,552

432,333

- Does not include Garage and Basement

Apartments	340,571
Retail	6,082
Leasing	2,635
Club/Fitness	4,180
Common Area	<u>78,865</u>

Deducted from total sq.ft. to arrive at Common Area total.

Freestanding Parking Structure

Lower Tier	0
First Tier	38105
Second Tier	37773
Third Tier	37773
Fourth Tier	37773
Fifth Tier	37773
Sixth Tier	18972
Seventh Tier	0
Eighth Tier	0
	<u>208,169</u>

Superseded

*MFD Garage/Carport
PIC 73,322.25*



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD. **Suite/Unit:** _____
Applicant/Agent: ALLIANCE RESIDENTIAL **Phone No.:** 949 706-8460
Address: 450 NEWPORT CENTER DR., STE. 550 **DEBRA PEMBER**
City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** debra@developersedge.com
 714-334-8385

Business Name: BROADSTONE LAGUNA NIGUEL LLC **Phone No.:** (949) 706-8460
Address: 450 NEWPORT CENTER DR., STE. 550
City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** _____

Contractor: ALLIANCE RESIDENTIAL BUILDERS II GP, INC. **Phone No.:** 949 706-8460
Address: 450 NEWPORT CENTER DR., STE. 550
City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** B **Expiration:** 5/31/2015
Workman's Comp. Policy No.: TRJUB4245B18713 **Expiration:** 9/15/2014
Insurance Company (if applicable): _____

Architect: HUMPHREYS & PARTNERS **Reg No.:** _____ **Phone No.:** 949 955-9400
Address: 2350 SE BRISTOL STREET, STE 310
City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** NIMA@HUMPHREYS.COM

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Description of Work to be Performed (insofar as be specific):
Basement Garage

<u>Bas</u>	<u>43067 sq ft</u>	<u>2A</u>	<u>59.60/sq ft</u>	<u>2566.495.20</u>
<u>Garage</u>	<u>208169 sq ft</u>	<u>1A</u>	<u>59.60/sq ft</u>	<u>12406872.40</u>
Valuation: \$	Type of Const:	Occupancy Type:	Occupant Load:	

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.
 Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC/Disc

Activity Number:	<u>B14-1549</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/12/14</u>
Planning Division					
HOA or Property Manager Approval Required: _____					
HOA or Property Manager Approval Letter Provided: _____					
OK for Plan Check: _____			Reviewed By: _____ Date: _____		
OK for issuance: _____			Reviewed By: _____ Date: _____		
Building Division					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input checked="" type="checkbox"/> GMU		
<input checked="" type="checkbox"/> Fire	<input checked="" type="checkbox"/> Water	<input checked="" type="checkbox"/> Health	<input checked="" type="checkbox"/> Grading	<u>Abdullah</u>	

B14-1485 - Retail

apsc

B14-1549

B14 1454

X

AP00984

X

B14-1548

X

B12-213

Valuation Details **Job Value: \$16,008,439.32**

+ Add Valuations

Description	QTY	Units	Unit Cost	Amount
<input checked="" type="checkbox"/> <input type="checkbox"/> MISCELLANEOUS VALUATIONS				\$1,035,071.72
<input checked="" type="checkbox"/> <input type="checkbox"/> R2 APARTMENT/CONDOMINIUMS				\$14,973,367.60

S Job Value: \$16,008,439.32

Fees **Charged: \$150,747.05** **Paid: \$0.00** **Due: \$150,747.05**

+ Add **Pay** **Refund** **Receipts** **Deposits** **Un-Pay**

Description	Qty	Amount	Comments	Paid
<input checked="" type="checkbox"/> <input type="checkbox"/> S SMIP FEE 2210		\$1,600.84		
<input checked="" type="checkbox"/> <input type="checkbox"/> S MP, MULTI-FAMILY, PER UNIT 2202		\$0.00		
<input checked="" type="checkbox"/> <input type="checkbox"/> S CBSC FEE 2211		\$641.00		
<input checked="" type="checkbox"/> <input type="checkbox"/> S CARITS 2D, MULTI-FAMILY, PER UNIT 2206		\$0.00		
<input checked="" type="checkbox"/> <input type="checkbox"/> S BUILDING		\$148,505.21		
<input checked="" type="checkbox"/> <input type="checkbox"/> S BUILDING ISSUANCE FEE 3310		\$26.06		
<input checked="" type="checkbox"/> <input type="checkbox"/> S PERMIT FEE - RES 3310		\$75,156.90		
<input checked="" type="checkbox"/> <input type="checkbox"/> S PC RES 3310		\$73,322.25		

S Charged: \$150,747.05

D Deposit Bal: \$0.00



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R14-1846

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$23,979.78
B14-1549 Address: 27742 FORBES RD	Apn: 63603410		\$23,979.78
BUILDING			\$23,979.78
TOTAL FEES PAID BY RECEIPT:R14-1846			\$23,979.78

Date Paid: Thursday, June 26, 2014

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Cashier: AK

Pay Method: CHECK 1059

repaid



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R14-1847

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$35,325.79
B14-1549 Address: 27742 FORBES RD	Apn: 63603410		\$35,325.79
BUILDING			\$35,325.79
TOTAL FEES PAID BY RECEIPT:R14-1847			\$35,325.79

Date Paid: Thursday, June 26, 2014
Paid By: BROADSTONE LAGUNA NIGUEL LLC
Cashier: AK
Pay Method: CHECK 1058

repaired



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R14-1848

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$13,644.37
B14-1549 Address: 27742 FORBES RD	Apn: 63603410		\$13,644.37
BUILDING			\$13,644.37
TOTAL FEES PAID BY RECEIPT:R14-1848			\$13,644.37

Date Paid: Thursday, June 26, 2014

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Cashier: AK

Pay Method: CHECK 1057

referred

GATEWAY VILLAGE - BROADSTONE LAGUNA NIGUEL LLC

Building Permit Plan Check Valuations

8/17/2015

	Square Feet	Occupancy Type	Cost per Sq. Ft.	Total Valuation
Retail	6,082	"Stores" IIIA	\$ 97.67	\$ 594,028.94
Leasing	2,950	"Offices" IIIA	\$ 123.04	\$ 362,968.00
Apartments	311,579	IIIA	\$ 141.37	\$ 44,047,923.23
Club/Fitness Area	4,940	IIIA	\$ 141.37	\$ 698,367.80
Common Area	107,265	IIIA	\$ 141.37	\$ 15,164,053.05
Basement	43,062	IA	\$ 59.60	\$ 2,566,495.20
Garage	209,758	IA	\$ 59.60	\$ 12,501,576.80
	685,636			\$ 75,935,413.02

Detail

Area 1	30,371
Area 2	49,411
Area 3	36,708
Area 4	50,009
Area 5	51,561
Area 6	16,045
Area 7	27,550
Area 8	43,231
Area 9	35,606
Area 10	34,510
Area 11	41,514
Area 12	16,300

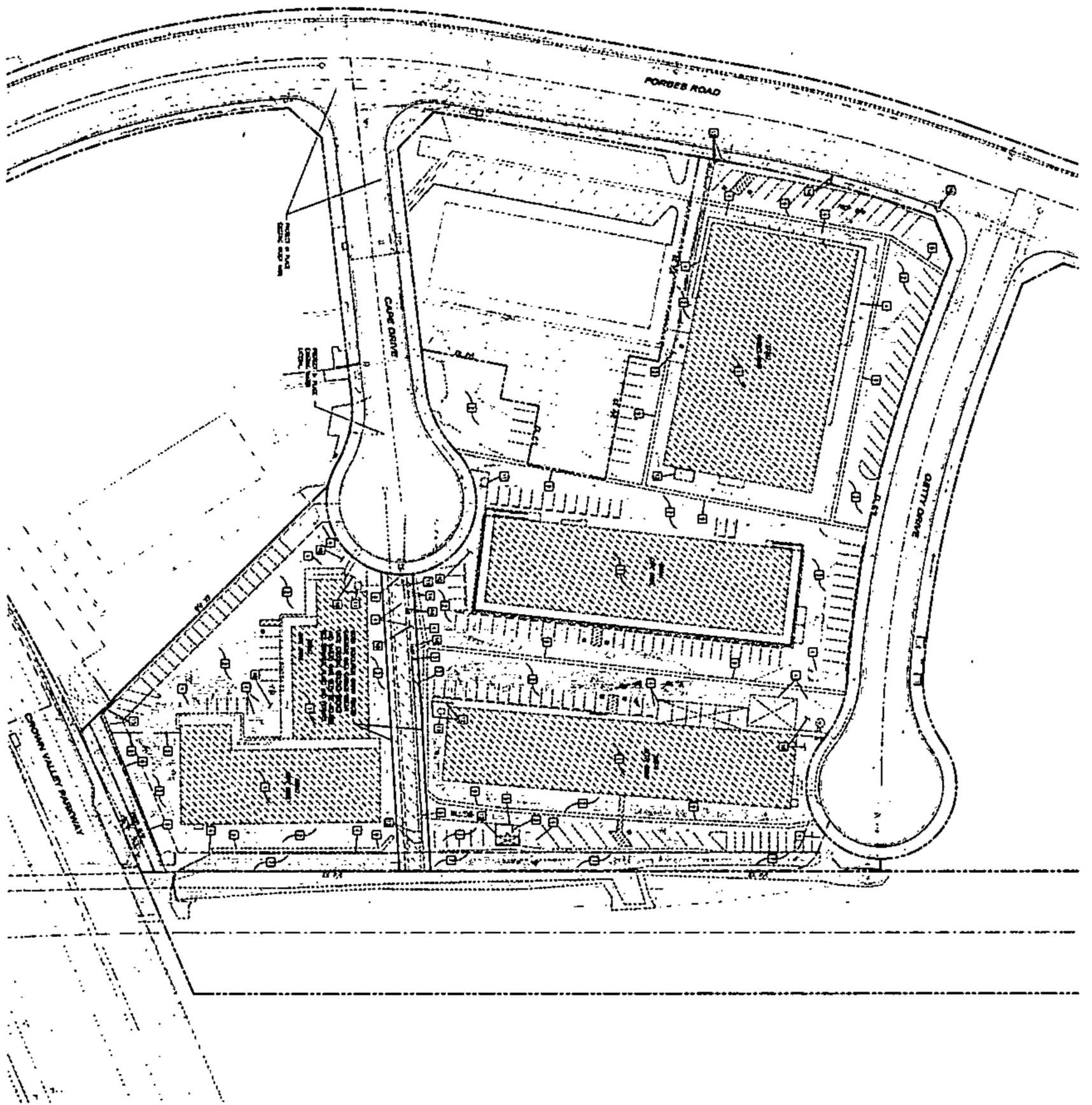
432,816 - Does not include Garage and Basement

Apartments	311,579
Retail	6,082
Leasing	2,950
Club/Fitness	4,940
Common Area	107,265

Deducted from total sq.ft. to arrive at Common Area total.

Freestanding Parking Structure

Lower Tier	13,441
First Tier	38,293
Second Tier	38,081
Third Tier	38,081
Fourth Tier	38,081
Fifth Tier	38,081
Sixth Tier	5,700
Seventh Tier	0
Eighth Tier	0
	<u>209,758</u>



NOTICE TO CONTRACTOR

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

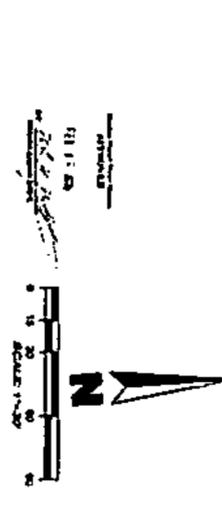
NO.	DATE	REVISIONS

KPR ASSOCIATES
 CONSULTING ENGINEERS ARCHITECTS
 4000 Laguna Hills Road, Suite 200
 Laguna Hills, California 92653
 Phone: 714/444-8888 Fax: 714/444-8889
 Website: www.kpr.com



DEMOLITION PLAN
 GATEWAY VILLAGE
 27742 FORBES ROAD
 LAGUNA NIGUEL, CALIFORNIA

PROJECT NUMBER: 5278032
 SHEET NO.: C-1
 PERMIT # 014-15



LEGEND

[Symbol: Dashed line]	LINE OF EXISTENCE
[Symbol: Solid line]	LINE OF DEMOLITION
[Symbol: Hatched area]	AREAS TO BE DEMOLISHED
[Symbol: Stippled area]	EXISTING UTILITIES

- GENERAL NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.
- DEMOLITION NOTES:**
1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

Antoinette,

I did not receive the str. calculation.

But the engineer attached the new updated calc. w/ responses. Please verify if you have updated structural calcs.

See yellow tag for information. Thanks!

Wanny

P.S. structural calcs. are for both permits (B14-1549 & B15-2244)

Every day we work hard to earn your business, blending the talents of our people with the quality of our products and services to exceed your expectations.





Nancy Chung

City of Laguna Niguel
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
(949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B14-1549
Project Address: 27742 FORBES RD
Valuation: 16008439.32
Project Description: *Permit for Garage/Basement for Gateway Village Apartments by HCA
Basement 43,062 SF
Garage 208,169 SF*

Main Building B14-1484

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :					
2nd Check:					
3rd Check:	8/4/15	8/18/15		8/6/15	nc
4th Check:					

Comments:

Need a complete updated and str. calcs for permit. nc

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

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Project Description: *Permit for Garage/Basement for Gateway Village Apartments by HCA*
Basement 43,062 SF
Garage 208,169 SF

Main Building B14-1484

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	6/26/14	7/14/14	Xxxx		N. CHUNG
2nd Check:	9/24/14	10/8/14	9/26/14		NZ
3rd Check:					
4th Check:					

Comments:

Nancy - Please return plans

in 10 days firm

Thank you - Also they

Final Approval By: _____

Date: _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

Would like redlines
 in plans & a
 cover sheet -
 Thf

For Plan Check #B14-1549 & B15-2244(Foundation only)

CBC 2013 STRUCTURAL DESIGN REQUIREMENT

1ST REVIEW BY: N. Chung DATE: 7/6/2014 CORRECTIONS
2ND REVIEW BY: N. Chung DATE: 9/26/14 CORRECTIONS
3RD REVIEW BY: N. Chung DATE: 8/6/15 APPROVED***

- A. THE ITEMS BELOW REQUIRE CORRECTION OR CLARIFICATION BEFORE THIS PLAN CHECK CAN BE APPROVED FOR PERMIT ISSUANCE. RETURN ALL CORRECTION MATERIAL WHEN RESUBMITTING.
B. NOTE ON THIS CORRECTION SHEET OR ON A SEPARATE SHEET THE LOCATION OF THE COMPLETED CORRECTION. (I.E. SHEET NO., DETAIL, ETC.)

***** Need to submit a complete updated structural calculation for final permit.**

- ~~1. Sheet GS1.1, Concrete: Type V cement shall be used for the concrete that contacts with soil due to high sulfate content. Type II cement can be used for the other areas. Clearly indicate on the plan.~~
- ~~2. Sheet GS1.1, General: Verify the seismic design data with the soil report.~~
- ~~3. Sheet GS1.1, Foundation: Verify the foundation design data with the soil report. Clarify the allowable soil bearing value. See pages 12 & 14 of the soil report.~~
- ~~4. Page A-2 of the structural calculation: Verify the basic allowable soil bearing for pad footing. Per page 12 of the soil report, it shall be 2500 psf. 5000 psf is used in the design.~~
- ~~5. Call out the roof load for the metal deck at towers.~~
- ~~6. Provide structural calculation & framing plan for the towers. See sheets GA0.1.2 & GA5.3.~~
- ~~7. Page B-1 to B-77 of the post-tension calculation: (use calcs at gridline 9 as example)
a. Clearly indicate the location of each span for the post-tension calculation.
b. Call out the number of strands on the plan. (on page B-13 is 17.1)
c. Show controlling rebar on the plan. (on page B-13 is 5 #6)~~
- ~~8. Sheet GS2.2: Call out the spacing of the post-tension strands in the short direction. Similar for other sheets.~~
- ~~9. Page B-4 of the structural calculation: Per structural calculation along gridline 1, 19 post-tension strands are needed. Show these on the plan. Similar for strands at other gridlines. See calculation on pages B-7, B-10, B-13, B-15, B-18, B-22, B-26, B-30, B-35 & B-39.~~
- ~~10. Sheet GS2.0 & page F-31: The shear wall along gridline 14 is loaded on the footing eccentrically. Verify the max soil bearing under the footing due to vertical load and moment.~~
- ~~11. Sheet GS3.1, pages C-1 to C-6 of the structural calculation: Provide calculation for the rebars in the columns that are on the column schedule.~~
- ~~12. Detail 11/GS3.1: Provide structural calculation for the light pole footing (base). Consider the worst case.~~
- ~~13. Details 1, 4/GS4.1: Provide structural calculation for the footings.~~
- ~~14. Detail 1/GS4.2: Provide structural calculation for the retaining wall. Verify the location of the main vertical rebars (at dirt side or inside face of the wall). See comments on the plan.~~
- ~~15. Sheet GS2.0: Call out the width of the footing for the column @ gridline F-6.~~
- ~~16. Details 12 & 17/GS6.1: Provide structural calculation for these details. See sheet GS2.0 for the locations of these reference details.~~
- ~~17. Provide elevator shaft framing. Reference the details (such as details 18,19/GS1.4) to the framing plan. See comments on sheet GS2.6A~~

For Plan Check (B14-1449 & B15-2244 Foundation only)

CBC 2013 STRUCTURAL DESIGN REQUIREMENT

DATE	BY	REVISIONS

- A. THE TERMS BELOW REQUIRE CORRECTION OR CLARIFICATION BEFORE THE PLAN CHECK CAN BE APPROVED FOR PERMIT ISSUANCE. RETURN ALL CORRECTION MATERIAL WITH REWORKING SHEET NO. DETAIL, ETC.)
- B. NOTE ON THIS CORRECTION SHEET OR A SEPARATE SHEET THE LOCATION OF THE COMPLETED CORRECTION. I.E.

*** Need to submit a complete updated structural calculation for final permit.

- 1. Sheet G21 - General. Type V-concrete shall be used for the concrete that connects with self-draining light-to-concrete. Type II cement can be used for the other areas. Clearly indicate on the plan.
- 2. Sheet G21 - General. Verify the seismic design data with the soil report.
- 3. Sheet G21 - Foundation. Verify the foundation design data with the soil report. Clarify the allowable soil bearing capacity & depth of the soil report.
- 4. Page A-2 of the structural calculation. Verify the design allowable soil bearing capacity. Found Page 15 of the calculation. It shall be 2500 psf - 2000 psf as used in the design. Call out the rod load for the metal deck of the work.
- 5. Provide structural calculation for the lower - see sheets G21, G22, G23.
- 6. Page B-1 to B-17 of the structural calculation. Use cases of 9 and 8 as examples. a. Clearly indicate the location of each step for the best-fair calculation. b. Call out the number of strands on the plan (on page B-13 is 17-17). c. Show controlling top and bottom for page B-13 is 8-16).
- 7. Sheet G22. Call out the location of the best-fair calculation in the other direction. Similar to other sheets.
- 8. Page B-4 of the structural calculation. Provide structural calculation along gridline 18-foot. Lateral struts are needed. Show these on the plan. Similar for struts at other gridlines. See calculation on page B-10, B-11, B-12, B-13, B-14, B-15, B-16, B-17, B-18, B-19, B-20, B-21, B-22, B-23, B-24, B-25, B-26, B-27, B-28, B-29, B-30, B-31, B-32, B-33, B-34, B-35, B-36, B-37, B-38, B-39, B-40, B-41, B-42, B-43, B-44, B-45, B-46, B-47, B-48, B-49, B-50, B-51, B-52, B-53, B-54, B-55, B-56, B-57, B-58, B-59, B-60, B-61, B-62, B-63, B-64, B-65, B-66, B-67, B-68, B-69, B-70, B-71, B-72, B-73, B-74, B-75, B-76, B-77, B-78, B-79, B-80, B-81, B-82, B-83, B-84, B-85, B-86, B-87, B-88, B-89, B-90, B-91, B-92, B-93, B-94, B-95, B-96, B-97, B-98, B-99, B-100.
- 9. Sheet G23. Provide structural calculation for the light-to-concrete (base) - General. The steel case.
- 10. Detail H24.1. Provide structural calculation for the footing.
- 11. Detail H24.2. Provide structural calculation for the retaining wall. Verify the location of the main vertical struts (at 6'-0" or intervals) of the wall. See comments on the plan.
- 12. Sheet G24. Call out the width of the footing for the column @ gridline 18-3.
- 13. Details 15-8 & 15-9. Provide structural calculation for these details. See sheet G25 for the location of these rebar details.
- 14. Provide elevation of the footing. Refer to details (such as detail 15-8, 15-9, 15-10) for the footing plan. See comments on sheet G25.

- ~~18. See comments on pages table of contents, A 2, A 6, A 9, A 25, D 1 & F 31 of the structural calculation. Need to submit the revised structural calculation.~~
- ~~19. See additional comments on sheets GS1.1, GS2.0, GS2.2, GS4.1, GS4.2, GS5.1, GS5.2, GS5.3, GS5.6 & GS5.7 & GS2.6A.~~
- ~~20. Return marked up sheets and complete revised set of drawings for recheck.
If you have any questions, you can reach me at nancychung@caaprofessionals.com.~~



Architects Orange

144 North Orange Street
Orange, California 92866
Ph (714) 639-9860
Fax (714) 639-5286



Plan Review Comments

Plan Check Response: #2

Plan Check #: B14-1549

Permit Application #:

Job Address: 27742 Forbes Road

Date: July 30, 2015

Project Name: Alliance Laguna

Project #: 2014-107

Prepared By: Jason Rupp

Attention: Curtis Randolph (Architectural, Mechanical, Plumbing, Electrical)
Charles Abbott Associates Inc.
760-713-9451

Nancy Chung (Structural)
Charles Abbott Associates Inc.

RECEIVED

AUG 04 2015

CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT

Dear Team

The following are plan changes to the approved sets. If you have any questions that I can assist with please do not hesitate to give me a call.

Thank you,
Jason Stuart Rupp,
714-639-9860 x422

Architectural

- GA0.1.2 We have revised a portion of the North Elevation at the request of Planning.
- GA0.1.3 We have revised a portion of the North Elevation at the request of Planning.
- GA2.0 We have added a storage room at gridlines 4/5 and F/G.
We have added additional wall sections for ease of construction. (all floors)
We have revised a portion of wall from CMU to concrete at 4/L. (all floors)
We coordinated the end of the shearwall with structural at 14/H. (all floors)
We have revised the elevator shaft size at 1/L. (all floors)
- GA2.1 We have added a bike service room at gridlines 4/5 and D/E.
We have revised the elevator shaft size at 14/L. (all floors)
- GA3.1 We have revised a portion of wall from CMU to concrete at 4/L. (all floors)
We have revised a portion of the North Elevation at the request of Planning.
- GA3.2 We coordinated the end of the shearwall with structural at 14/H. (all floors)
- GA3.3 We have added additional detailing for ease of construction.
We have revised a portion of the North Elevation at the request of Planning.
- GA4.1 We have revised a portion of wall from CMU to concrete at 4/L.
We coordinated the end of the shearwall with structural at 14/H.
- GA4.2 We have revised a portion of wall from CMU to concrete at 4/L.
- GA5.1-GA5.8 We have added additional detailing for ease of construction.
We have revised a portion of the North Elevation at the request of Planning.
- GA6.1 We coordinated the end of the shearwall with structural at 14/H. (all floors)
We have revised the elevator shaft size at 14/L.
- GA6.2 We have revised the elevator shaft size at 14/L.
- GA6.3 We have revised the elevator shaft size at 1/L.
- GA6.4 We have revised the elevator shaft size at 1/L.
- GA6.5 We have added a storage room at gridlines 4/5 and F/G.
- GA6.5 We have added a bike service room at gridlines 4/5 and D/E.

- GA6.6 We have revised the elevator shaft size at 1/L.
We have revised the elevator shaft size at 14/L.
- GA7.1 We have added the doors for the storage and bike rooms.
- GA8.2 We have added 4 waterproofing details.
- GA8.3 We have added an access ladder to the tower at gridline A.
- GA10.1 thru We have added additional detailing for ease of construction.
- GA10.6 We have revised a portion of the North Elevation at the request of Planning.

Structural

- General Nancy, We have also attached the comments from the Engineer to your previous comments as well at the back of this document.
- General Updated background.
- GS2.0 A cmu wall footing was added for the room near grid G.5/4.5.
Wall section 2/GS4.3 is called out near grid L/4.1 for a concrete wall section.
The pad footings at J/5.2 and K/5.2 were changed.
The dimensions of the footing for the elevator shaft was modified and previous pad footing was removed.
The dimension for the start of the grid 14 shear wall footing was changed due to the modification of the end of the concrete wall.
- GS4.3 Wall section 2 was added and called out on GS2.0.
- GS5.3 The edge of the shear wall was adjusted near grid H.

Mechanical

No revisions, just updated backgrounds.

Plumbing

- PG1.1 Added waste piping for floor drains and the proposed sink above, added hub drain and associated plumbing, added sewage ejector and associated discharge piping. Added water line for the hose bibb and trap primer in the trash room.
- PG1.2 Added floor drain and associated vent piping in the trash room, added water line to the hose bibb and trap primer. Added water line and instant hot to the proposed sink and ice maker, added associated waste and vent. Added pumped discharge line from sewage ejector below and a POC to street.
- PG1.3-1.6 Added vents for added floor drains, hub drain and sink located at lower level.

Electrical

- GE-3 Added 1 fixture in the new storage room.
- GE-4 Added 3 fixtures in the new bike room.



PLAN CHECK COMMENT REPSONSES
Laguna Niguel Broadstone Parking Structure
Laguna Niguel, CA

PLAN CHECK NO.: 814-1549

October 30, 2014



3. Sheet GS1.2, Foundation: Verify the foundation design data with the soil report. Clarify the allowable soil bearing value.
See revised soil report showing the new bearing value using the rammed aggregate piers.
2nd Comment: See pages 12 and 14 of the soil report.
Page 12 of the soils report lists an allowable bearing pressure of 5,000 psf which was used for the foundation design.
4. Page A-2 of the structural calculation: Verify the basic allowable soil bearing for pad footing. Per page 12 of the soil report, it shall be 2500 psf. 5000 psf is used in the design.
See revised soil report showing the new bearing value using the rammed aggregate piers.
2nd Comment: No additional comment listed.
See revised soil report showing the new bearing value using the rammed aggregate piers.
17. Provide elevator shaft framing. Reference the details (such as details 18, 19/GS1 .4) to the framing plan
See revised plans.
2nd Comment: See comments on sheet GS2.6A.
See revised GS2.6A.
18. See comments on pages table of contents, A-2, A-6, A-9, A-25, D-1 & F-31 of the structural calculation
 - A. *Table of Contents: The diaphragm calculations have been included in this submittal.*
 - B. *A-2: See revised soils report for 5,000 psf allowable bearing pressure.*
 - C. *A-2: During the design phase, the owner requested the potential for car ports be included in the structural system. The dead and live load of 25 and 12 psf cover the potential car ports.*
 - D. *A-6: The last pad footing referenced should be at grid C/3.8.*
 - E. *A-9: Near the submittal date, grid L replaced grid M on the architectural grids. All grid M references apply to grid L in the current state of the drawings.*
 - F. *A-25: See response to A-9.*
 - G. *D-1: A slightly larger value of S_{ds} was used in the design, but is listed correctly on GS1.1.*
19. See additional comments on sheets GS1.1, GS2.0, GS2.2, GS4.1, GS4.2, GS5.1, GS5.2, GS5.3, GS5.6 & GS5.7.
 - A. *GS1.1: The seismic design values have been updated to match the soils report.*
 - B. *GS1.1: See the revised soils report for the updated allowable bearing values.*

- C. *GS2.0: The footing call out F7 exceeds the minimum size shown on calculation page A-7.*
 - D. *GS5.6: See updated grid reference.*
 - E. *GS5.7: See updated grid reference.*
 - F. *GS2.6A: See updated GS2.6A for metal deck call out.*
20. Return marked up sheets and complete revised set of drawings for recheck.
Understood.
21. If you have any questions, you can reach me at nancychung@caaprofessionals.com.

Pad Footing Design

Project: Laguna Broadstone - Alliance
Grid: Typ at C and D

Trib Width ₁ :	28.5 ft	Trib Width ₂ :	28.5 ft	Trib Width ₃ :	0 ft
Trib Length ₁ :	22.5 ft	Trib Length ₂ :	22.5 ft	Trib Length ₃ :	0 ft
Trib Area ₁ :	641.3 ft ²	Trib Area ₂ :	641.3 ft ²	Trib Area ₃ :	0.0 ft ²

Soil Pressure: 5000 psf

Amp. Factor: 1.15

		<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>	
DL ₁ :	115 psf	5	424.0 kips		
LL ₁ :	32 psf	5		118.0 kips	
DL ₂ :	25 psf	1	18.4 kips		
LL ₂ :	12 psf	1		8.8 kips	
DL ₃ :	0 psf	0	0.0 kips		
LL ₃ :	0 psf	0		0.0 kips	
	Misc Load:		15.0 kips	0.0 kips	
			Total:	457.5 kips	126.8 kips
					Total
					584.3 kips

Area Req'd: 116.9 ft²
 Square Dim: 10.81 ft

Pu = 752 kips

Use: 11.5 ft square by 33 inches thick
 with: 12 #8 E.W. (B)

Pac Footing Design

Project: Laguna Broadstone - Alliance

Grid: D/6, D/7 and ~~C/3~~

C/3.8

Trib Width ₁ : 25 ft	Trib Width ₂ : 25 ft	Trib Width ₃ : 0 ft
Trib Length ₁ : 22.5 ft	Trib Length ₂ : 22.5 ft	Trib Length ₃ : 0 ft
Trib Area ₁ : 562.5 ft ²	Trib Area ₂ : 562.5 ft ²	Trib Area ₃ : 0.0 ft ²

Soil Pressure: 5000 psf

Ampl. Factor: 1.15

		<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf	5	372.0 kips	
LL ₁ :	32 psf	5		103.5 kips
DL ₂ :	25 psf	1	16.2 kips	
LL ₂ :	12 psf	1		7.8 kips
DL ₃ :	0 psf	0	0.0 kips	
LL ₃ :	0 psf	0		0.0 kips
Misc Load:			15.0 kips	0.0 kips
Total:			403.1 kips	111.3 kips
				Total
				514.4 kips

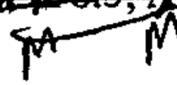
Area Req'd: 102.9 ft²
 Square Dim: 10.14 ft

Pu = 662 kips

Use: 11 ft square by 32 inches thick
 with: 11 #8 E.W. (B)

Pad Footing Design

Project: Laguna Broadstone - Alliance

Grid: ~~M/5.2, #0.5, #9.5~~ *48.5 & 49.5*


Trib Width ₁ :	28.5 ft	Trib Width ₂ :	28.5 ft	Trib Width ₃ :	0 ft
Trib Length ₁ :	10 ft	Trib Length ₂ :	10 ft	Trib Length ₃ :	0 ft
Trib Area ₁ :	285.0 ft ²	Trib Area ₂ :	285.0 ft ²	Trib Area ₃ :	0.0 ft ²

Soil Pressure: 5000 psf

Ampl. Factor: 1.15

			<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf		4	150.8 kips	
LL ₁ :	32 psf		4		42.0 kips
DL ₂ :	25 psf		1	8.2 kips	
LL ₂ :	12 psf		1		3.9 kips
DL ₃ :	0 psf		0	0.0 kips	
LL ₃ :	0 psf		0		0.0 kips
		Misc Load:		100.0 kips	0.0 kips

			Total
Total:	259.0 kips	45.9 kips	304.8 kips

Area Req'd: 61.0 ft²
 Square Dim: 7.81 ft

Pu = 384 kips

Use: 8.5 ft square by 26 inches thick
 with: 11 #6 E.W. (B)

Pad Footing Design

Project: Laguna Broadstone - Alliance

Grid: ~~M/12~~ and M/13

C/12 & C/13

Trib Width ₁ :	29 ft	Trib Width ₂ :	29 ft	Trib Width ₃ :	0 ft
Trib Length ₁ :	10 ft	Trib Length ₂ :	10 ft	Trib Length ₃ :	0 ft
Trib Area ₁ :	290.0 ft ²	Trib Area ₂ :	290.0 ft ²	Trib Area ₃ :	0.0 ft ²

Soil Pressure: 5000 psf

Amp. Factor: 1.15

		<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf	4	153.4 kips	
LL ₁ :	32 psf	4		42.7 kips
DL ₂ :	25 psf	1	8.3 kips	
LL ₂ :	12 psf	1		4.0 kips
DL ₃ :	0 psf	0	0.0 kips	
LL ₃ :	0 psf	0		0.0 kips
Misc Load:			175.0 kips	0.0 kips
Total:			336.7 kips	46.7 kips
				Total
				383.4 kips

Area Req'd: 76.7 ft²
 Square Dim: 8.76 ft

Pu = 479 kips

Use: 9.5 ft square by 28 inches thick
 with: 8 #8 E.W. (B)

LATERAL ANALYSIS

$$V = \frac{S_{DS} I W}{R}$$

$$S_{DS} = 0.937 \text{ (SOILS REPORT)}$$

$$R = 6.0$$

$$V = \frac{0.937 (1.0) W}{6.0} = \underline{\underline{0.156 W}}$$

$$V_{FUR} = 38,400 (0.156) = 5,960^k \text{ FUR}$$

$$V_{S2.1} = 0.156 (12,100) = 1,888^k$$

$$V_{S2.6} = 0.156 (6,600) = 1,030^k$$

(ROOF)

$$V_{TOT} = 4 (5,960) + 1,888 + 1,030 = \underline{\underline{25,848^k}}$$

$$V = 0.156 (25,848) = \underline{\underline{4,032^k}}$$

Rough Grading Release *Geopiers only*

PERMIT NUMBER G/4-15 DATE 9/11/15

TRACT _____

LOCATION 27742 Fisher Rd - Alliance Residential

~~LOTS~~ APPROVED Geopiers Only - See Grids below

OWNER Alliance Residential

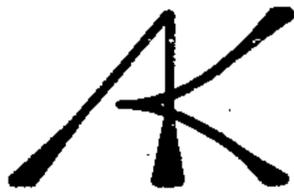
Owner's Address 450 Newport Center Dr. ste 550

Special requirements Grids 1-3.5 by A-L and

3.5-11.4 by A-D.5

Grading Inspector [Signature]

Grading Supervisor [Signature]



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

September 10, 2015
J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California

References: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 8, 2015 (J.N. 2176.01).

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).

Dear Mr. McCann,

This correspondence is intended to notify you that rough grading for another portion of the proposed parking structure has been completed. The limits under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work within the at grade portion of the parking lot structure generally involved the removal of the upper 2 feet of existing artificial fill materials and fill placement to achieve the desired pad grade. Within the below grade level of the parking structure, the parking structure was excavated down to proposed pad grade exposing artificial fill materials and native alluvial soils consistent with the anticipated site conditions presented in our referenced report. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad area as identified on the attached Plate 1 is deemed suitable for commencement of construction of the Geopiers. Recommendations provided in our referenced report remain applicable to design and construction of the project.

The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

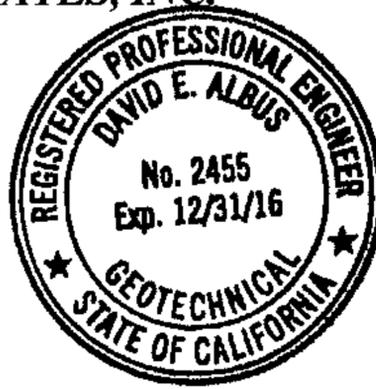
We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



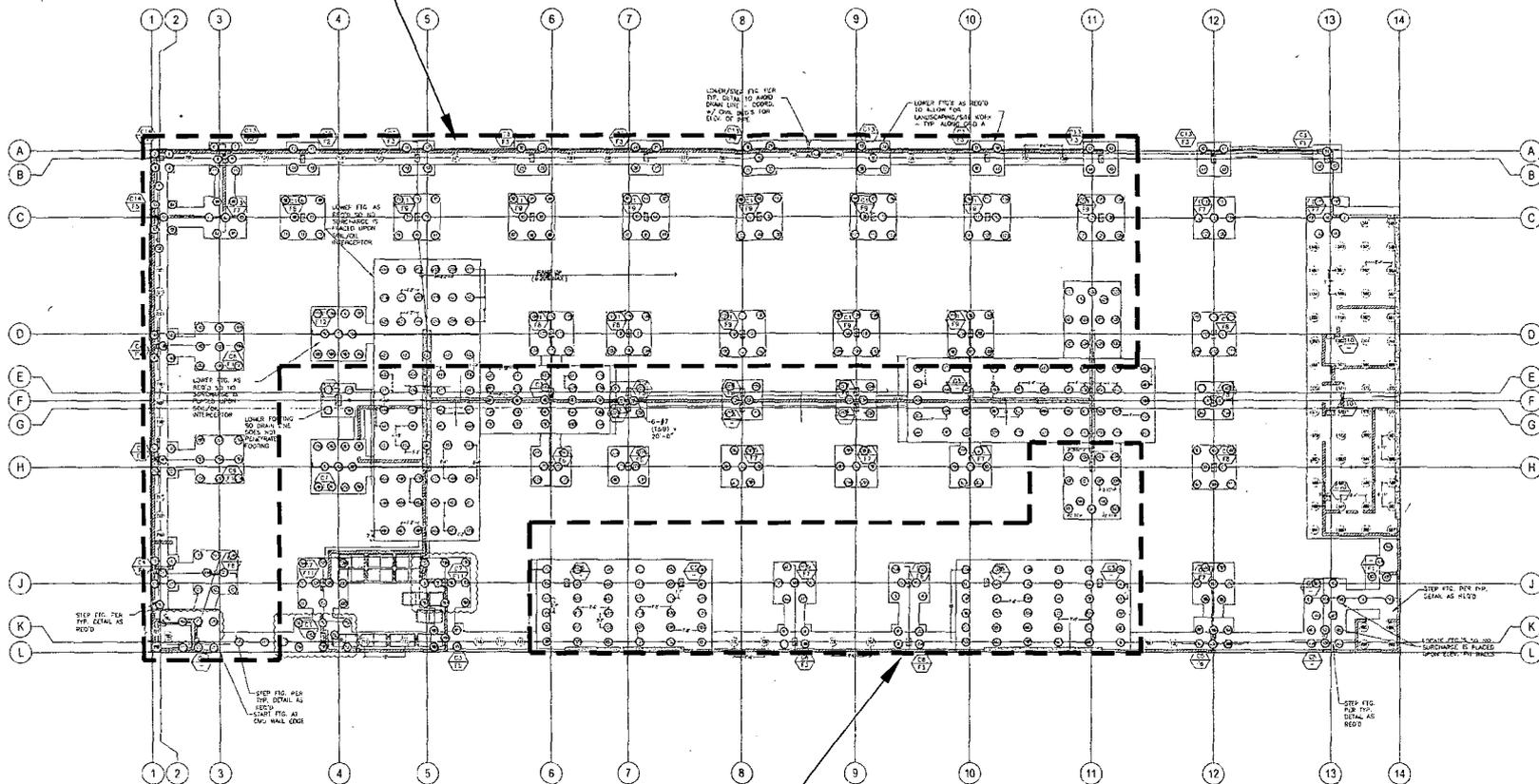
David E. Albus
Principal Engineer
GE 2455



Enclosure:

Plate 1 – Limits of Approval

LIMITS OF APPROVAL
PER THIS LETTER



LIMITS OF APPROVAL
PER AKA LETTER 09/08/15

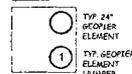


DAE



1 GEOPIER LOCATION PLAN
3/32" = 1'-0"

LEGEND



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

LIMITS OF APPROVAL

Job No.: 2176.01 Date: 09/10/15 Plate: 1

GEOPIER LOCATION PLAN NOTES

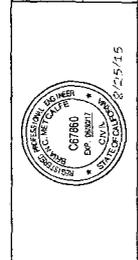
1. FOOTING CONCRETE SHALL BE PLACED DIRECTLY ON TOP OF EXPOSED GEOPIER ELEMENTS.
2. ALL EXISTING AND PROPOSED UTILITIES WITHIN AND ADJACENT TO THE PROPOSED BUILDING FOOTPRINT SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND CORROBORATED WITH THE QUANTITY INSTALLER BEFORE GEOPIER ELEMENT INSTALLATION SHALL PROCEED.
3. PLAN FOR GEOPIER FOOTING ONLY. PLEASE REFER TO GENERAL STRUCTURE ENGINEERING AND PLANS FOR FOOTING LAYOUT AND ORIENTATION.
4. GEOPIER ELEMENTS, INTER-MALL FOOTINGS AND/OR MISCELLANEOUS FOUNDATION ELEMENTS SHALL BE LOCATED IN THE FIELD AS SHOWN, DIMENSIONED FROM CONTROL POINTS ESTABLISHED FROM STRUCTURAL AND/OR ARCHITECTURAL PLANS.

GEOPIER®

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Geopier is a registered trademark of Geopier Foundation Company, Inc. and is protected under U.S. Patent No. 8,425,712; 8,688,815; 8,945,823; 8,248,822; 7,282,260; 6,234,760; 7,334,441; 6,524,752; 7,328,044 and other pending patents.

DATE	REVISION



CROSSING AT LAGUNA NIGUEL
LAGUNA NIGUEL, CALIFORNIA

GEOPIER®
GEOPIER FOUNDATION COMPANY
DIVISION OF NORTH CAROLINA 2025
1000 W. HAYNES WAY, TRAYLOR, NC 27570

PROJECT NUMBER
CDC-196

DRAWN BY: SMC

CHECK BY: BCV

DATE: 8/25/15

SHEET NUMBER
GP1.1

Rough Grading Release *Geopiers only*

PERMIT NUMBER G14-15 DATE 9/9/15

TRACT _____

LOCATION 27742 Forbes Rd - Alliance

LOTS APPROVED Geopiers only -

OWNER Alliance Residential Company

Owner's Address 450 Newport Center Dr., Newport Beach, CA

Special requirements Foundation Grids 5-8 - 11.4 by H.S-1
and 10.5 - 11.4 by G.6 - H.S.

Grading Inspector [Signature]

Grading Supervisor _____



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: September 9, 2015

PROJECT DESCRIPTION: Proposed Parking Structure Partial Rough Grading

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Michael McCann, Alliance Residential



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.

23241 Arroyo Vista

Rancho Santa Margarita, CA 92688

(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

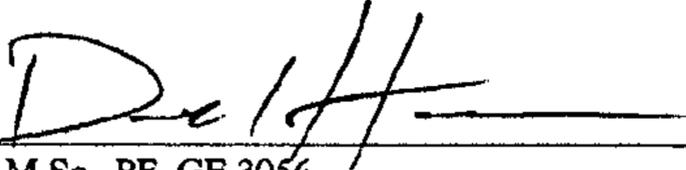
REFERENCE NO.: G14-015

DATE: September 9, 2015

COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: _____


David Hansen, M.Sc., PE, GE 3056
Senior Geotechnical Engineer



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: G14-015

DATE: September 9, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.

Architects Orange

144 North Orange Street
Orange, California 92866
Ph (714) 639-9860
Fax (714) 639-5286



Plan Review Comments

Plan Check Response:	#2	Date:	July 30, 2015
Plan Check #:	B14-1549	Project Name:	Alliance Laguna
Permit Application #:		Project #:	2014-107
Job Address:	27742 Forbes Road	Prepared By:	Jason Rupp

Attention: Curtis Randolph (Architectural, Mechanical, Plumbing, Electrical)
Charles Abbott Associates Inc.
760-713-9451

Nancy Chung (Structural)
Charles Abbott Associates Inc.

*Grady OK
9/10/15*

Dear Team

The following are plan changes to the approved sets. If you have any questions that I can assist with please do not hesitate to give me a call.

Thank you,
Jason Stuart Rupp,
714-639-9860 x422

RECEIVED

AUG 04 2015

**CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT**

Architectural

- | | |
|-------------|---|
| GA0.1.2 | We have revised a portion of the North Elevation at the request of Planning. |
| GA0.1.3 | We have revised a portion of the North Elevation at the request of Planning. |
| GA2.0 | We have added a storage room at gridlines 4/5 and F/G.
We have added additional wall sections for ease of construction. (all floors)
We have revised a portion of wall from CMU to concrete at 4/L. (all floors)
We coordinated the end of the shearwall with structural at 14/H. (all floors)
We have revised the elevator shaft size at 1/L. (all floors) |
| GA2.1 | We have added a bike service room at gridlines 4/5 and D/E.
We have revised the elevator shaft size at 14/L. (all floors) |
| GA3.1 | We have revised a portion of wall from CMU to concrete at 4/L. (all floors)
We have revised a portion of the North Elevation at the request of Planning. |
| GA3.2 | We coordinated the end of the shearwall with structural at 14/H. (all floors) |
| GA3.3 | We have added additional detailing for ease of construction.
We have revised a portion of the North Elevation at the request of Planning. |
| GA4.1 | We have revised a portion of wall from CMU to concrete at 4/L.
We coordinated the end of the shearwall with structural at 14/H. |
| GA4.2 | We have revised a portion of wall from CMU to concrete at 4/L. |
| GA5.1-GA5.8 | We have added additional detailing for ease of construction.
We have revised a portion of the North Elevation at the request of Planning. |
| GA6.1 | We coordinated the end of the shearwall with structural at 14/H. (all floors)
We have revised the elevator shaft size at 14/L. |
| GA6.2 | We have revised the elevator shaft size at 14/L. |
| GA6.3 | We have revised the elevator shaft size at 1/L. |
| GA6.4 | We have revised the elevator shaft size at 1/L. |
| GA6.5 | We have added a storage room at gridlines 4/5 and F/G. |
| GA6.5 | We have added a bike service room at gridlines 4/5 and D/E. |

GA6.6	We have revised the elevator shaft size at 1/L. We have revised the elevator shaft size at 14/L.
GA7.1	We have added the doors for the storage and bike rooms.
GA8.2	We have added 4 waterproofing details.
GA8.3	We have added an access ladder to the tower at gridline A.
GA10.1 thru GA10.6	We have added additional detailing for ease of construction. We have revised a portion of the North Elevation at the request of Planning.

Structural

General	Nancy, We have also attached the comments from the Engineer to your previous comments as well at the back of this document.
General GS2.0	Updated background. A cmu wall footing was added for the room near grid G.5/4.5. Wall section 2/GS4.3 is called out near grid L/4.1 for a concrete wall section. The pad footings at J/5.2 and K/5.2 were changed. The dimensions of the footing for the elevator shaft was modified and previous pad footing was removed. The dimension for the start of the grid 14 shear wall footing was changed due to the modification of the end of the concrete wall.
GS4.3	Wall section 2 was added and called out on GS2.0.
GS5.3	The edge of the shear wall was adjusted near grid H.

Mechanical

No revisions, just updated backgrounds.

Plumbing

PG1.1	Added waste piping for floor drains and the proposed sink above, added hub drain and associated plumbing, added sewage ejector and associated discharge piping. Added water line for the hose bibb and trap primer in the trash room.
PG1.2	Added floor drain and associated vent piping in the trash room, added water line to the hose bibb and trap primer. Added water line and instant hot to the proposed sink and ice maker, added associated waste and vent. Added pumped discharge line from sewage ejector below and a POC to street.
PG1.3-1.6	Added vents for added floor drains, hub drain and sink located at lower level.

Electrical

GE-3	Added 1 fixture in the new storage room.
GE-4	Added 3 fixtures in the new bike room.



PLAN CHECK COMMENT RESPONSES
Laguna Niguel Broadstone Parking Structure
Laguna Niguel, CA

PLAN CHECK NO.: 814-1549

October 30, 2014



3. Sheet GS1.2, Foundation: Verify the foundation design data with the soil report. Clarify the allowable soil bearing value.
See revised soil report showing the new bearing value using the rammed aggregate piers.
2nd Comment: See pages 12 and 14 of the soil report.
Page 12 of the soils report lists an allowable bearing pressure of 5,000 psf which was used for the foundation design.
4. Page A-2 of the structural calculation: Verify the basic allowable soil bearing for pad footing. Per page 12 of the soil report, it shall be 2500 psf. 5000 psf is used in the design.
See revised soil report showing the new bearing value using the rammed aggregate piers.
2nd Comment: No additional comment listed.
See revised soil report showing the new bearing value using the rammed aggregate piers.
17. Provide elevator shaft framing. Reference the details (such as details 18, 19/GS1 .4) to the framing plan
See revised plans.
2nd Comment: See comments on sheet GS2.6A.
See revised GS2.6A.
18. See comments on pages table of contents, A-2, A-6, A-9, A-25, D-1 & F-31 of the structural calculation
 - A. *Table of Contents: The diaphragm calculations have been included in this submittal.*
 - B. *A-2: See revised soils report for 5,000 psf allowable bearing pressure.*
 - C. *A-2: During the design phase, the owner requested the potential for car ports be included in the structural system. The dead and live load of 25 and 12 psf cover the potential car ports.*
 - D. *A-6: The last pad footing referenced should be at grid C/3.8.*
 - E. *A-9: Near the submittal date, grid L replaced grid M on the architectural grids. All grid M references apply to grid L in the current state of the drawings.*
 - F. *A-25: See response to A-9.*
 - G. *D-1: A slightly larger value of S_{ds} was used in the design, but is listed correctly on GS1.1.*
19. See additional comments on sheets GS1.1, GS2.0, GS2.2, GS4.1, GS4.2, GS5.1, GS5.2, GS5.3, GS5.6 & GS5.7.
 - A. *GS1.1: The seismic design values have been updated to match the soils report.*
 - B. *GS1.1: See the revised soils report for the updated allowable bearing values.*

- C. *GS2.0: The footing call out F7 exceeds the minimum size shown on calculation page A-7.*
 - D. *GS5.6: See updated grid reference.*
 - E. *GS5.7: See updated grid reference.*
 - F. *GS2.6A: See updated GS2.6A for metal deck call out.*
20. Return marked up sheets and complete revised set of drawings for recheck.
Understood.
 21. If you have any questions, you can reach me at nancychung@caaprofessionals.com.

Pad Footing Design

Project: Laguna Broadstone - Alliance

Grid: Typ at C and D

Trib Width ₁ :	28.5 ft	Trib Width ₂ :	28.5 ft	Trib Width ₃ :	0 ft
Trib Length ₁ :	22.5 ft	Trib Length ₂ :	22.5 ft	Trib Length ₃ :	0 ft
Trib Area ₁ :	641.3 ft ²	Trib Area ₂ :	641.3 ft ²	Trib Area ₃ :	0.0 ft ²

Soil Pressure: 5000 psf

Amp. Factor: 1.15

			<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf		5	424.0 kips	
LL ₁ :	32 psf		5		118.0 kips
DL ₂ :	25 psf		1	18.4 kips	
LL ₂ :	12 psf		1		8.8 kips
DL ₃ :	0 psf		0	0.0 kips	
LL ₃ :	0 psf		0		0.0 kips
		Misc Load:		15.0 kips	0.0 kips

		Total	
Total:	457.5 kips	126.8 kips	584.3 kips

Area Req'd: 116.9 ft²
 Square Dim: 10.81 ft

Pu =	752	kips
-------------	------------	-------------

Use:	11.5 ft	square by	33	inches thick
with:	12 #8	E.W. (B)		

Pad Footing Design

Project: Laguna Broadstone - Alliance

Grid: D/6, D/7 and ~~C/8~~

C/3.8

Trib Width ₁ :	25 ft	Trib Width ₂ :	25 ft	Trib Width ₃ :	0 ft
Trib Length ₁ :	22.5 ft	Trib Length ₂ :	22.5 ft	Trib Length ₃ :	0 ft
Trib Area ₁ :	562.5 ft ²	Trib Area ₂ :	562.5 ft ²	Trib Area ₃ :	0.0 ft ²

Soil Pressure: 5000 psf

Ampl. Factor: 1.15

		<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf	5	372.0 kips	
LL ₁ :	32 psf	5		103.5 kips
DL ₂ :	25 psf	1	16.2 kips	
LL ₂ :	12 psf	1		7.8 kips
DL ₃ :	0 psf	0	0.0 kips	
LL ₃ :	0 psf	0		0.0 kips
Misc Load:			15.0 kips	0.0 kips

Total:	403.1 kips	111.3 kips	Total	514.4 kips
---------------	-------------------	-------------------	--------------	-------------------

Area Req'd:	102.9 ft ²	Pu = 662 kips
Square Dim:	10.14 ft	

Use:	11 ft	square by	32	inches thick
with:	11 #8	E.W. (B)		

Seneca Structural Engineering, Inc.

949-595-8182

www.SenecaStructural.com

Pad Footing Design

Project: Laguna Broadstone - Alliance

Grid: ~~M/5.2, #0.5, #9.5~~ *4/8.5 & 4/9.5*

Trib Width ₁ : 28.5 ft	Trib Width ₂ : 28.5 ft	Trib Width ₃ : 0 ft
Trib Length ₁ : 10 ft	Trib Length ₂ : 10 ft	Trib Length ₃ : 0 ft
Trib Area ₁ : 285.0 ft ²	Trib Area ₂ : 285.0 ft ²	Trib Area ₃ : 0.0 ft ²

Soil Pressure: 5000 psf

Ampl. Factor: 1.15

		<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf	4	150.8 kips	
LL ₁ :	32 psf	4		42.0 kips
DL ₂ :	25 psf	1	8.2 kips	
LL ₂ :	12 psf	1		3.9 kips
DL ₃ :	0 psf	0	0.0 kips	
LL ₃ :	0 psf	0		0.0 kips
Misc Load:			100.0 kips	0.0 kips
Total:			259.0 kips	45.9 kips

Total	304.8 kips
--------------	-------------------

Area Req'd: 61.0 ft²
 Square Dim: 7.81 ft

Pu = 384 kips

Use: 8.5 ft square by 26 inches thick
with: 11 #6 E.W. (B)

Pad Footing Design

Project: Laguna Broadstone - Alliance

Grid: ~~M/12~~ and ~~M/13~~

C/12 & C/13

Trib Width ₁ :	29 ft	Trib Width ₂ :	29 ft	Trib Width ₃ :	0 ft
Trib Length ₁ :	10 ft	Trib Length ₂ :	10 ft	Trib Length ₃ :	0 ft
Trib Area ₁ :	290.0 ft ²	Trib Area ₂ :	290.0 ft ²	Trib Area ₃ :	0.0 ft ²

Soil Pressure: 5000 psf

Amp. Factor: 1.15

			<u># of Levels</u>	<u>DL Total</u>	<u>LL Total</u>
DL ₁ :	115 psf		4	153.4 kips	
LL ₁ :	32 psf		4		42.7 kips
DL ₂ :	25 psf		1	8.3 kips	
LL ₂ :	12 psf		1		4.0 kips
DL ₃ :	0 psf		0	0.0 kips	
LL ₃ :	0 psf		0		0.0 kips
Misc Load:				175.0 kips	0.0 kips
Total:				336.7 kips	46.7 kips
					Total
					383.4 kips

Area Req'd: 76.7 ft² Pu = 479 kips
 Square Dim: 8.76 ft

Use: 9.5 ft square by 28 inches thick
 with: 8 #8 E.W. (B)

LATERAL ANALYSIS

$$V = \frac{\sum P \Delta I W}{R}$$

$$\sum P \Delta = 0.937 \text{ (SOLS REPORT)}$$

$$R = 6.0$$

$$V = \frac{0.937 (1.0) W}{6.0} = \underline{\underline{0.156 W}}$$

$$F_{LR} = 38,400 (0.156) = 5,960 \text{ k FUR}$$

$$F_{S2.1} = 0.156 (2,100) = 3,276 \text{ k}$$

$$F_{S2.6} = 0.156 (6,600) = 1,029 \text{ k}$$

(ROOF)

$$T_{TOT} = 4 (5,960) + 3,276 + 1,029 = \underline{\underline{25,845 \text{ k}}}$$

$$V = 0.156 (25,845) = \underline{\underline{4,032 \text{ k}}}$$

CBC 2013 STRUCTURAL DESIGN REQUIREMENT

1ST REVIEW BY: N. Chung DATE: 7/6/2014 CORRECTIONS
2ND REVIEW BY: N. Chung DATE: 9/26/14 CORRECTIONS
3RD REVIEW BY: _____ DATE: _____ CORRECTIONS APPROVED

- A. THE ITEMS BELOW REQUIRE CORRECTION OR CLARIFICATION BEFORE THIS PLAN CHECK CAN BE APPROVED FOR PERMIT ISSUANCE. RETURN ALL CORRECTION MATERIAL WHEN RESUBMITTING.
B. NOTE ON THIS CORRECTION SHEET OR ON A SEPARATE SHEET THE LOCATION OF THE COMPLETED CORRECTION. (I.E. SHEET NO., DETAIL, ETC.)

- ~~1. Sheet GS1.1, Concrete: Type V cement shall be used for the concrete that contacts with soil due to high sulfate content. Type II cement can be used for the other areas. Clearly indicate on the plan.~~
- ~~2. Sheet GS1.1, General: Verify the seismic design data with the soil report.~~
3. Sheet GS1.1, Foundation: Verify the foundation design data with the soil report. Clarify the allowable soil bearing value. See pages 12 & 14 of the soil report.
4. Page A-2 of the structural calculation: Verify the basic allowable soil bearing for pad footing. Per page 12 of the soil report, it shall be 2500 psf. 5000 psf is used in the design.
- ~~5. Call out the roof load for the metal deck at towers.~~
- ~~6. Provide structural calculation & framing plan for the towers. See sheets GA0.1.2 & GA5.3.~~
- ~~7. Page B-1 to B-77 of the post-tension calculation: (use calcs at gridline 9 as example)~~
 - ~~a. Clearly indicate the location of each span for the post-tension calculation.~~
 - ~~b. Call out the number of strands on the plan. (on page B-13 is 17.1)~~
 - ~~c. Show controlling rebar on the plan. (on page B-13 is 5-#6)~~
- ~~8. Sheet GS2.2: Call out the spacing of the post-tension strands in the short direction. Similar for other sheets.~~
- ~~9. Page B-4 of the structural calculation: Per structural calculation along gridline 1, 19 post-tension strands are needed. Show these on the plan. Similar for strands at other gridlines. See calculation on pages B-7, B-10, B-13, B-15, B-18, B-22, B-26, B-30, B-35 & B-39.~~
- ~~10. Sheet GS2.0 & page F-31: The shear wall along gridline 14 is loaded on the footing eccentrically. Verify the max soil bearing under the footing due to vertical load and moment.~~
- ~~11. Sheet GS3.1, pages C-1 to C-6 of the structural calculation: Provide calculation for the rebars in the columns that are on the column schedule.~~
- ~~12. Detail 11/GS3.1: Provide structural calculation for the light pole footing (base). Consider the worst case.~~
- ~~13. Details 1, 4/GS4.1: Provide structural calculation for the footings.~~
- ~~14. Detail 1/GS4.2: Provide structural calculation for the retaining wall. Verify the location of the main vertical rebars (at dirt side or inside face of the wall). See comments on the plan.~~
- ~~15. Sheet GS2.0: Call out the width of the footing for the column @ gridline F-6.~~
- ~~16. Details 12 & 17/GS6.1: Provide structural calculation for these details. See sheet GS2.0 for the locations of these reference details.~~
17. Provide elevator shaft framing. Reference the details (such as details 18,19/GS1.4) to the framing plan. See comments on sheet GS2.6A

18. See comments on pages table of contents, A-2, A-6, A-9, A-25, D-1 & F-31 of the structural calculation. Need to submit the revised structural calculation.
19. See additional comments on sheets GS1.1, GS2.0, ~~GS2.2, GS4.1, GS4.2, GS5.1, GS5.2, GS5.3, GS5.6 & GS5.7 & GS2.6A.~~
20. Return marked up sheets and complete revised set of drawings for recheck.
21. If you have any questions, you can reach me at nancychung@caaprofessionals.com.



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INPSECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: B14-1926

Lot/PARCEL: 1

PROJECT ADDRESS: 27742 FORBES RD

TRACT: 6081

BUSINESS NAME:

ELEC: SDGE

ISSUED: 6/1/2015

PLANNING:

DESCRIPTION OF WORK:

Permit to demo commercial building 24094 SF.

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298
APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
BUSINESS:
ADDRESS:
ARCH/ENG:
ADDRESS:
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS:
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
TRJUB4245B187

PHONE: (949) 706-8460

PHONE:

PHONE:

PHONE: (949) 706-8460

EXPIRES: 5/31/2017

EXPIRES: 9/15/2015

CODE YEAR: 2013

OCCUPANCY TYPE: B Business

CONSTR. TYPE: VB

TOTAL VALUATION: \$44,814.84

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$330.75	\$472.50		\$803.25
ELECTRICAL				
MECHANICAL				
PLUMBING		\$12.71	\$27.25	\$39.96
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$1,300.00
			TOTAL PERMIT FEES:	\$2,143.21
			TOTAL FEES PAID	\$2,143.21

Comments:

Planning Approval: _____
Building Permit Issued By: _____

Date: _____
Date: 6/1/15

Issued Receipt#: R15-892
1006

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

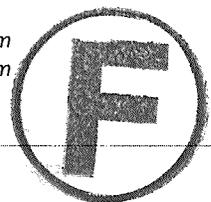
I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
*requires separate verification form
**requires separate authorization form

Signature: _____ Date: 6/1/15



#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

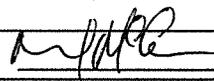
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 6/1/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2015

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS
72. Drywall Nailing/Firewalls		
400. P/S Pre Inspection for Fences		
402. P/S Pool & Equipment Loc.		
410. P/S Approval to Cover - Gunite		
412. P/S Electrical Conduit Underfund.		
414. P/S Gas Pipe Underfund Test		
416. P/S Backwash Lines, P Trap, Underfund Test		
418. P/S Final Backwash Receiver		
420. P/S Fencing & Access Gates		
422. P/S Pre Deck		
424. P/S Approved for Plastering		
21. Post Tension		
22. Steel Reinforce - Retain. Walls		
24. Pre GROUT Lift 1		
26. Pre GROUT Lift 2		
29. Wall Drainage		
30. Floor Plywood Nailing		
32. Sewer Line & House Connect		
34. Root Drains/Deck Drains		
36. Rough Plumbing/Gas Test		
40. Hot Mob Shower		
41. Lathing Interior		
42. Rough Electrical		
44. Rough Mechanical		
46. Fire Dampers		
48. Root Sheathing		
50. Roof Framing		
51. Approval to Cover Exterior		
52. Shear Walls Interior		
53. Preliminary Shear		
54. Shear Walls Exterior		
55. Preliminary Insulation		
56. Rough Frame & Flashing		
59. OCPA Fire Sprinkler - Rough		
93. Anti-Entrapment Device		
934. FINAL - BUILDING & SAFETY		
935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd. **Suite/Unit:** 636-034-10

Applicant/Agent: Alliance Residential **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Property Owner: Broadstone Laguna Niguel, LLC **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Contractor: Alliance Residential Builders II GP, Inc. **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

State License No.: 897318 **Class:** B **Expiration:** 5/31/2015

Workman's Comp. Policy No.: TRJUB4245B18713 **Expiration:** 9/15/2014

Insurance Company (if applicable): Travelers Property Casualty Company of America

Architect: Humphreys & Partners **Reg No.:** _____ **Phone No.:** (949) 955 - 9400

Address: 2350 SE Bristol Street, Ste. 310

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific):
DEMOLISH EXISTING BUILDING TOTALING 24094 S.F.

APN 636 034-10

Valuation: \$ 2109614 **Type of Const:** _____ **Occupancy Type:** _____ **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

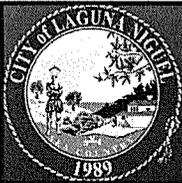
Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC/Disc

Activity Number:	<u>B14-1926</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/11/14</u>
Planning Division:	YES: _____ NO: _____	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required: _____					
HOA or Property Manager Approval Letter Provided: _____					
OK for Plan Check: _____					
OK for issuance: _____					
Reviewed By: _____ Date: _____					
Reviewed By: _____ Date: _____					
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

03/12/2013

1 hr PIC 1843.21 472.30
330.75
10001

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Cash Register Receipt

City of Laguna Niguel

Receipt Number
R15-892

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$5,818.24
B14-1926	Address: 27742 FORBES RD	Apn: 63603410	\$1,512.46
BUILDING			\$472.50
PLUMBING			\$39.96
RECYCLING DEPOSIT			\$1,000.00
B14-1927	Address: 26041 CAPE DR	Apn: 63603403	\$1,433.86
BUILDING			\$391.90
CBSC FEE			\$2.00
PLUMBING			\$39.96
RECYCLING DEPOSIT			\$1,000.00
B14-1928	Address: 26076 GETTY DR	Apn: 63603404	\$1,431.86
BUILDING			\$391.90
PLUMBING			\$39.96
RECYCLING DEPOSIT			\$1,000.00
B14-1929	Address: 26042 CAPE DR	Apn: 63603405	\$1,440.06
BUILDING			\$398.10
CBSC FEE			\$2.00
PLUMBING			\$39.96
RECYCLING DEPOSIT			\$1,000.00
TOTAL FEES PAID BY RECEIPT:R15-892			\$5,818.24

Date Paid: Wednesday, May 20, 2015
Paid By: BROADSTONE LAGUNA NIGUEL LLC
Cashier: AK
Pay Method: CHECK 1253



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R3497

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$330.75
B14-1926 Address: 27742 FORBES RD Apn: 63603410			\$330.75
BUILDING			\$330.75
TOTAL FEES PAID BY RECEIPT:R3497			\$330.75

Date Paid: Friday, December 12, 2014

Paid By: KHR Associates

Cashier: SMIS

Pay Method: CHECK 9152



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd. **Suite/Unit:** 636-034-10

Applicant/Agent: Alliance Residential **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Property Owner: Broadstone Laguna Niguel, LLC **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Contractor: Alliance Residential Builders II GP, Inc. **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

State License No.: 897318 **Class:** B **Expiration:** 5/31/2015

Workman's Comp. Policy No.: TRJUB4245B18713 **Expiration:** 9/15/2014

Insurance Company (If applicable): Travelers Property Casualty Company of America

Architect: Humphreys & Partners **Reg No.:** _____ **Phone No.:** (949) 955 - 9400

Address: 2350 SE Bristol Street, Ste. 310

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific): _____

DEMOLISH EXISTING BUILDING TOTALING 24094 S.F.
Per 636 034-10

Valuation: \$ 21096.16 **Type of Const:** _____ **Occupancy Type:** _____ **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.

Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: X **Payment:** Cash or Check // _____ or Visa/MC/Disc

Activity Number:	<u>B14-1926</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/11/14</u>
Planning Division:		YES	NO	Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:				Reviewed By:	Date:
OK for issuance:				Reviewed By:	Date:
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

03/12/2013

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1 hr PIC
B14-1926 → B14-1929
1843.21
472.30
330.75
1000-

Antoinette Kulick

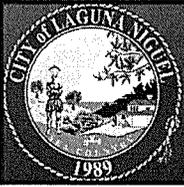
To: Britnae Jensen (bjensen@khrdesign.com)
Cc: Michael McCann (mmccann@allresco.com)
Subject: Demo fees

Hi Britnae,

The Demo plans will go thru a plan check, I am not sure if you want the plan check fees or the totals, so I will give you both:

Address check number	Plan Check	Permit Fee	Recycling Deposit	Total Due	Plan
26041 Cape 1927	\$274.33	\$440.06	\$1,000.00	\$1,708.19	B14-
27742 Forbes 1926**	\$330.75	\$512.46	\$1,000.00	\$1,843.21	B14-
26076 Getty 1928	\$274.33	\$431.86	\$1,000.00	\$1,706.19	B14-
26042 Cape 1929**	\$278.67	\$440.06	\$1,000.00	\$1,718.73	B14-

Antoinette Kulick, Sr. Permit Technician
Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4329



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1006

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$300.00
B14-1926 Address: 27742 FORBES RD	Apn: 63603410		\$300.00
HYDROLOGY CONSULTANT JT			\$300.00
TOTAL FEES PAID BY RECEIPT:R15-1006			\$300.00

Date Paid: Monday, June 01, 2015

Paid By: ALLIANCE RESIDENTIAL BUILDERS

Cashier: AK

Pay Method: CREDIT CARD 4587



South Coast Air Quality Management District (www.aqmd.gov)
21855 Copley Drive Diamond Bar, CA 91765-4182 Phone: (909)396-2336

Rule 1403 Form



Notification of Demolition or Asbestos Removal

Fax these type of Notification Forms to (909)396-3342 and mail the originals within 48 hrs.

Mail Form and Fee To:

SCAQMD
Asbestos Notification File # 55641
Los Angeles, CA 90074-5641

Project Type	DEMOLITION <input checked="" type="checkbox"/>	DEMOLITION (Fire Damaged) <input type="checkbox"/>	ASBESTOS REMOVAL (Permit Required) <input type="checkbox"/>	PLANNED DEMO (Asbestos) <input type="checkbox"/>	PROCEDURE 4 PLAN <input type="checkbox"/>	PROCEDURE 5 PLAN <input type="checkbox"/>	Project Urgency	EMERGENCY <input type="checkbox"/>	FAST TRACK <input type="checkbox"/>
Notification Type	ORIGINAL <input checked="" type="checkbox"/>	CANCELLATION <input type="checkbox"/>	REVISION AMOUNT <input type="checkbox"/>	REVISION DATES <input type="checkbox"/>	REVISION OTHER <input type="checkbox"/>				

Contractor Information: Notifications should be submitted by the contractor performing the project

CSLB License: 685192 CA OSHA REG: _____ AQMD ID: 067314 CHECK: _____ FEE: \$ 1,550.04 DATE: 02-17-2015 PROJECT #: 442E

Company Name: American Wrecking, Inc. List Site Supervisor(s): _____ Phone: _____

Address: 2459 Lee Ave Jerry Galaviz (626) 350-8303

City: South El Monte State: CA Zip: 91133

Completed by: _____ Phone: _____

Site Information: Copies of this notification and the CAC asbestos survey report must be kept at the worksite during this project

Site Name: Broadstone Laguna Niguel

Site Address: 26041,26042 Cape Dr,26076-26106 Getty Dr,27742 Forbes Rd Cross Street: Crown Valley Parkway

Site City: Laguna Niguel State: CA Zip: 92677 County: LA

Site Owner: Broadstone Laguna Niguel LLC Contact: Michael Wilborn Phone: _____

Owner Address: 450 Newport Center Dr. Ste. 550 City: Newport Beach State: CA Zip: 92660

Describe Work: Demolition

Describe Work Location (if Lot): _____

Demolition Project Start Date: 03/16/2015 Demolition Project End Date: 04/11/2015 Project Work Shift: Day Swing Night

*BUILDING SIZE in sq ft: 102700.00 Number of Floors: 1 Building Age (years): 60 Number of Buildings or Dwelling Units: 5

Building Prior Present Use: SCHOOL HOSPITAL CONDO/APT PUBLIC BLDG INDUSTRIAL COMMERCIAL OFFICE UNIV/COLLEGE HOUSE SHIP OTHER

Required Building Information: ASBESTOS SURVEY? YES NO ASBESTOS FOUND? YES NO ASBESTOS REMOVED? YES NO BUILDING TO BE DEMOLISHED? YES NO

Asbestos Information: Do not provide this information in demolition notifications, see pg 2

Asbestos Amount to be Removed in sq ft: FRABLE _____ CLASS 1 _____ CLASS 2 _____ *TOTAL AMOUNT: 0.00

Amount of Each Type of Asbestos in sq ft: ACOUSTIC CEILING _____ UNPLENUM _____ INSULATION _____ FIRE PROOFING _____ DUCTING _____ STUCCO _____ MASTIC _____ FLOOR TILES/PATEL _____ DRYWALL _____ PLASTER _____ TRANSITE _____ ROCKING _____ OTHER _____ PLEASE DESCRIBE OTHER TYPE OF ASBESTOS: _____

Asbestos Removal From: SURFACES PIPES EQUIPMENTS

Asbestos Detection Procedures: Check the procedures and analytical methods used to determine the presence of asbestos in the building. See www.aqmd.gov. SURVEY BULK SAMPLING INSPECTION AIR MONITORING/ASBESTOS PPM PUM PCM TEM

Controls: Check the combination of Rule 1403 procedures used to control asbestos emissions. Procedure 4 and 5 submittal plans for AQMD prior approval. PROCEDURE NUMBER: 1 2 3 4 5

Emergency Asbestos Removal: Check the sudden unexpected event and attach a letter from the person affected by the emergency explaining how this event caused unsafe conditions, equipment damage or unreasonable financial burden. For disturbed/damaged asbestos materials see www.aqmd.gov.

FIRE FLOOD WATER DAMAGE EARTHQUAKE NUISANCE VANDALISM HEALTH/SAFETY FINANCIAL BURDEN EQUIPMENT DAMAGE OTHER

Name of Person Declaring/ Authorizing the Emergency: _____ Phone: _____ Date of Emergency: _____ Hour of Emergency: _____

AQMD USE ONLY: SCREENED BY _____ RECEIVED _____ POSTMARKED _____ ENTERED BY _____ NOTIFICATION # _____

PREVIOUSLY NOTIFIED



South Coast Air Quality Management District (www.aqmd.gov)
 21865 Copley Drive, Diamond Bar, CA 91765-4182 Phone: (909)396-2336

Rule 1403 Form



Notification of Demolition or Asbestos Removal

Fax these type of Notification Forms to (909)396-3342 and mail the originals within 48 hrs

Mail Form and Fee To:
 SCAQMD
 Asbestos Notification File # 55641
 Los Angeles, CA 90074-5641

Project Type	DEMOLITION <input checked="" type="checkbox"/>	DEMOLITION (Fire Training) <input type="checkbox"/>	ASBESTOS REMOVAL (Renovation) <input type="checkbox"/>	PLANNED RENO (Annual) <input type="checkbox"/>	PROCEDURE 4 PLAN <input type="checkbox"/>	PROCEDURE 5 PLAN <input type="checkbox"/>	Project Urgency	EMERGENCY <input type="checkbox"/>	ORDERED <input type="checkbox"/>
Notification Type	ORIGINAL <input type="checkbox"/>	CANCELLATION <input type="checkbox"/>	REVISION AMOUNT <input type="checkbox"/>	REVISION DATES <input checked="" type="checkbox"/>	REVISION OTHER <input type="checkbox"/>	Please provide original date 03/16/2015			

Contractor Information: Notifications should be submitted by the contractor performing the project

CSLB License 685192 Cal. OSHA REG _____ AQMD ID 097316 CHECK _____ FEE \$ 57.18 DATE 03/10/2015 PROJECT # 442E

Company Name American Wrecking, Inc. List Site Supervisor(s) _____ Phone _____

Address 2459 Lee Ave. Jerry Galaviz (626) 350-8303

City South El Monte State CA Zip 91733

Completed by _____ Phone _____

Site Information: Copies of this notification and the CAC asbestos survey report must be kept at the worksite during this project

Site Name Broadstone Laguna Niguel

Site Address 2641,26042 Cape Dr,26076-26106 Getty Dr,27742 Forbes Rd Cross Street Crown Valley Parkway

Site City Laguna Niguel State CA Zip 92677 County LA

Site Owner Broadstone Laguna Niguel Contact Michael Wilborn Phone _____

Owner Address 450 Newport Beach Center Dr. Ste. 550 City Newport Beach State CA Zip 92660

Describe Work Demolition

Describe Work Location (s) Lot

Demolition Project Start Date 04/03/2015 Demolition Project End Date 05/01/2015 Project Work Shift Day Swing Night

²BUILDING SIZE in sq ft 102700.00 Number of Floors 1 Building Age (years) 60 Number of Buildings or Dwelling Units 5

Building Prior Present Use SCHOOL HOSPITAL CONDO/APT PUBLIC BLDG INDUSTRIAL COMMERCIAL OFFICE UNIV/COLLEGE HOUSE SHIP OTHER

Required Building Information ASBESTOS SURVEY? YES NO ASBESTOS FOUND? YES NO ASBESTOS REMOVED? YES NO BUILDING TO BE DEMOLISHED? YES NO

Asbestos Information: Do not provide this information in demolition notifications, see pg 2

Asbestos Amount to be Removed in sq ft

ACUSTIC CEILING	LINOLEUM	INSULATION	FIRE PROOFING	DUCTING	STUCCO	MASTIC	FLOOR TILES (VAT)
Amount of Each							
Type of Asbestos in sq ft	DRYWALL	PLASTER	TRANSITE	ROOFING	OTHER	PLEASE DESCRIBE OTHER TYPE OF ASBESTOS:	

Asbestos Removal From SURFACES PIPES COMPONENTS

Asbestos Detection Procedures: Check the procedures and analytical methods used to determine the presence of asbestos in the building. See Survey Checklist

SURVEY BULK SAMPLING INSPECTION CAC ASSUMED AS ASBESTOS-PACM PLM PCM TEM

Controls: Check the combination of Rule 1403 procedures used to control asbestos emissions. (Procedure 4 and 5 submit plans for AQMD prior approval)

PROCEDURE NUMBER 1 2 3 4 5

Emergency Asbestos Removal: Check the sudden unexpected event and attach a letter from the person affected by the emergency explaining how this event caused unsafe conditions, equipment damage or unreasonable financial burden. For disturbed/damaged asbestos materials see Procedure 5 Guidelines.

FIRE FLOOD WATER DAMAGE EARTHQUAKE NUISANCE VANDALISM HEALTH/SAFETY FINANCIAL BURDEN EQUIPMENT DAMAGE OTHER

Name of Person Declaring/ Authorizing the Emergency _____ Phone _____ Date of Emergency _____ Hour of Emergency _____

AQMD USE ONLY: SCREENED BY _____ RECEIVED _____ POSTMARKED _____ ENTERED BY _____ NOTIFICATION # _____

909 396-
3312



South Coast Air Quality Management District (www.aqmd.gov)
21865 Copley Drive, Diamond Bar, CA 91765-4182 Phone: (909)396-2336

Mail Form and Fee To:
SCAQMD
Asbestos Notification File # 55641
Los Angeles, CA 90074-5641

**Rule 1403 Form
Notification of Demolition or Asbestos Removal**

Demolition Information: All asbestos containing materials must be removed *prior* to any demolition activity

Asbestos Removal Company Name GAMA Contracting Services, Inc. Date of Asbestos Removal 03/14/2015

Check work practices to prevent, suppress and contain dust, and dust controls to be use at the demolition site

SPRAY WATER EXIT GRATES TARP TRUCKS/BINS FENCE SCREENS STONE TRUCK PADS TIRE WASHING SOIL STABILIZERS OTHER _____

Contingency Demolition Plan: Check actions to be followed if unexpected asbestos is found during demolition or asbestos material becomes disturbed, crumbled, pulverized or reduced to powder. Disturbed/Damaged ACM requires a Procedure 5 Plan Approval prior to clean-up (See [Procedure 5 Guidelines](#))

STOP WORK NOTIFY OWNER SECURE STABILIZE POST SIGNS ISOLATE WORK AREA SURVEY CHARACTERIZE WASTE OTHER _____

Ordered Demolition: Attach a copy of the agency order

Agency Name _____ Phone _____ Date of Order _____
Authorizing Person _____ Title _____ Date Ordered to Begin _____

Waste Information

WASTE TRANSPORTER #1 American Wrecking, Inc. WASTE STORAGE SITE _____
Address 2459 Loe Avenue Address _____
City South El Monte State CA Zip 91733 City _____ State _____ Zip _____

WASTE TRANSPORTER #2 _____ LANDFILL Puente Hills
Address _____ Address 2800 Workman Hill Road
City _____ State _____ Zip _____ City La Puente State CA Zip 90601

Contractor Certification: All contractors or owner/operator submitting this notification must sign this form

I certify that an individual trained in the provisions of regulations AQMD Rule 1403 and the Asbestos NESHAP Title 40 CFR Part 61, Subpart M will be on site during the demolition or renovation and evidence that the required training has been accomplished by this person will be available for inspection during normal business hours. I hereby certify that all of the information contained herein and information submitted with this notification is true and correct.

Company Name American Wrecking, Inc. Title of Owner/Operator Project Coordinator
Print Name of Owner/Operator Mania Esquer Signature of Owner/Operator _____ Date 02/17/2015

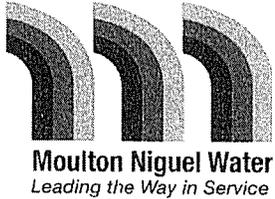
Notification Fee: No notifications shall be considered received pursuant to Rule 1403, unless it is accompanied by the required payment (Rule 301, Table VI). Please make check payable to "SCAQMD". Fees are per notification and vary according to the TOTAL AMOUNT of asbestos removed or the demolition BUILDING SIZE. The Revision Amount fee is the difference between the new Project Size Fee category and the original Project Size Fee category (See [Fee Information](#))

Project Size Fee: \$ 1,550.04	Fee Based on Project Size (sq ft)		Additional Fees	
Additional Fee: \$ 0.00	1,000 or less _____	\$ 57.18	<input type="checkbox"/> Special Handling Fee _____	\$ 57.18
Total Fee Due: \$ 1,550.04	1,001 to 5,000 _____	\$ 174.83	<input type="checkbox"/> Revision to Notification _____	\$ 57.18
	5,001 to 10,000 _____	\$ 409.26	<input type="checkbox"/> Returned Check Fee _____	\$ 25.00
	10,001 to 50,000 _____	\$ 641.73	<input type="checkbox"/> Planned Renovation _____	\$ 641.73
	50,001 to 100,000 _____	\$ 930.03	<input type="checkbox"/> Procedure 4 or 5 Plan _____	\$ 641.73
	100,001 or more _____	\$ 1,550.04	<input checked="" type="checkbox"/> Expedited 4 or 5 Plan _____	\$ 320.86

Attention

Keep Three (3) Copies of This Notification Form for your records, to post at the worksite, and to obtain a city demolition permit. See [California Health and Safety Code 19827.5](#) that requires that you provide a copy of the demolition notification to Building and Safety before issuance of a demolition permit. For questions call 909-396-2336. Forms, instructions and Rule 1403 can be obtained from the AQMD website at <http://www.aqmd.gov>. Please mail this signed original notification form, fee, and any attachments to SCAGMD Asbestos Notification File # 55641 Los Angeles, CA 90074-5641. Mailing saves time, money and reduces traffic and air pollution.

Project # 442E



February 18, 2015

Ms. Britnae Jensen
KHR Associates
4100 Newport Place Drive
Suite 200
Newport Beach, California 92660

Subject: **Gateway Village – Demolition Plan Approval**

Dear Britnae:

The demolition plans at the above project address have received final approval. If construction has not started within one year from date of approval, the signed plans shall become “null and void”. The District will require rechecking of the plans and reserves the right to charge additional plan check fees, per District Standard Specifications, Section 300.12.3.

Owner/Contractor must contact MNWD for a Pre-Construction Meeting at least 48 hours prior to any construction or inspection, and be able to provide proof of licensing prior to the scheduling of this meeting. Please contact MNWD Inspection Supervisor, Steve Merk at (949) 425-3538 to schedule your Pre-Construction Meeting.

Should you require further information, feel free to contact me at (949) 425-3530.

Sincerely,

MOULTON NIGUEL WATER DISTRICT

Peggy Toal
Sr. Inspector

A public agency

27500 La Paz Road, Laguna Niguel CA 92677 ♦ (949) 831-2500 ♦ mnwd.com

CERTIFICATE OF COMPLETION

This is to certify that the work GAMA Contracting Services, Inc. was contracted to perform has been completed.

Project Number: 84005
Project Name: Laguna Niguel
Project Address: Broadstone Laguna Niguel
27742 Forbes Road
Laguna Niguel CA 92677

Project Dates: 5/26/2015 - 5/27/2015

Scope of Work: Remove and dispose of ACM per Asbestos Survey.

The above-mentioned work has been satisfactorily completed as per all federal, state, and local regulations. The area is suitable for re-occupancy.

NOTE: This Certificate of Completion is limited to the work performed by GAMA Contracting Services, Inc. and is also limited to the area where work was performed.


Rosalia Moreno
Operations

DATE: 5/29/15



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B15-1661

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC:

BUSINESS NAME:

ISSUED: 12/23/2015

DESCRIPTION OF WORK:

Shoring wall for the southernmost portion of the property line wall. (At Crown Valley) This is the shoring wall with the tieback. (also see B15-2449, plan check without the tieback)

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA POLICY#: TRJUB4245B187	EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: U Utility Miscellaneous

TOTAL VALUATION: \$258,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$1,424.15	\$2,034.50		\$3,458.65
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$11.00
GMU				\$3,083.75
MISC				\$0.00
			TOTAL PERMIT FEES:	\$6,553.40
			TOTAL FEES PAID	\$6,553.40

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 12/23/15
Date: 12/23/15

Issued Receipt#: R15-
3522

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form

**requires separate authorization form

Signature [Signature]

Date 12/23/15

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 12/23/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE	INSPECTION TYPE	DATE	INITIALS
72	Initial Water Quality Inspection		
4	Temp Electrical Service or Pole		
5	Soil Pipe Underround		
6	Water Pipe Underround		
9	Sewer Line & House Connect		
10	Electrical Conduit Underround		
14	Gas Line Underround & Test		
16	Verity Setbacks		
18	Footings & Steel		
19	UFER		
20	Foundation - Slab on Grade		
21	Post Tension		
22	Steel Reinforce - Retain. Walls		
24	Pre Grout Lift 1		
26	Pre Grout Lift 2		
29	Wall Drainage		
30	Floor Plywood Nailing		
32	Sewer Line & House Connect		
34	Root Drains/Deck Drains		
36	Rough Plumbing/Gas Test		
40	Hot Top Shower		
41	Lathing Interior		
42	Rough Electrical		
44	Rough Mechanical		
46	Fire Dampers		
48	Roof Sheathing		
50	Roof Framing		
51	Approval to Cover Exterior		
52	Shear Walls Interior		
53	Preliminary Shear		
54	Shear Walls Exterior		
55	Preliminary Insulation		
56	Rough Frame & Flashing		
59	OCCA Fire Sprinkler - Rough		
932	FINAL - OCCA PROJECT FINAL - Name		
933	Anti-Entrapment Device		
934	FINAL - BUILDING & SAFETY		
935	FINAL - WATER QUALITY INSPECTION		
918	FINAL - RE-ROOF		
916	FINAL - ACCESSIBILITY REGULATIONS		
914	FINAL - GAS TEST		
912	FINAL - WATER SERVICE		
910	FINAL - PLUMBING		
908	FINAL - MECHANICAL		
906	FINAL - SIGN		
904	FINAL ELECTRICAL		
902	FINAL - ELECTRICAL METER RELEASE		
438	P/S FINAL - POOL/SPA		
436	P/S FINAL - SOLAR SYSTEM		
434	P/S FINAL - POOL COVER		
432	P/S FINAL - ELECTRICAL		
430	P/S FINAL - PLUMBING		
428	P/S FINAL - HEATER & VENT		
424	P/S Approved for Plastering		
422	P/S Pre Deck		
420	P/S Fencing & Access Gates		
418	P/S Final Backwash Receiver		
416	P/S Backwash Lines, P Trap, Underround		
414	P/S Gas Pipe Underround Test		
412	P/S Electrical Conduit Underround		
410	P/S Approval to Cover - Gunite		
402	P/S Pool & Equipment Loc.		
400	P/S Pre Inspection for Fences		
72	Initial Water Quality Inspection		

Left Right upper 1/2 structure wall 7-5-16 [Signature]



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD. **Suite/Unit:** _____

Applicant/Agent: ALLIANCE RESIDENTIAL **Tract Lot:** _____

Address: 450 NEWPORT CENTER DR., STE 550 **Phone No.:** (949) 706-8460

City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** MHCCANN@ALLRESKO.COM

Property Owner: BROADSTONE LAGUNA NIGUEL, LLC **Phone No.:** (949) 706-8460

Address: 450 NEWPORT CENTER DR., STE 550

City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** MHCCANN@ALLRESKO.COM

Contractor: ALLIANCE RESIDENTIAL BUILDERS II GP, INC **Phone No.:** (949) 706-8460

Address: 450 NEWPORT CENTER DR., STE 550

City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** _____

State License No.: 897318 **Class:** B **Expiration:** _____

Workman's Comp. Policy No.: TRSUB4245618714 **Expiration:** 9-15-15

Insurance Company (if applicable): LOVIA & TOUCHE

Architect: Humphreys + Partners **Reg No.:** _____ **Phone No.:** (949) 955-9400

Address: 2350 SE BRISTOL #310 **Email:** NIMA@HUMPHREYS.COM

City: NEWPORT BEACH **State:** CA **Zip:** 92660

Engineer: KHR Associates **Reg. No.:** _____ **Phone No.:** 949 756 6440

Address: 4100 Newport Place Drive **Email:** mthomas@khrdesign.com

City: Newport Beach **State:** CA **Zip:** 92660

Description of Work to be Performed (please be specific): BUILD A STOPPING WALL ON THE SOUTHERN MOST PROPERTY LINE OF THE GATEWAY VILLAGE PROJECT.

Valuation: \$ 258,000 **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.

Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>BIS-1661</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/1/15</u>
Planning Division:		YES	NO	Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:				Reviewed By:	Date:
OK for issuance:				Reviewed By:	Date:
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CCA	<u>NO</u>	<input checked="" type="checkbox"/> GMU	
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health		<input type="checkbox"/> Grading	

Handwritten notes and signatures on the left margin.

114 176680

4 sets sent to Gmu



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-3522

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$991.15
B15-1661 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Shoring wall on southernmost property line Gateway village			\$991.15
GEO REVIEW FEE			\$991.15
TOTAL FEES PAID BY RECEIPT:R15-3522			\$991.15

Date Paid: Wednesday, December 23, 2015

Paid By: MICHAEL MCCANN

Payee Address: ,

Cashier: AK

Pay Method: CREDIT CARD 8211





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1059

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,000.00
B15-1661 Address: 27742 FORBES RD	Apn: 63603410		\$1,000.00
PLAN CHECK			\$1,000.00
TOTAL FEES PAID BY RECEIPT:R15-1059			\$1,000.00

Date Paid: Thursday, June 04, 2015

Paid By: Michael McCann

Cashier: AK

Pay Method: CREDIT CARD 4587



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-3494

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,000.00
B15-1661 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Shoring wall on southernmost property line Gateway village			\$1,000.00
GEO REVIEW FEE			\$1,000.00
TOTAL FEES PAID BY RECEIPT:R15-3494			\$1,000.00

Date Paid: Tuesday, December 22, 2015

Paid By: MICHAEL MCCANN

Payee Address: ,

Cashier: AK

Pay Method: CREDIT CARD 2587





Cash Register Receipt

City of Laguna Niguel

Receipt Number
R15-1669

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$3,562.25
B15-1661 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Shoring wall on southernmost property line Gateway village			
			\$3,562.25
BUILDING			\$572.70
BUILDING ISSUANCE FEE	3310	0	\$27.25
PERMIT FEE - RES	3310	0	\$545.45
CBSC FEE			\$14.00
CBSC FEE	2211	0	\$14.00
GEO REVIEW FEE			\$2,208.75
GEO REVIEW FEE	3313	723	\$722.50
GEO REVIEW FEE	3313	1094	\$1,093.75
GEO REVIEW FEE	3313	393	\$392.50
PLAN CHECK			\$766.80
PC RES	3310	0	\$766.80
TOTAL FEES PAID BY RECEIPT:R15-1669			\$3,562.25

not issued

Date Paid: Wednesday, July 29, 2015

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298

Cashier: AK

Pay Method: CHECK 1055





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

July 9, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Response to City of Laguna Niguel's Review Sheet dated June 26, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our response to the comments presented in the review sheet by the city of Laguna Niguel dated June 26, 2015, which pertains to a review of the shoring plans. A copy of the review sheet is attached herein for reference. We are only responding to select items that were deferred to us by the structural engineer for the shoring plans. Please see the response dated July 9, 2015 by Burnett & Young for other items.

Item 1:

The ultimate passive value of 2,000 pcf was recommended for design of soldier piles as presented in our report dated May 15, 2014 (see Section 6.4.5). The value is based on the Coulomb theory of passive pressure and the results of undisturbed direct shear on materials from the upper 10 feet of the site. The results of our direct shear testing are presented in our report dated May 15, 2015 and indicate a peak shear strength of 50 degrees friction and 100 psf cohesion. A calculation of the Coulomb passive pressure is attached herein as Plate 1.

Item 6:

The most critical location with respect to the potential for heave due to the loading of tie-backs in the temporary condition will occur at Pile #3. To evaluate the potential for a heave failure, we have calculated the passive resistance of the backfill wedge in the temporary condition (prior to final backfilling). For the ground behind the wall to heave, a passive wedge failure will have to occur. At the critical location, we calculate the passive wedge provides a resistance of 51.1 kips/ft. in the temporary condition. The piles are spaced at 8 feet on center, so the total passive force attributed to Pile #3 is 409 kips. The tie-back design load for Pile #3 is 273 kips. Therefore, the factor of safety under the temporary condition is $409/273 = 1.50$. Our calculation is attached herein as Plate 2.

The final configuration in the area between the retaining wall and Crown Valley Parkway will be nearly level by the addition of up to about 7 feet of fill. This condition is depicted on Plate 2. This will create a retained condition with a level top and level toe. Provided the retaining system is designed to resist the earth pressure, the system is not anticipated to be globally unstable by inspection. If the geometry involved a descending slope below the wall, a check of global stability would be appropriate.

Item 7:

The types and locations of underground utilities within Crown Valley Parkway are not known. However, the edge of pavement is located 23 feet or more away from the wall. The tie-backs will be installed at an elevation of 279 feet and at angles no shallower than 20 degrees. The surface of Crown Valley is an elevation of about 290 feet. Therefore, the tie-backs will be no less than 19 feet below street grade. We do not anticipate that underground utilities are present near this depth such that they would be influenced by the stressing of the tie-backs. Provided underground utilities are located at least 3 feet above the tie-backs, no adverse effects to the utilities are anticipated. This condition should be verified prior to installation of the tie-backs.

The abutment for the Crown Valley overcrossing is located within the tie-back zone. The details of the abutment are not known. The structural components of the abutment should be determined. Tiebacks should not be constructed within 3 feet of piles or abutment footings.

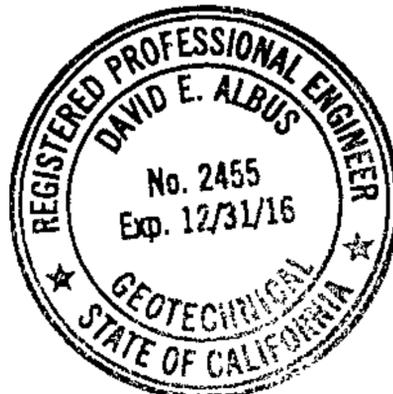
Closing.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.


David E. Albus
Principal Engineer
GE 2455



Enclosures:

- City of Laguna Niguel Geotechnical Review Sheet
- Plate 1 – Coulomb Analysis of Passive Pressure for Soldier Piles
- Plate 2 – Calculation of Passive Wedge for Temporary Shoring Condition



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

DATE: June 26, 2015

COMMENTS

1. The "Design Criteria" page of the structural calculations indicates a passive value of 2000 psf/ft. Is this value considered acceptable from a geotechnical point of view?
2. Review of the calculations appears to indicate that a passive earth pressure of 667lb/ft²/ft was utilized in the calculations while the May 15, 2014 geotechnical report provides a passive earth pressure of 325 psf/ft. Please explain this discrepancy and revise as necessary.
3. The structural calculations utilize a seismic earth pressure component of 7H while the May 15, 2014 geotechnical report provides a seismic earth pressure component of 10.5 H. Please explain this discrepancy and revise as necessary.
4. The active earth pressures utilized in the calculations range from 25H to 49.5H. Please explain why these values vary and revise as necessary.
5. The plans call for 3,000 psi concrete for the soldier piles. Is this concrete strength suitable from a geotechnical point of view?
6. The Geotechnical Engineer of record should perform a global stability analysis to verify that the proposed construction is stable prior to the additional surcharge (prior to Crown Valley improvements). For instance, does the final wall condition with tiebacks locked off create a condition that may cause upslope heave or surcharge to any existing utilities, sewer, etc. prior to raising the final grade? Global stability analysis should also be performed for the condition that includes the future proposed Crown Valley Improvements.
7. The geotechnical consultant should provide a comment regarding the impact of the proposed construction on Crown Valley Parkway and City property. Will the drilling, installing, and stressing of the tiebacks cause any adverse impacts to the existing improvements within adjacent property?
8. The design tiebacks encroach under Crown Valley Parkway, and as such, the City should issue an encroachment permit prior to issuance of the building permit.

REVIEWED BY:

Lisa Bates, PG, CEG 2293
Associate Geologist

David Hansen, PE, M.Sc., GE 3056
Senior Geotechnical Engineer

Passive Earth Pressure, Coulomb

J.N.: 2176.00
 Client: Alliance
 Description: Soldier Piles

Input Values:

Soil Friction Angle, ϕ (deg.)	50
Soil Density, γ (pcf)	110
Wall Batter Angle, θ (deg.)	0
Backfill Slope, α (deg.)	0
Delta Factor (fraction of Phi)	0.3

Coulomb Equation:

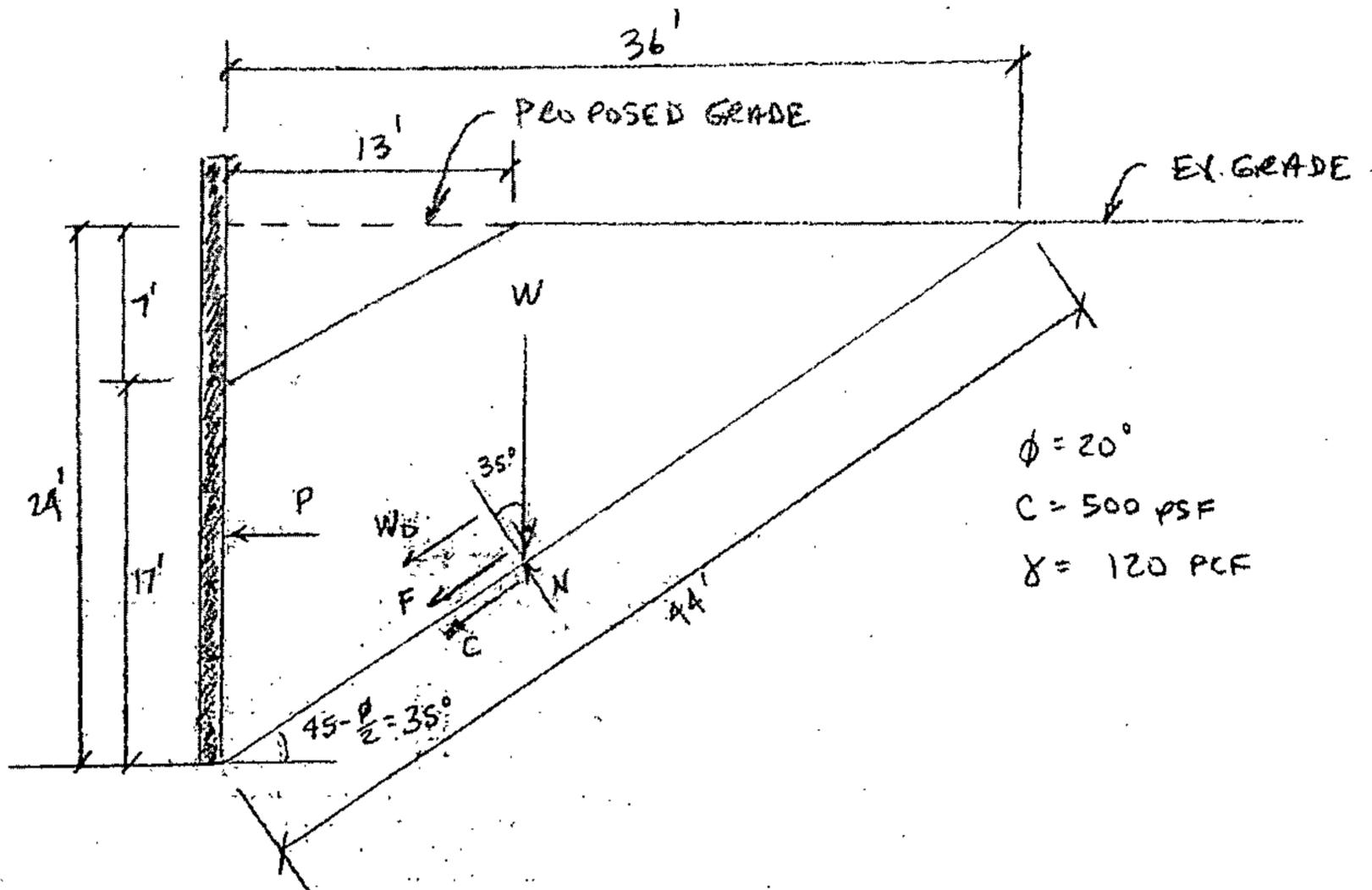
$$K_p = \frac{\cos^2(\phi + \theta)}{\cos^2 \theta \cos(\delta - \theta) \left[1 - \sqrt{\frac{\sin(\phi + \delta) \sin(\phi + \alpha)}{\cos(\delta - \theta) \cos(\alpha - \theta)}} \right]^2}$$

EFP Passive Pressure, P = Kpy

Results:

Delta, δ (Delta factor * ϕ) (deg.)	15
K'p	18.41
EFP Passive Pressure, P (pcf)	2026

7/9/2015



PASSIVE RESISTANCE OF WEDGE

$P = \text{HORIZON. COMPONENT OF } C + F + W_D$

$$W = \left[\frac{24 \cdot 36}{2} - \frac{7 \cdot 13}{2} \right] \cdot 120 = 46,380 \text{ lbs/ft.}$$

$$P = \cos 35 \left[500 \cdot 44' + 46,380 \cos 35 \tan 20 + 46,380 \sin 35 \right]$$

$$= 51,140 \text{ lbs/ft}$$

PILE SPACING = 8' c/c

TOTAL PASSIVE RESISTANCE / PILE = 8 · 51,140 = 409 KIPS

MAY. DESIGN LOAD = 273 KIPS

$$F.S. = 409 / 273 = 1.50 \quad \text{FOR TEMPORARY CONDITION}$$



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

July 9, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Shoring Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

Reference: Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Shoring Plans prepared by Burnett & Young, Inc. Our work is based on the referenced report by this firm.

Based on our review, the shoring plans conform to our recommendations as presented in the referenced report. Construction of tie-backs will encroach into the public right of way (Crown Valley Parkway). The right of way may contain underground utilities and is expected to have a pile-supported abutment within the tie-back zone. Tie-backs should be installed in a manner that maintains at least 3 feet of clearance from any underground improvements such as utilities or abutment elements.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455



**BURNETT
&
YOUNG,
INC.**

CONSULTANTS • ENGINEERS
CONSTRUCTION ENGINEERING • FORENSIC ENGINEERING • STRUCTURAL DESIGN
EARTH RETENTION SYSTEMS DESIGN • SLOPE STABILIZATION DESIGN

July 09, 2015

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, California 92677

Project: Gateway Village
Permanent Shoring Wall Construction
27742 Forbes Road
Laguna Niguel, CA
BYI File No.: 14-1400

*Rec'd
2/30/15
Sent to
Gmu via
email*

RE: Responses to Geotechnical Review Sheet dated June 26, 2015

1. Response by Geotechnical Engineer
2. The use of passive pressure of 667 lb/ft²/ft is based on the ultimate passive pressure of 2,000 psf/ft with a 3.0 factor of safety.
3. Per Building Code, when combined earth pressure and seismic pressure are used for allowable stress design, the following applies:
1.0H + 0.7E, that is 1.0 factor for soils load and 0.7 factor for seismic.
4. Pressure of 25H does not apply. Calculations have been revised for correct soil pressures. Please note the following:
 - a. Piles/shotcrete wall will be surcharged by the existing slope until future widening of street is completed. Pressure of 46.8H psf (Earth Pressure and Seismic Pressure for 2:1 backfill condition).
 - b. Piles/shotcrete wall will be surcharged by the "future grade" with a lateral pressure of 46.4H psf (Earth Pressure and Seismic Pressure combined). Additionally, we added 100psf for the upper 10 ft for future traffic surcharge. This scheme governs the design.
5. Concrete for piles and shotcrete is specified as 4500 psi.
6. Response by Geotechnical Engineer.
7. Response by Geotechnical Engineer.
8. Encroachment agreement to be obtained by Owner.

Very truly yours,

BURNETT & YOUNG, INC.

Luis Cruz



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
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Page 2

REFERENCE NO.: B15-1661

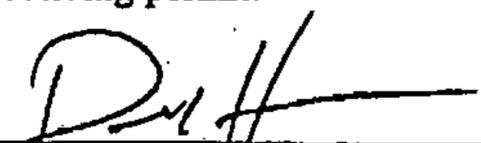
DATE: June 26, 2015

COMMENTS

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4. The active earth pressures utilized in the calculations range from 25H to 49.5H. Please explain why these values vary and revise as necessary.
5. The plans call for 3,000 psi concrete for the soldier piles. Is this concrete strength suitable from a geotechnical point of view?
6. The Geotechnical Engineer of record should perform a global stability analysis to verify that the proposed construction is stable prior to the additional surcharge (prior to Crown Valley improvements). For instance, does the final wall condition with tiebacks locked off create a condition that may cause upslope heave or surcharge to any existing utilities, sewer, etc. prior to raising the final grade? Global stability analysis should also be performed for the condition that includes the future proposed Crown Valley Improvements.
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REVIEWED BY:


Lisa Bates, PG, CEG 2293
Associate Geologist


David Hansen, PE, M.Sc., GE 3056
Senior Geotechnical Engineer



GARY - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: **B15-1661**
 Project Address: **27742 FORBES RD**
 Valuation: **346500**
 Project Description: *Shoring wall for the southernmost portion of the property line wall. (At Crown Valley)*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	6/4/15	6/18/15		6-15-15	GA
2nd Check:				pending	Gmu
3rd Check:					
4th Check:					

Comments:

Gary - Gmu is doing

Structural & Geo

**SPECIAL INSPECTOR
 SHALL REGISTER
 WITH THE CITY**

Final Approval By: GA Date: 6-15-15

Attached is:

Pending Gmu

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

CITY OF LAGUNA NIGUEL
27781 La Paz Road
Laguna Niguel, California 92677
949-362-4300

PLAN CHECK NO.: 15-1661

SIP sent to GMMU

Plan reviewer contact # 949-273-0277

1ST REVIEW BY: Steve Ahuna DATE: 8-20-15 CORRECTIONS
2ND REVIEW BY: _____ DATE: _____ CORRECTIONS APPROVED
3RD REVIEW BY: _____ DATE: _____ CORRECTIONS APPROVED

A. THE CIRCLED ITEMS BELOW REQUIRE CORRECTION OR CLARIFICATION BEFORE THIS PLAN CHECK CAN BE APPROVED FOR PERMIT ISSUANCE. RETURN ALL CORRECTION MATERIAL WHEN RESUBMITTING.
B. NOTE ON THIS CORRECTION SHEET OR ON A SEPARATE SHEET THE LOCATION OF THE COMPLETED CORRECTION. (I.E. SHEET NO., DETAIL, ETC.)

CBC 2013 STRUCTURAL DESIGN REQUIREMENT

General

1. Show Basis of Design on the plans: (CBC 1603)
 - a. Floor live load.
 - b. Roof live load.
 - c. Wind design data:
 - i) Ultimate design wind speed in m.p.h.
 - ii) Nominal design wind speed in m.p.h.
 - iii) Risk category.
 - iv) The applicable internal pressure coefficient.
 - v) Wind exposure.
 - vi) Components and Cladding pressure in psf.
 - d. Earthquake design data:
 - i) Risk category.
 - ii) Seismic importance factor.
 - iii) Mapped Ss and S1.
 - iv) Site class.
 - v) Sds and Sd1.
 - vi) Seismic design category.
 - vii) Basic seismic-force-resisting system(s).
 - viii) Design Base Shear.
 - ix) Cs, R.
 - x) Analysis procedure used.
 - e. Soil loading bearing values.
2. Codes:
 - a. 2013 CBC and as amended by City Ordinance.
- 3.** Material specifications on the plans:
 - a.** DOC PS20, Douglas Fir-Larch.
 - b. Wood structural panels: DOC PS1 or DOC PS2.
 - c. Wood fastener: Table 2304.9.1.
 - d. Concrete: F'c & Cement Type.
 - e. Masonry: F'm, ASTM C90, Grade N.
 - f. Grout and mortar mixes.
 - g.** Reinforcing steel: ASTM Number, Grade *Fy = 60 ksi*
 - h. Glue-lam beams shall be marked AITC A 190.1:
 - i) Specify stress, exterior grade if exposed.
 - ii) Provide field inspector with approved "Certification of inspection."
 - i. PSL, LVL, Microlam, Versalam
 - j. Open-web steel joists shown on the plans.
 - k. Structural steel: Bolts, Plates, Welds, Members etc.
 - l. Cold-formed steel: Screws, Bolts, Welds, Members etc.

32. Perimeter footings shall be founded a minimum of 27 inches below grade. Interior footings supporting 2 stories shall be founded a minimum of 18 inches below grade, and interior footings supporting 3 stories shall be founded a minimum of 24 inches below grade. Provide continuous footing with one #4 reinforcement, top and bottom. (CA)
33. Perimeter footings shall be founded a minimum of 27 inches below grade. Interior footings supporting 2 stories shall be founded a minimum of 18 inches below grade, and interior footings supporting 3 stories shall be founded a minimum of 24 inches below grade. Provide continuous footing with one #4 reinforcement, top and bottom. (MP)
34. Concrete in contact with the soil shall have an minimum specified compressive strength of 4,500 p.s.i., water-cement ratio of 0.45 and Type V cement unless a soil report recommends otherwise. (FV)
35. Concrete in contact with the soil shall use Type V cement. Concrete slabs shall be provided with a minimum 10 mil moisture barrier. (CP)
36. Specify slab on grade concrete floor slab thickness, reinforcement and moisture barrier on foundation plan. Minimum thickness shall be 3-1/2 inches and shall have minimum 6x6x10x10 WWMF. (TP, YV)
37. 4" slab over 2" sand over 10mil visqueen. Reinforce with 6-6-10-10 wwm or #3@12"oc or #4@18"oc. Concrete: Type V cement. Notes on plans: Turn in MIX ticket. Foundation inspection before concrete pour. (CY)

NONRESIDENTIAL

38. Handrail assemblies and guards:
 - a. Provide design for 200 lb concentrated load anywhere along top rail.
 - b. Provide design for a 50 p.l.f. along top rail.
 - c. Glass handrails: Provide design per CBC 2407.
39. Stair stringers: Provide design with a live load of 100 p.s.f.
40. Foundation concrete shall have an minimum ultimate compressive strength per CBC Table 1808.8.1 and ACI Section 5.1.1 with a minimum $f_c = 2,500$ psi.

RETAINING WALLS

41. E.F.P. for projects without a soil report:
 - 45 p.c.f. Level Backfill,
 - 58 p.c.f. 2 : 1
 - 70 p.c.f. 1.5 : 1
42. E.F.P. for projects without a soil report shall be based on the soil loads specified in Table 1610.1.
43. Minimum set back of footings, at face of slopes: CBC Figure 1808.7.1.
44. Sliding factor of safety: 1.5 times the lateral force.
45. Overturning factor of safety: 1.5 times the overturning moment.

TENANT IMPROVEMENT

46. The suspended ceiling system shall comply with CBC 803.9 and seismic design per ASCE 7-10, 13.5.6:
 - a. Show minimum 2 inch wide angle closer. One end of the ceiling grid shall be attached to the closure angle. The other end in each horizontal direction shall have a 0.75 inch clearance from the wall and shall be free to slide on a closer angle.
47. Storage racks anchored to slab on grade shall be designed based on a soil load bearing capacity not exceeding 1500 p.s.f., unless noted otherwise in the soil report.

SHORING PLAN REVIEW

48. Provide a scaled and dimensioned site plan showing:
 - a. Property lines of the project.
 - b. Location of all buildings and structures on the property.
 - c. Location of all buildings and structures on adjacent property for shoring located within a distance equal to the depth of the excavation to the adjacent property.
 - d. Shoring location.
49. Note on the plan: Geotechnical recommendations for the shoring design.
50. Geotechnical engineer to stamp and sign the shoring plan, certifying that the design is in compliance with his recommendation.
51. Provide a section through the property line. Show the shoring and improvement on both sides of the property line.

52. Excavations and shoring shall be made entirely within the project site.
53. Soldier Piles: Steel piles shall be encased in concrete with a minimum of 3 inches of cover. Lagging is not permitted to violate the concrete cover
54. Provide a description of the process for installing shoring, construction of basement walls, and removal of shoring.
55. Note on the plan: Shoring engineer to provide monitoring of shoring and improvements on adjacent properties and submit results with a report to the Building Inspector on a daily basis during excavation and shoring and weekly basis thereafter.
56. Note on the plan: "Geotechnical engineer shall provide continuous inspections during shoring and excavation operations and during removal of shoring."
57. Note on the plan: "Contractor shall notify adjacent property owners by certified mail 10 days prior to starting the shoring or excavation work."
58. Note on the plan: "Continuous inspection by deputy inspector is required during shoring, excavation and removal of shoring."

ALTERNATE MATERIAL, DESIGN & METHODS

59. Section 104.11 of the CBC allows the use of alternate materials, design and methods not specifically prescribed in the code. An Alternate Material Application shall be filed with the building official for review for the following:
 - a. Research Reports: ICC ES reports have historically been approved without an alternate material application. These reports must be based on the 2012 IBC. ICC reports based on other codes may be submitted with an Alternate Materials Application.
 - b. IAPMO ES Reports.
 - c. Los Angeles City Research Reports:
 - d. Tests may be submitted per CBC 104.11.2.

ANCHOR BOLT DESIGN

60. The design of holdown and anchor bolts shall comply with CBC1908, ACI 318-11, Appendix D or as required in the ICC ESR for the anchoring system used.
The design shall assume cracked concrete.
The design of post-installed anchors shall be based on 2,500 p.s.i. concrete and cracked concrete.

MANUFACTURED SHEAR WALLS

61. Provide manufacturer's installation drawings and include into the plans.
62. Show and dimension the foundation for the anchorage on the plans.
63. Simpson Wood Strong-Walls (ICC ESR-1267), SWSB (ICC ESR2652, Steel-Strong Walls (ICC ESR-1679):
 - a. Load Type: Seismic.
 - b. W and de based on 2500 p.s.i. cracked concrete.
 - c. Specify anchorage schedule on the foundation plans:
64. Hardy Frames (ICC ESR-2089):
 - a. Load Type: Seismic.
 - b. Ca1, Ca2 and le based on 2500 p.s.i. cracked concrete.
 - c. Specify anchorage nomenclature on the foundation plan.

ADDITIONAL CORRECTIONS

1. Provide structural calculations for _____.
2. See comments in plans and/or calculations . *SEE SIMPSON ACI 318 CALCS. USE ACI 318-11 NOT ACI 318-08*
3. Engineer to stamp/sign/date structural sheets and/or calculations.
4. E.O.R. to review/approve pre-fab truss calcs. for design loads (vertical & lateral).
5. Put soils report information on plans: Company Name, project number, date of report.
6. Soils engineer to approve foundation plans and details per soils report specifications. Approval may be accomplished by letter or stamping/signing/date of signature on plans.
7. Provide building owners' name on cover sheet of plans.

Company:		Date:	8/20/2015
Engineer:		Page:	1/4
Project:			
Address:			
Phone:			
E-mail:			

1. Project information

Customer company:
 Customer contact name:
 Customer e-mail:
 Comment:

Project description:
 Location:
 Fastening description:

2. Input Data & Anchor Parameters

General

Design method: ACI 318-11
 Units: Imperial units

Anchor Information:

Anchor type: Cast-in-place
 Material: F1554 Grade 55
 Diameter (inch): 0.750
 Effective Embedment depth, h_{ef} (inch): 4.750
 Anchor category: -
 Anchor ductility: Yes
 h_{min} (inch): 6.25
 C_{min} (inch): 4.50
 S_{min} (inch): 4.50

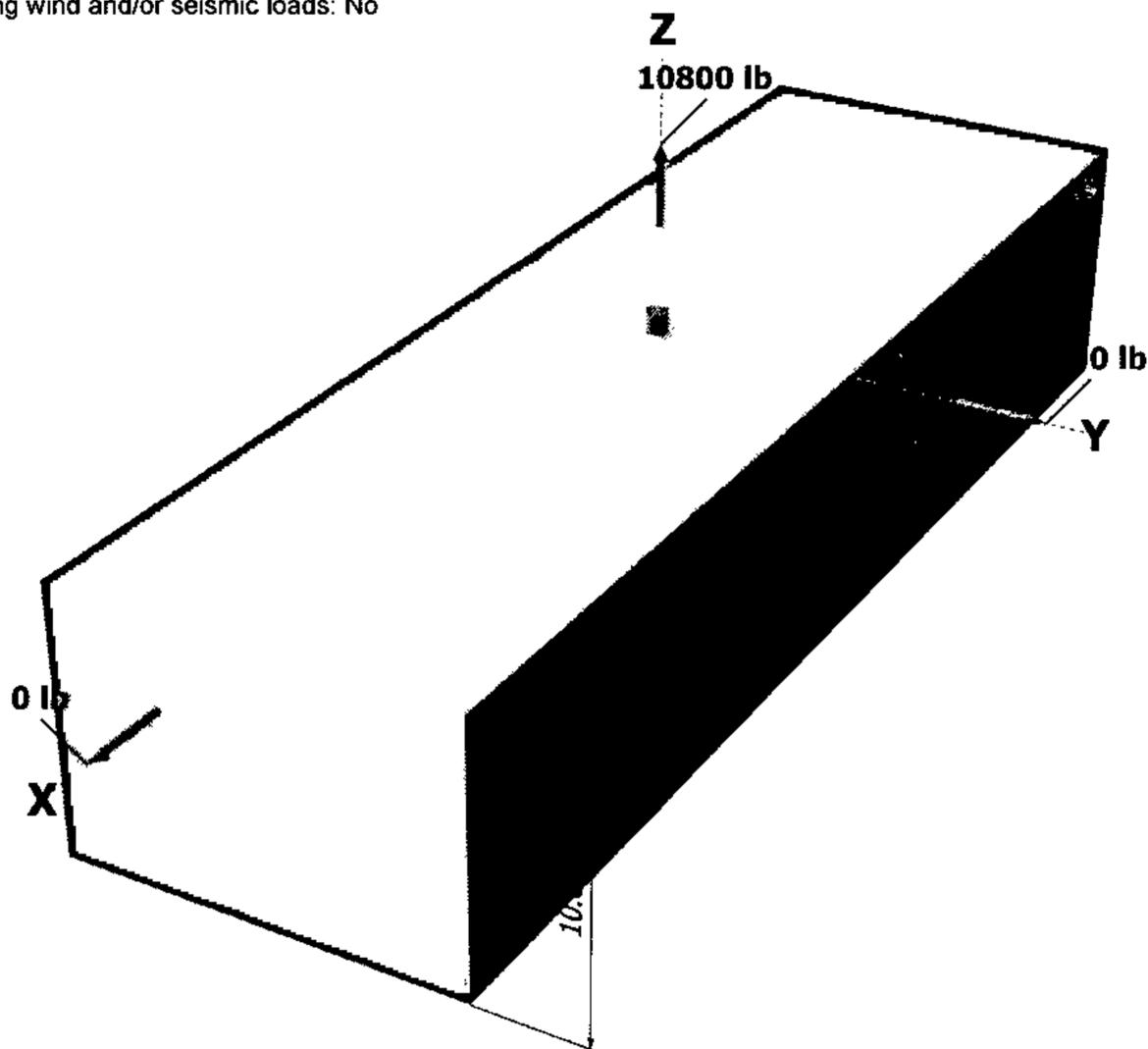
Base Material

Concrete: Normal-weight
 Concrete thickness, h (inch): 10.00
 State: Cracked
 Compressive strength, f_c (psi): 4500
 $\Psi_{c,v}$: 1.4
 Reinforcement condition: B tension, B shear
 Supplemental reinforcement: Not applicable
 Reinforcement provided at corners: No
 Do not evaluate concrete breakout in tension: No
 Do not evaluate concrete breakout in shear: No
 Ignore δ do requirement: No
 Build-up grout pad: No

Load and Geometry

Load factor source: ACI 318 Section 9.2
 Load combination: not set
 Seismic design: No
 Anchors subjected to sustained tension: Not applicable
 Apply entire shear load at front row: No
 Anchors only resisting wind and/or seismic loads: No

<Figure 1>





Anchor Designer™
Software
Version 2.4.5673.31

Company:		Date:	8/20/2015
Engineer:		Page:	2/4
Project:			
Address:			
Phone:			
E-mail:			

<Figure 2>



Recommended Anchor

Anchor Name: Heavy Hex Bolt - 3/4"Ø Heavy Hex Bolt, F1554 Gr. 55





Anchor Designer™
Software
Version 2.4.5673.31

Company:		Date:	8/20/2015
Engineer:		Page:	3/4
Project:			
Address:			
Phone:			
E-mail:			

3. Resulting Anchor Forces

Anchor	Tension load, N _{ua} (lb)	Shear load x, V _{uax} (lb)	Shear load y, V _{uay} (lb)	Shear load combined, √(V _{uax}) ² +(V _{uay}) ² (lb)
1	10800.0	0.0	1200.0	1200.0
Sum	10800.0	0.0	1200.0	1200.0

Maximum concrete compression strain (‰): 0.00
 Maximum concrete compression stress (psi): 0
 Resultant tension force (lb): 10800
 Resultant compression force (lb): 0
 Eccentricity of resultant tension forces in x-axis, e'_{Nx} (inch): 0.00
 Eccentricity of resultant tension forces in y-axis, e'_{Ny} (inch): 0.00
 Eccentricity of resultant shear forces in x-axis, e'_{Vx} (inch): 0.00
 Eccentricity of resultant shear forces in y-axis, e'_{Vy} (inch): 0.00

4. Steel Strength of Anchor in Tension (Sec. D.5.1)

N _{sa} (lb)	φ	φN _{sa} (lb)
25050	0.75	18788

5. Concrete Breakout Strength of Anchor in Tension (Sec. D.5.2)

$$N_b = k_c \lambda_a \sqrt{f_c} h_{ef}^{1.5} \text{ (Eq. D-6)}$$

k _c	λ _a	f _c (psi)	h _{ef} (in)	N _b (lb)
24.0	1.00	4500	4.750	16667

$$\phi N_{cb} = \phi (A_{Nc} / A_{Nco}) \psi_{ed,N} \psi_{c,N} \psi_{cp,N} N_b \text{ (Sec. D.4.1 \& Eq. D-3)}$$

A _{Nc} (in ²)	A _{Nco} (in ²)	ψ _{ed,N}	ψ _{c,N}	ψ _{cp,N}	N _b (lb)	φ	φN _{cb} (lb)
203.06	203.06	1.000	1.00	1.000	16667	0.70	11667

6. Pullout Strength of Anchor in Tension (Sec. D.5.3)

$$\phi N_{pn} = \phi \psi_{c,P} N_p = \phi \psi_{c,P} \beta A_{brg} f_c \text{ (Sec. D.4.1, Eq. D-13 \& D-14)}$$

ψ _{c,P}	A _{brg} (in ²)	f _c (psi)	φ	φN _{pn} (lb)
1.0	0.91	4500	0.70	22957



Anchor Designer™
Software
Version 2.4.5673.31

Company:		Date:	8/20/2015
Engineer:		Page:	4/4
Project:			
Address:			
Phone:			
E-mail:			

8. Steel Strength of Anchor in Shear (Sec. D.6.1)

V_{sa} (lb)	ϕ_{grou}	ϕ	$\phi_{grou}\phi V_{sa}$ (lb)
15030	1.0	0.65	9770

9. Concrete Breakout Strength of Anchor in Shear (Sec. D.6.2)

Shear perpendicular to edge in y-direction:

$$V_{by} = \min[7(l_e/d_a)^{0.2}\sqrt{d_a}\lambda_a\sqrt{f_c}C_{at}^{1.5}; 9\lambda_a\sqrt{f_c}C_{at}^{1.5}] \text{ (Eq. D-33 \& Eq. D-34)}$$

l_e (in)	d_a (in)	λ_a	f_c (psi)	C_{at} (in)	V_{by} (lb)
4.75	0.75	1.00	4500	7.20	11365

$$\phi V_{cby} = \phi (A_{vc}/A_{vco})\psi_{ed,v}\psi_{c,v}\psi_{h,v}V_{by} \text{ (Sec. D.4.1 \& Eq. D-30)}$$

A_{vc} (in ²)	A_{vco} (in ²)	$\psi_{ed,v}$	$\psi_{c,v}$	$\psi_{h,v}$	V_{by} (lb)	ϕ	ϕV_{cby} (lb)
216.00	233.28	1.000	1.400	1.039	11365	0.70	10717

Shear parallel to edge in y-direction:

$$V_{bx} = \min[7(l_e/d_a)^{0.2}\sqrt{d_a}\lambda_a\sqrt{f_c}C_{at}^{1.5}; 9\lambda_a\sqrt{f_c}C_{at}^{1.5}] \text{ (Eq. D-33 \& Eq. D-34)}$$

l_e (in)	d_a (in)	λ_a	f_c (psi)	C_{at} (in)	V_{bx} (lb)
4.75	0.75	1.00	4500	6.67	10126

$$\phi V_{cbx} = \phi (2)(A_{vc}/A_{vco})\psi_{ed,v}\psi_{c,v}\psi_{h,v}V_{bx} \text{ (Sec. D.4.1 \& Eq. D-30)}$$

A_{vc} (in ²)	A_{vco} (in ²)	$\psi_{ed,v}$	$\psi_{c,v}$	$\psi_{h,v}$	V_{bx} (lb)	ϕ	ϕV_{cbx} (lb)
144.00	200.00	1.000	1.400	1.000	10126	0.70	14289

10. Concrete Pryout Strength of Anchor in Shear (Sec. D.6.3)

$$\phi V_{cp} = \phi K_{cp}N_{cb} = \phi K_{cp}(A_{Nc}/A_{Nco})\psi_{ed,N}\psi_{c,N}\psi_{cp,N}N_b \text{ (Eq. D-40)}$$

K_{cp}	A_{Nc} (in ²)	A_{Nco} (in ²)	$\psi_{ed,N}$	$\psi_{c,N}$	$\psi_{cp,N}$	N_b (lb)	ϕ	ϕV_{cp} (lb)
2.0	203.06	203.06	1.000	1.000	1.000	16667	0.70	23334

11. Results

Interaction of Tensile and Shear Forces (Sec. D.7)

Tension	Factored Load, N_{ua} (lb)	Design Strength, ϕN_n (lb)	Ratio	Status
Steel	10800	18788	0.57	Pass
Concrete breakout	10800	11667	0.93	Pass (Governs)
Pullout	10800	22957	0.47	Pass

Shear	Factored Load, V_{ua} (lb)	Design Strength, ϕV_n (lb)	Ratio	Status
Steel	1200	9770	0.12	Pass (Governs)
T Concrete breakout y+	1200	10717	0.11	Pass
|| Concrete breakout x-	1200	14289	0.08	Pass
Pryout	1200	23334	0.05	Pass

Interaction check	$N_{ua}/\phi N_n$	$V_{ua}/\phi V_n$	Combined Ratio	Permissible	Status
Sec. D.7.1	0.93	0.00	92.6 %	1.0	Pass

3/4"Ø Heavy Hex Bolt, F1554 Gr. 55 with hef = 4.750 inch meets the selected design criteria.

12. Warnings

- Designer must exercise own judgement to determine if this design is suitable.



GMU - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1661
Project Address: 27742 FORBES RD
Valuation: 346500
Project Description: *Shoring wall for the southernmost portion of the property line wall. (At Crown Valley) This is the shoring wall with the tieback. (also see B15-2449, plan check without the tieback)*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	9/11/15	9/25/15			
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Lisa - this project you guys did the structural & geo review. please look @ both thank you.
Antowelt

Final Approval By: _____ Date: _____

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List

P.S. This is the one w/ the tie back we issued this project without the tie back (under CVP) on a separate permit. The tie back was re-detained.



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1661
Project Address: 27742 FORBES RD
Valuation: 346500
Project Description: *Shoring wall for the southernmost portion of the property line wall. (At Crown Valley)*

W

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :			8-20-15		Se
2nd Check:					
3rd Check:					
4th Check:					

Comments:

*Steve this was resub but
 never resent to you*

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



Planning Division - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1661
Project Address: 27742 FORBES RD
Project Description: Shoring wall for the southernmost portion of the property line wall. (At Crown Valley)

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	6/4/15	6/18/15			
2nd Check:	7/14/15				
3rd Check:					
4th Check:					

Jonathan

Plan Check Reviewed By: _____

- ___ School Fees Payment or Exemption Letter Received, Date: _____
- ___ HOA Approval Received **N/A**
- ___ Discretionary Application #(s), if applicable _____
- ___ Meets setbacks for Zone _____



Planning Division - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1661
Project Address: 27742 FORBES RD
Project Description: Shoring wall for the southernmost portion of the property line wall. (At Crown Valley) This is the shoring wall with the tieback. (also see B15-2449, plan check without the tieback)

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check:	9/11/15			X	12-23-15
2nd Check:					
3rd Check:					
4th Check:					

Jonathan - they redesigned the tie back.

9/30 JO - the top set of plans is the newest. *AM*

Plan Check Reviewed By: _____

- ___ School Fees Payment or Exemption Letter Received, Date: _____
- ___ HOA Approval Received **N/A**
- ___ Discretionary Application #(s), if applicable _____
- ___ Meets setbacks for Zone _____

12/17 Jonathan this doesn't have comments? *AM*



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

9/30
Gary I
Sent this to GIMU
It was approved for
GIMU they are
re-reviewing
for
Structural

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: September 25, 2015

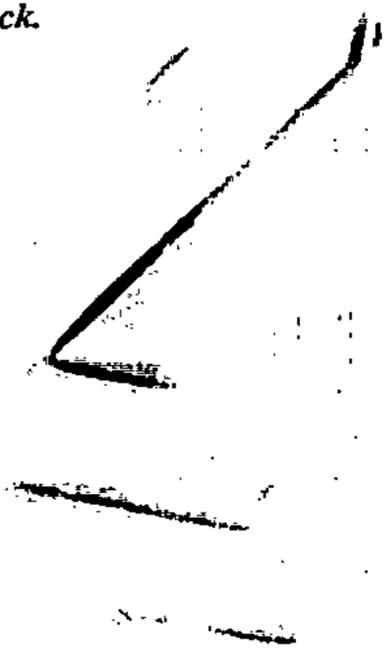
PROJECT DESCRIPTION: Proposed Shoring Wall Construction
LOCATION: 27742 Forbes Road
DEVELOPER/OWNER: Alliance Residential
STRUCTURAL FIRM: Burnett & Young, Inc.
THEIR JOB NO.: 14-1400
STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/10/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/10/15.

REFERENCES: Listed on Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 - CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 - REQUEST ADDITIONAL DATA FOR REVIEW REVIEW – *See COMMENTS.*
- Please send responses directly to the City of Laguna Niguel, Attention: Antoinette Kulick.
GMU Geotechnical can only accept responses forwarded from the City.*





CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

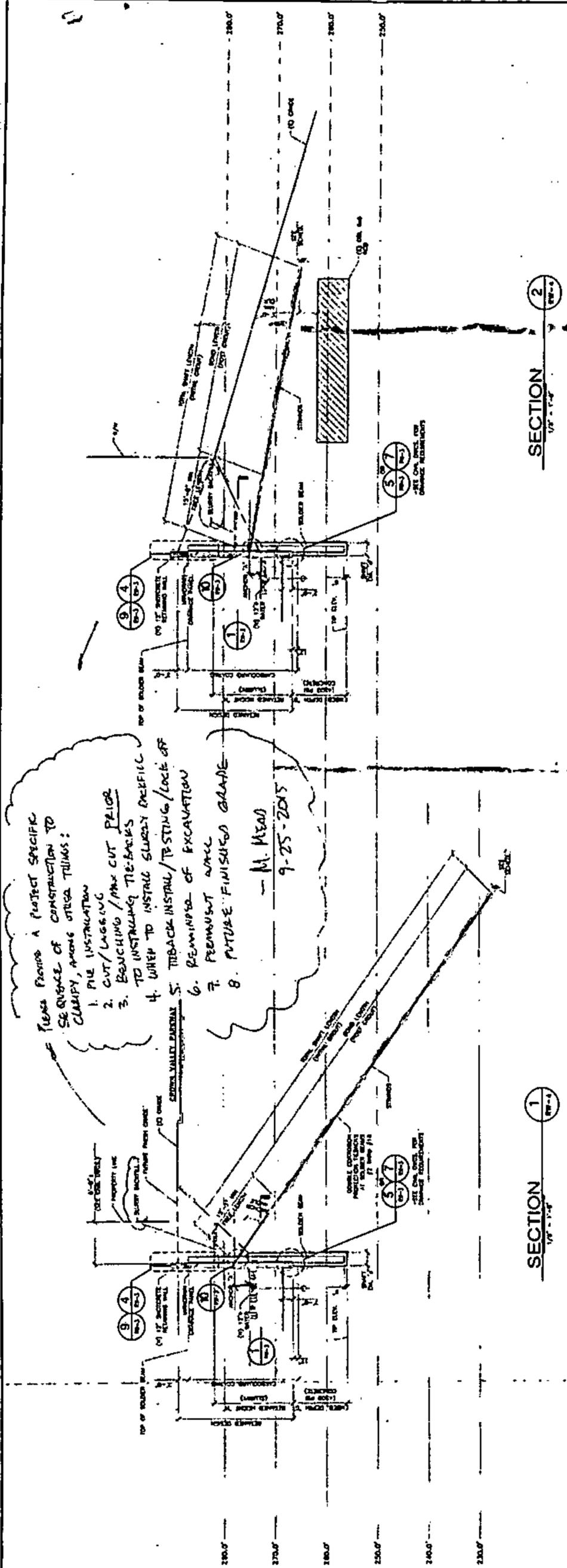
GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
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(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: B15-1661

DATE: July 20, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015; (10) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (11) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015.

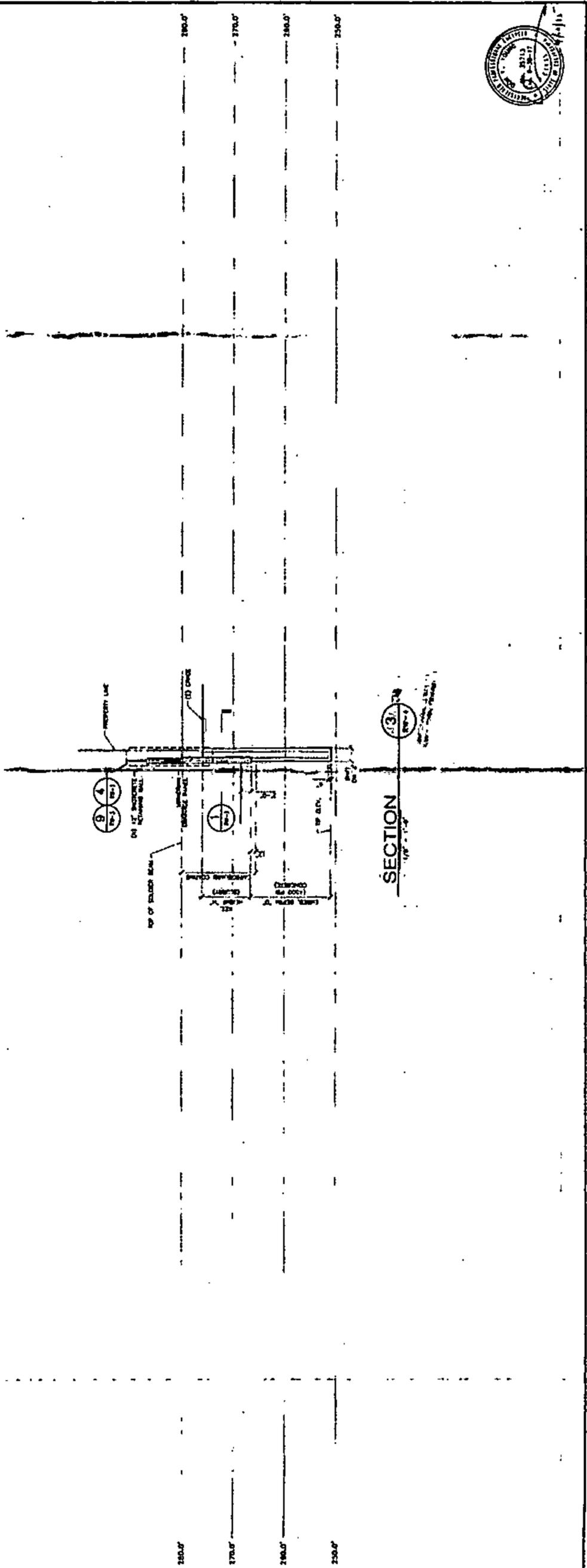


TEAMS FROM A PROJECT SPECIFIC SEQUENCE OF CONSTRUCTION TO CLARIFY, AMONG OTHER THINGS:

1. THE INSTRUCTION
2. CUT/LAGGING
3. BENCHING/TIE-BACKS TO INSTALLED SLURRY INFILL
4. WHEN TO INSTALL SLURRY INFILL
5. TIEBACK INSTALL/TESTING/LOCK OFF
6. REMOVAL OF EXCAVATION
7. PERMANENT WALL
8. FUTURE FINISHED GRADE

- M. Mead
9-25-2015

SECTION 1
1/8" = 1'-0"



SECTION 2
1/8" = 1'-0"



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380 • email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

DATE: July 30, 2015

COMMENTS

1. Prior to construction, the location of the existing underground utilities within Crown Valley should be verified to confirm that they are located at least 3 feet above the proposed tie-backs.

How far do tie-backs go

The details of the structural components of the abutment for the Crown Valley overcrossing should be determined and verified prior to construction. The proposed tie-backs should not be constructed within 3 feet of any piles or abutment footings.

REVIEWED BY:

David Hansen, M.Sc., PE, GE 3056
Senior Geotechnical Engineer

detail from Mark & Jason

DISTRIBUTION:

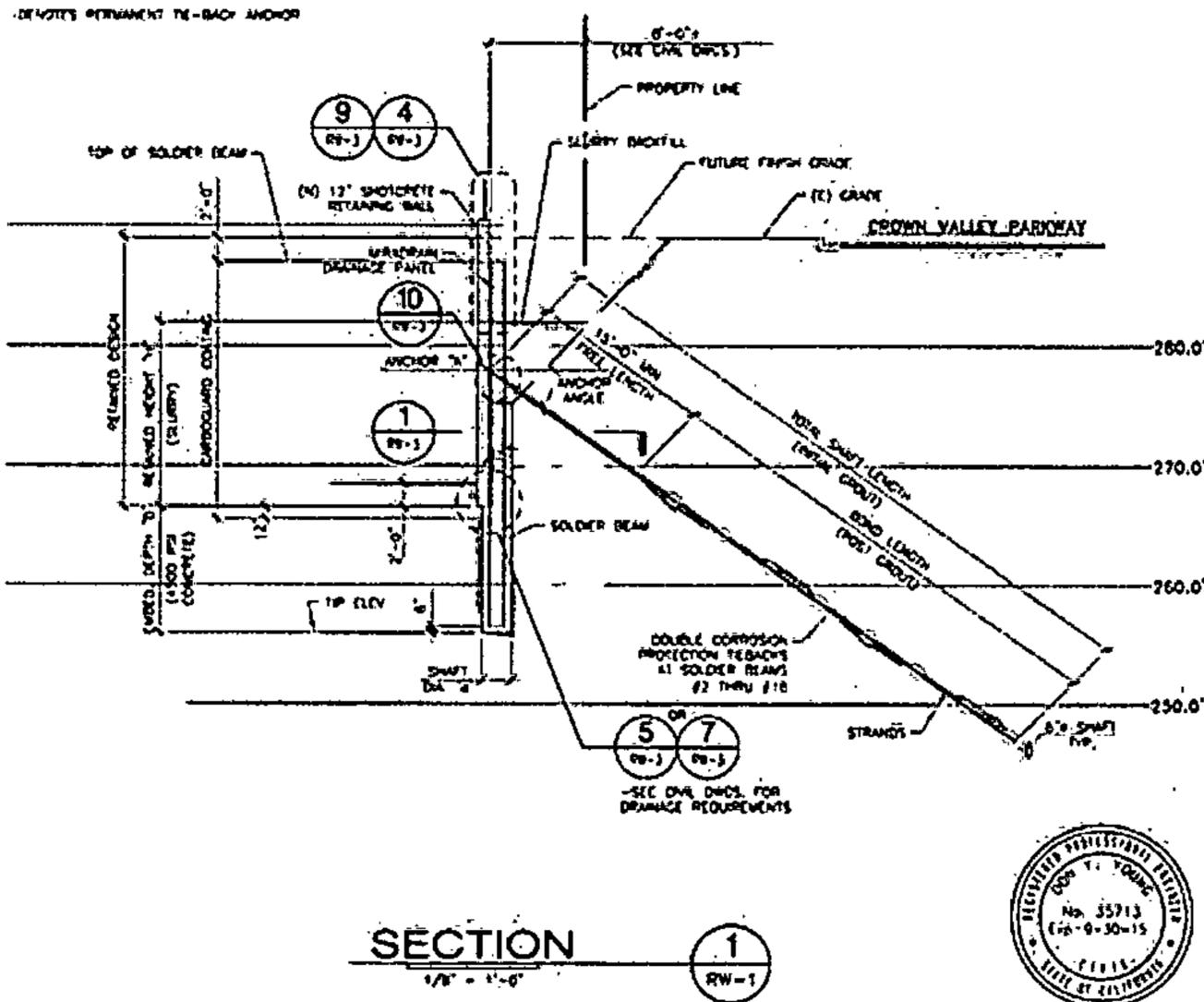
Antoinette Kulick/Gary Hawkin, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)

Antoinette Kulick

From: Eric Spector <espector@allresco.com>
Sent: Monday, August 03, 2015 8:11 AM
To: Rick Baar
Cc: Mark Wilson; Michael McCann; Antoinette Kulick
Subject: Alliance - Shored Retaining Wall - Crown Valley Parkway
Attachments: B15-1661 geotechnical_Shoring Wall_073015.pdf; CVP - Existing Utilities.pdf

Rick,

Please see item 1 of the attached geotechnical review in regards to the shored retaining wall for the Broadstone Laguna Niguel (Gateway Village) project for Alliance Residential. At our meeting with the Public Works department on July 1, 2015, we determined that potholing was not necessary to determine that the existing utilities are more than 3' above the proposed tiebacks. This has been brought up as a final plan check comment and was hoping that you could shed some light on the requirement / existing utilities as it relates to our tieback system in order to close this loop. I've also attached an exhibit of the existing utilities that has been provided by our Civil Engineer – Mike Thomas (KHR Associates). Please let us know if you have any questions.



Thanks,

Eric Spector
Project Engineer
Alliance Residential
p- (240) 508-2791
e- espector@allresco.com



CITY OF LAGUNA NIGUEL

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GEOTECHNICAL REVIEW SHEET

Reviewed by:

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(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: July 30, 2015

PROJECT DESCRIPTION: Proposed Shoring Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) Response to City of Laguna Niguel's Review Sheet dated June 26, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated July 9, 2015; (2) Responses to Geotechnical Review Sheet dated June 26, 2015, Gateway Village, Permanent Shoring Wall Construction, 27742 Forbes Road, Laguna Niguel, California," prepared by Burnett & Young, Inc., dated July 9, 2015; (3) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., revised July 9, 2015.

REFERENCES: Listed on Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENTS.*
- REQUEST ADDITIONAL DATA FOR REVIEW



CITY OF LAGUNA NIGUEL

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GEOTECHNICAL REVIEW SHEET

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Page 2

REFERENCE NO.: B15-1661

DATE: July 30, 2015

COMMENTS

1. Prior to construction, the location of the existing underground utilities within Crown Valley should be verified to confirm that they are located at least 3 feet above the proposed tie-backs. *- PW*
2. The details of the structural components of the abutment for the Crown Valley overcrossing should be determined and verified prior to construction. The proposed tie-backs should not be constructed within 3 feet of any piles or abutment footings. *- Mike to speak to Lisa*

REVIEWED BY:

David Hansen
David Hansen, M.Sc., PE, GE 3056
Senior Geotechnical Engineer

DISTRIBUTION:

Antoinette Kulick/Gary Hawkin, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)

*NOTE
ON PLANS*



CITY OF LAGUNA NIGUEL

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GEOTECHNICAL REVIEW SHEET

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Page 3

REFERENCE NO.: B15-1661

DATE: July 30, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.



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FEE SHEET

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1661

PROJECT ADDRESS: 27742 Forbes Road

Documents Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.	6/26/15	NOT APPROVED	\$722.50
(1) Response to City of Laguna Niguel's Review Sheet dated June 26, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated July 9, 2015; (2) Responses to Geotechnical Review Sheet dated June 26, 2015, Gateway Village, Permanent Shoring Wall Construction, 27742 Forbes Road, Laguna Niguel, California," prepared by Burnett & Young, Inc., dated July 9, 201; (3) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., revised July 9, 2015.	7/30/15	CONDITIONAL APPROVAL	\$395.00



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

*Sent to
Gmu*

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: June 26, 2015

PROJECT DESCRIPTION: Proposed Shoring Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.

REFERENCES: Listed on Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENTS.*
- REQUEST ADDITIONAL DATA FOR REVIEW



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

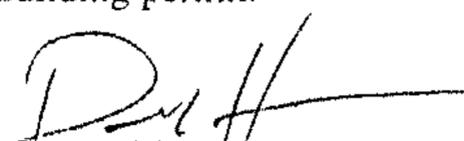
DATE: June 26, 2015

COMMENTS

1. The "Design Criteria" page of the structural calculations indicates a passive value of 2000 psf/ft. Is this value considered acceptable from a geotechnical point of view?
2. Review of the calculations appears to indicate that a passive earth pressure of 667lb/ft²/ft was utilized in the calculations while the May 15, 2014 geotechnical report provides a passive earth pressure of 325 psf/ft. Please explain this discrepancy and revise as necessary.
3. The structural calculations utilize a seismic earth pressure component of 7H while the May 15, 2014 geotechnical report provides a seismic earth pressure component of 10.5 H. Please explain this discrepancy and revise as necessary.
4. The active earth pressures utilized in the calculations range from 25H to 49.5H. Please explain why these values vary and revise as necessary.
5. The plans call for 3,000 psi concrete for the soldier piles. Is this concrete strength suitable from a geotechnical point of view?
6. The Geotechnical Engineer of record should perform a global stability analysis to verify that the proposed construction is stable prior to the additional surcharge (prior to Crown Valley improvements). For instance, does the final wall condition with tiebacks locked off create a condition that may cause upslope heave or surcharge to any existing utilities, sewer, etc. prior to raising the final grade? Global stability analysis should also be performed for the condition that includes the future proposed Crown Valley Improvements.
7. The geotechnical consultant should provide a comment regarding the impact of the proposed construction on Crown Valley Parkway and City property. Will the drilling, installing, and stressing of the tiebacks cause any adverse impacts to the existing improvements within adjacent property?
8. The design tiebacks encroach under Crown Valley Parkway, and as such, the City should issue an encroachment permit prior to issuance of the building permit.

REVIEWED BY:


Lisa Bates, PG, CEG 2293
Associate Geologist


David Hansen, PE, M.Sc., GE 3056
Senior Geotechnical Engineer



CITY OF LAGUNA NIGUEL

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Laguna Niguel, California 92677
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GEOTECHNICAL REVIEW SHEET

Reviewed by:

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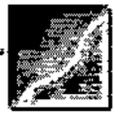
Page 3

REFERENCE NO.: B15-1661

DATE: June 26, 2015

DISTRIBUTION: Antoinette Kulick/Gary Hawkin, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.



GMU GEOTECHNICAL, INC.

23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1661

PROJECT ADDRESS: 27742 Forbes Road

Documents Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.	6/26/15	CONDITIONAL APPROVAL	\$ 722.50

AK
7/1/15

Antoinette Kulick

From: Michael McCann <mmccann@allresco.com>
Sent: Tuesday, June 02, 2015 5:32 PM
To: Antoinette Kulick
Subject: RE: Shoring Permit Application

The values associated with the wall are as follows:

Shoring	\$274,500
Shotcrete	\$72,000
Design	\$7,500
Total	\$354,000

From: Antoinette Kulick [mailto:AKulick@cityoflagunaniguel.org]
Sent: Monday, June 01, 2015 3:00 PM
To: Michael McCann
Subject: RE: Shoring Permit Application

One more thing...what is the valuation for that portion of the wall?

Antoinette Kulick, Sr. Permit Technician
Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4329

From: Michael McCann [mailto:mmccann@allresco.com]
Sent: Monday, June 01, 2015 2:49 PM
To: Antoinette Kulick
Subject: RE: Shoring Permit Application

Thank you.

From: Antoinette Kulick [mailto:AKulick@cityoflagunaniguel.org]
Sent: Monday, June 01, 2015 2:41 PM
To: Michael McCann
Subject: RE: Shoring Permit Application

Hi Michael,

The shoring will go to our Geo for a review. I will need 4 sets of plans and 3 sets of calculations. When plans go to the Geo consultant (GMU) we don't get them back, that is why we need an extra set as well as an extra set of calcs. I will process the application and get you the plan check fee!

Antoinette Kulick, Sr. Permit Technician
Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4329

From: Michael McCann [<mailto:mmccann@allresco.com>]
Sent: Monday, June 01, 2015 2:10 PM
To: Antoinette Kulick
Subject: Shoring Permit Application

Antoinette,

As I mentioned last week, I intend to submit plans for the shoring work along our project's southernmost property line (at Crown Valley Parkway) in the next couple of days. Per your suggestion, I am forwarding a copy of the application in anticipation of my coming in with the plans.

How many sets of plans and calculations do I need to bring in?

Regards,

Michael McCann
Alliance Residential
mmccann@allresco.com
949.370.8155



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

July 9, 2015
J.N.: 2176.00

Sent to
GMS
via email

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

**Subject: Response to City of Laguna Niguel's Review Sheet dated June 26, 2015,
Proposed Mixed-Use Residential and Commercial Development, Laguna
Niguel Crossing Site, Laguna Niguel, California**

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our response to the comments presented in the review sheet by the city of Laguna Niguel dated June 26, 2015, which pertains to a review of the shoring plans. A copy of the review sheet is attached herein for reference. We are only responding to select items that were deferred to us by the structural engineer for the shoring plans. Please see the response dated July 9, 2015 by Burnett & Young for other items.

Item 1:

The ultimate passive value of 2,000 pcf was recommended for design of soldier piles as presented in our report dated May 15, 2014 (see Section 6.4.5). The value is based on the Coulomb theory of passive pressure and the results of undisturbed direct shear on materials from the upper 10 feet of the site. The results of our direct shear testing are presented in our report dated May 15, 2015 and indicate a peak shear strength of 50 degrees friction and 100 psf cohesion. A calculation of the Coulomb passive pressure is attached herein as Plate 1.

Item 6:

The most critical location with respect to the potential for heave due to the loading of tie-backs in the temporary condition will occur at Pile #3. To evaluate the potential for a heave failure, we have calculated the passive resistance of the backfill wedge in the temporary condition (prior to final backfilling). For the ground behind the wall to heave, a passive wedge failure will have to occur. At the critical location, we calculate the passive wedge provides a resistance of 51.1 kips/ft. in the temporary condition. The piles are spaced at 8 feet on center, so the total passive force attributed to Pile #3 is 409 kips. The tie-back design load for Pile #3 is 273 kips. Therefore, the factor of safety under the temporary condition is $409/273 = 1.50$. Our calculation is attached herein as Plate 2.

The final configuration in the area between the retaining wall and Crown Valley Parkway will be nearly level by the addition of up to about 7 feet of fill. This condition is depicted on Plate 2. This will create a retained condition with a level top and level toe. Provided the retaining system is designed to resist the earth pressure, the system is not anticipated to be globally unstable by inspection. If the geometry involved a descending slope below the wall, a check of global stability would be appropriate.

BIS-1661

Item 7:

The types and locations of underground utilities within Crown Valley Parkway are not known. However, the edge of pavement is located 23 feet or more away from the wall. The tie-backs will be installed at an elevation of 279 feet and at angles no shallower than 20 degrees. The surface of Crown Valley is an elevation of about 290 feet. Therefore, the tie-backs will be no less than 19 feet below street grade. We do not anticipate that underground utilities are present near this depth such that they would be influenced by the stressing of the tie-backs. Provided underground utilities are located at least 3 feet above the tie-backs, no adverse effects to the utilities are anticipated. This condition should be verified prior to installation of the tie-backs.

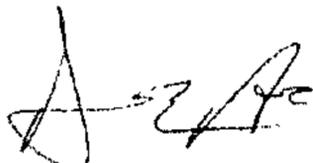
The abutment for the Crown Valley overcrossing is located within the tie-back zone. The details of the abutment are not known. The structural components of the abutment should be determined. Tiebacks should not be constructed within 3 feet of piles or abutment footings.

Closing

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
GE 2455



Enclosures:

- City of Laguna Niguel Geotechnical Review Sheet
- Plate 1 – Coulomb Analysis of Passive Pressure for Soldier Piles
- Plate 2 – Calculation of Passive Wedge for Temporary Shoring Condition



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

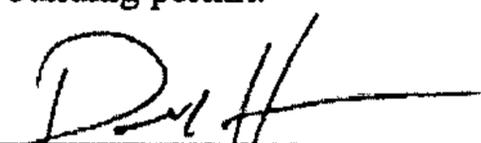
DATE: June 26, 2015

COMMENTS

1. The "Design Criteria" page of the structural calculations indicates a passive value of 2000 psf/ft. Is this value considered acceptable from a geotechnical point of view?
2. Review of the calculations appears to indicate that a passive earth pressure of 667lb/ft²/ft was utilized in the calculations while the May 15, 2014 geotechnical report provides a passive earth pressure of 325 psf/ft. Please explain this discrepancy and revise as necessary.
3. The structural calculations utilize a seismic earth pressure component of 7H while the May 15, 2014 geotechnical report provides a seismic earth pressure component of 10.5 H. Please explain this discrepancy and revise as necessary.
4. The active earth pressures utilized in the calculations range from 25H to 49.5H. Please explain why these values vary and revise as necessary.
5. The plans call for 3,000 psi concrete for the soldier piles. Is this concrete strength suitable from a geotechnical point of view?
6. The Geotechnical Engineer of record should perform a global stability analysis to verify that the proposed construction is stable prior to the additional surcharge (prior to Crown Valley improvements). For instance, does the final wall condition with tiebacks locked off create a condition that may cause upslope heave or surcharge to any existing utilities, sewer, etc. prior to raising the final grade? Global stability analysis should also be performed for the condition that includes the future proposed Crown Valley Improvements.
7. The geotechnical consultant should provide a comment regarding the impact of the proposed construction on Crown Valley Parkway and City property. Will the drilling, installing, and stressing of the tiebacks cause any adverse impacts to the existing improvements within adjacent property?
8. The design tiebacks encroach under Crown Valley Parkway, and as such, the City should issue an encroachment permit prior to issuance of the building permit.

REVIEWED BY:


Lisa Bates, PG, CEG 2293
Associate Geologist


David Hansen, PE, M.Sc., GE 3056
Senior Geotechnical Engineer

Passive Earth Pressure, Coulomb

J.N.: 2176.00
 Client: Alliance
 Description: Soldier Piles

Input Values:

Soil Friction Angle, ϕ (deg.)	50
Soil Density, γ (pcf)	110
Wall Batter Angle, θ (deg.)	0
Backfill Slope, α (deg.)	0
Delta Factor (fraction of Phi)	0.3

Coulomb Equation:

$$K_p = \frac{\cos^2(\phi + \theta)}{\cos^2 \theta \cos(\delta - \theta) \left[1 - \sqrt{\frac{\sin(\phi + \delta) \sin(\phi + \alpha)}{\cos(\delta - \theta) \cos(\alpha - \theta)}} \right]^2}$$

EFP Passive Pressure, $P = K_p \gamma$

Results:

Delta, δ (Delta factor * ϕ) (deg.)	15
K_p	18.41
EFP Passive Pressure, P (pcf)	2026



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

July 9, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Shoring Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

Reference: Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Shoring Plans prepared by Burnett & Young, Inc. Our work is based on the referenced report by this firm.

Based on our review, the shoring plans conform to our recommendations as presented in the referenced report. Construction of tie-backs will encroach into the public right of way (Crown Valley Parkway). The right of way may contain underground utilities and is expected to have a pile-supported abutment within the tie-back zone. Tie-backs should be installed in a manner that maintains at least 3 feet of clearance from any underground improvements such as utilities or abutment elements.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

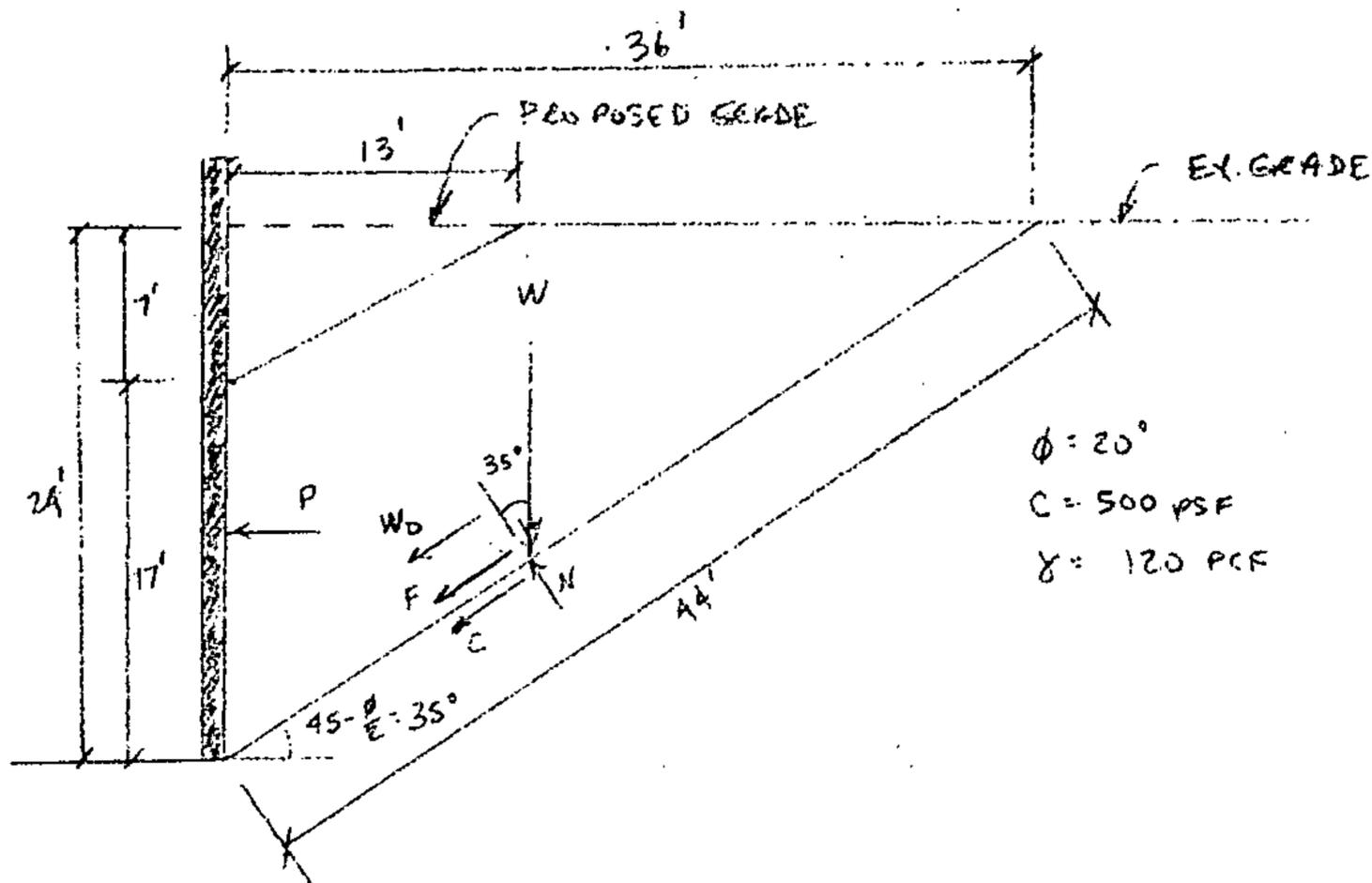
David E. Albus
Principal Engineer
GE 2455



BIS - 1661

J.N. 2176.00

7/9/2015



PASSIVE RESISTANCE OF WEDGE

$P = \text{HORIZON. COMPONENT OF } C + F + W_D$

$$W = \left[\frac{24 \cdot 36}{2} - \frac{7 \cdot 13}{2} \right] \cdot 120 = 46,340 \text{ lbs/ft.}$$

$$P = \cos 35 \left[500 \cdot 44' + 46,340 \cos 35 \tan 20 + 46,340 \sin 35 \right]$$

$$= 51,140 \text{ lbs/ft}$$

PILE SPACING = 8' c/c

TOTAL PASSIVE RESISTANCE / PILE = $8 \cdot 51,140 = 409 \text{ KIPS}$

MAX. DESIGN LOAD = 273 KIPS

$$F.S. = 409 / 273 = 1.50 \quad \text{FOR TEMPORARY CONDITION}$$

July 09, 2015

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, California 92677

Project: Gateway Village
Permanent Shoring Wall Construction
27742 Forbes Road
Laguna Niguel, CA
BYI File No.: 14-1400

RE: Responses to Geotechnical Review Sheet dated June 26, 2015

1. Response by Geotechnical Engineer
2. The use of passive pressure of 667 lb/ft²/ft is based on the ultimate passive pressure of 2,000 psf/ft with a 3.0 factor of safety.
3. Per Building Code, when combined earth pressure and seismic pressure are used for allowable stress design, the following applies:
1.0H + 0.7E, that is 1.0 factor for soils load and 0.7 factor for seismic.
4. Pressure of 25H does not apply. Calculations have been revised for correct soil pressures. Please note the following:
 - a. Piles/shotcrete wall will be surcharged by the existing slope until future widening of street is completed. Pressure of 46.8H psf (Earth Pressure and Seismic Pressure for 2:1 backfill condition).
 - b. Piles/shotcrete wall will be surcharged by the "future grade" with a lateral pressure of 46.4H psf (Earth Pressure and Seismic Pressure combined). Additionally, we added 100psf for the upper 10 ft for future traffic surcharge. This scheme governs the design.
5. Concrete for piles and shotcrete is specified as 4500 psi.
6. Response by Geotechnical Engineer.
7. Response by Geotechnical Engineer.
8. Encroachment agreement to be obtained by Owner.

Very truly yours,

BURNETT & YOUNG, INC.

Luis Cruz



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

DATE: June 26, 2015

COMMENTS

1. The "Design Criteria" page of the structural calculations indicates a passive value of 2000 psf/ft. Is this value considered acceptable from a geotechnical point of view?
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4. The active earth pressures utilized in the calculations range from 25H to 49.5H. Please explain why these values vary and revise as necessary.
5. The plans call for 3,000 psi concrete for the soldier piles. Is this concrete strength suitable from a geotechnical point of view?
6. The Geotechnical Engineer of record should perform a global stability analysis to verify that the proposed construction is stable prior to the additional surcharge (prior to Crown Valley improvements). For instance, does the final wall condition with tiebacks locked off create a condition that may cause upslope heave or surcharge to any existing utilities, sewer, etc. prior to raising the final grade? Global stability analysis should also be performed for the condition that includes the future proposed Crown Valley Improvements.
7. The geotechnical consultant should provide a comment regarding the impact of the proposed construction on Crown Valley Parkway and City property. Will the drilling, installing, and stressing of the tiebacks cause any adverse impacts to the existing improvements within adjacent property?
8. The design tiebacks encroach under Crown Valley Parkway, and as such, the City should issue an encroachment permit prior to issuance of the building permit.

REVIEWED BY:

Lisa Bates, PG, CEG 2293
Associate Geologist

David Hansen, PE, M.Sc., GE 3056
Senior Geotechnical Engineer



CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 5th day of JULY, 2016 Report No. Page No. 1 of 1

Form with fields: Project Address, Building Permit No., Structural Observation performed by, Structural Observer of Record (SOR), Observer Professional Lic./Reg. No., SOR Phone No., Observer Phone No.

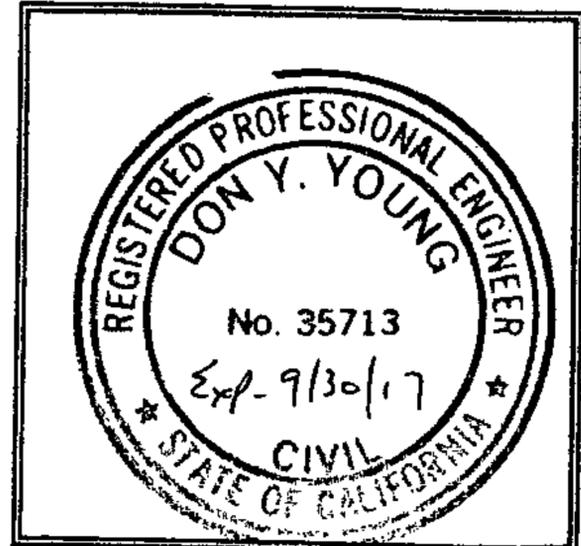
OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat Foundation, Concrete, Masonry, Steel Moment Frame, Steel Braced Frame, Concrete Moment Frame, Masonry Wall Frame, etc.

OBSERVED DEFICIENCIES: NO OBSERVED DEFICIENCIES. SLOPE JOINT IS ACCEPTABLE PER APPROVED DRAWINGS. NO KEY JOINT IS REQUIRED FOR SHOTCRETE/PILE WALL.

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.



SIGNATURE

DATE

STAMP OF STRUCTURAL OBSERVER OF RECORD

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150208	Date 05/26/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
------------------------------------	--	--	---

Job Address **27742 FORBES RD ,LAGUANA NIGUEL** City

Job Name **GATEWAY VILLAGE POUR 3** Permit No. **B15- 2449** Issued By **L.N**

Type of Structure **PARK STRUCTURE** Architect **Humphery's**

Material Description (type, grade, source) **CONCRETE 5000PSI Cemex** Engineer **SENECA**

Inspector's Name **WAHBA ISAAC** Contractor **ALLIANCE**

Subcontractor **Eti Vista**

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
shotcrete Panel	1 1/2"	Ticket # 26532303	Concrete Temp. 85F Air Temp. 82

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approx.20 yards shotcrete 5000PSI
 Mix design # 1418245 with Admixtures WRDA 64 at the following Walls @ the Retaining Wall Type "4"
 Shotcrete has been made by Certified ACI Shotcrete Nozzleman Name :Antonio J. Ramirez
 License # 01267726 .All Appears as per plans and no Discrepancies Noted

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Wahba Isaac

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
07:00	3:00	
<p>Approved By <i>[Signature]</i> Project Superintendent</p>		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 05/23/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15-2449	Issued By Laguna Niguel	
Type of Structure Retaining Wall	Architect Humphery's		
Material Description (type, grade, source) Pre-Check Shotcrete Retaining Wall	Engineer SENECA		
Inspector's Name WAHBA ISAAC	Contractor ALLIANCE		
	Subcontractor Etivista		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Checked All reinforcing steel sizes, Quantity spacing and clearances for
 Shotcrete Retaining Wall Type "4"
 - No-Contact Lap splices Noted
 All the reinforcing steel has been tight and firmly secured in position
 All Reinforcing steel conform to ASTM- A 615 Grade 60
 Wall ready to pour Concrete

CERTIFICATION OF COMPLIANCE

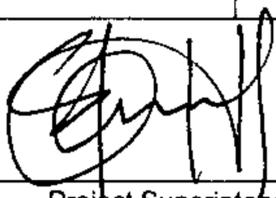
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 4

TIME IN	TIME OUT	SAMPLES
07:00 AM		
 Approved By _____		05/23/16 Project Superintendent

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT	SWIT Job No. 150207	Date 05/16/2016
--	------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
------------------------------------	--	--	---

Job Address **27742 FORBES RD ,LAGUANA NIGUEL** City

Job Name **GATEWAY VILLAGE** Permit No. **B15-2449** Issued By **Laguna Niguel**

Type of Structure **PARK STRUCTURE** Architect **Humphery's**

Material Description (type, grade, source) Engineer **SENECA**

Pre-Check Retaining Wall Footing Type "4" Contractor **ALLIANCE**

Inspector's Name **WAHBA ISAAC** Subcontractor **Etivista**

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Checked All reinforcing steel sizes, Quantity spacing and clearances for the Retaining Wall Footing Type "4"

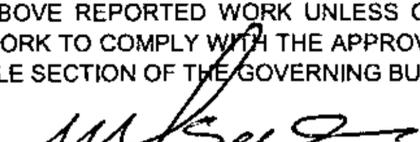
All the reinforcing steel has been tight and firmly secured in position

All Reinforcing steel conform to ASTM- A 615 Grade 60

All Shear Walls and columns ready to pour Concrete

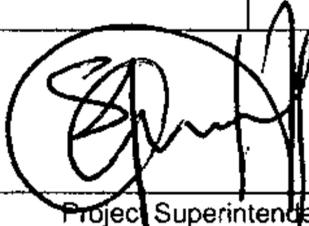
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 5

TIME IN	TIME OUT	SAMPLES
07:00 AM		
Approved By 		05/17/16.
Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 05/16/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15-2449	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source) Concrete 4500 PSI /CEMEX	Engineer SENECA		
Inspector's Name WAHBA ISAAC	Contractor ALLIANCE		
	Subcontractor ETIVISTA		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
4x8	4 1/2"	4	Load #1 Ticket # 26512882

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 20 yards of Concrete 4500PSI

Mix # 1418514 for The Retaining Wall Footing Type "4"

Verified the Water Tolerances and Slump are acceptable in site

All Concrete has been Mechanically Vibrated

All Appears as per plans and no discrepancies noted

CERTIFICATION OF COMPLIANCE

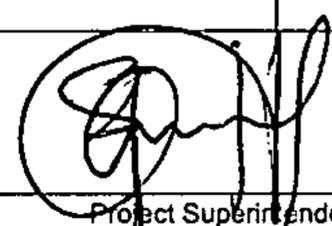
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 5

TIME IN	TIME OUT	SAMPLES
07:00		4
 Approved By _____		05/17/16. Project Superintendent

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150208	Date 04/14/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD , LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15-2449	Issued By Laguna Niguel	
Type of Structure Shores	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor MC Machon		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed the Tensioning of the Tieback cables @Soldier Pile Shores Area for the following
 Tieback Designations #(2,3,4,5,11,14)
 with these conditions : Installed Tendon Length 88' Test Load"K" : 343
 - installed Unbonded Length :15' Design Load (K) : 229
 - Bond Length : 73' Tendon Size : 8 Strand
 using Jack HOZ 950 Multistrand Rams Gauge 6-10560 calibrated on 2/23/2016
 Gauge Pressure 3000 PSI and 4100 Ram Serial # HT-05
 Performed Test Load for Anchor # 11 at 200% of design load locked off 110%
 -All tendon met Full Elongation requirement without slippage or movement,All tendon ready for cutting upon the engineer Approval.Individual tendon elongation are shown on the 6 attached sheet

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 3

TIME IN	TIME OUT	SAMPLES
07:00		
Approved By Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150208	Date 04/13/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
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Job Address 27742 FORBES RD, LAGUANA NIGUEL		City LAGUANA
Job Name GATEWAY VILLAGE	Permit No. B152119	Issued By Laguna Niguel
Type of Structure Shores	Architect Humphery's	
Material Description (type, grade, source)	Engineer SENECA	
	Contractor ALLIANCE	
Inspector's Name WAHBA ISAAC	Subcontractor DSI	

TESTS PERFORMED

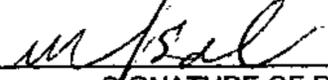
TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed the Tensioning of the Tieback cables @Soldier Pile Shores Area for the following
 Tieback Designations #(8,9 10, 12, 13, 16,17,18)
 with these conditions : Installed Tendon Length 88' Test Load"K" : 343
 - installed Unbonded Length :15' Design Load (K) : 229
 - Bond Length : 73' Tendon Size : 8 Strand
 using Jack and Gauge 6-10560 calibrated on 2/23/2016 Gauge Pressure 3000 PSI and 4100
 Ram Serial # HT-05
 -All tendon met Full Elongation requirement without slippage or movement.All tendon ready for cutting upon the engineer Approval.Individual tendon elongation are shown on the 8 attached sheet

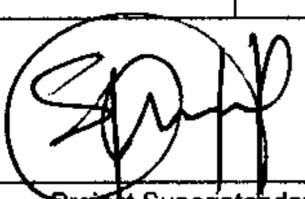
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR
 R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 6

TIME IN	TIME OUT	SAMPLES
07:00		
 Approved By _____ 04/14/16. Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 04/13/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
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Job Address **27742 FORBES RD ,LAGUANA NIGUEL** City

Job Name **GATEWAY VILLAGE** Permit No. **B15-2449** Issued By **Laguna Niguel**

Type of Structure **Retaining Wall** Architect **Humphery's**

Material Description (type, grade, source) Engineer **SENECA**

Welding Contractor **ALLIANCE**

Inspector's Name **WAHBA ISAAC** Subcontractor **Etivista**

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

*****Performed Welding Continuous Inspection @ Soldier Pile between the Bearing /Kicker Plate Assembly DSI Anchor Head @the Shaft of the Soldier Pile at the Retaining Wall ,**

All Welding Has Been done by Electric Arc using E7018 Electrode

All Welding has been done by certified welder Name:Vincent A. Duclos

Visual Inspection of weld and no discrepancies noted

CERTIFICATION OF COMPLIANCE

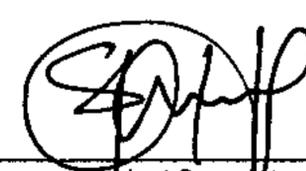
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 **I.C.C**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 5 OF 6

TIME IN	TIME OUT	SAMPLES
7:00 AM		
Approved By  04/14/16. Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 04/08/2016
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REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		Permit No. B15-2449 Issued By Laguna Niguel	
Job Name GATEWAY VILLAGE		Architect Humphery's	
Type of Structure Retaining Wall		Engineer SENECA	
Material Description (type, grade, source)		Contractor ALLIANCE	
Welding		Subcontractor Etivista	
Inspector's Name WAHBA ISAAC			

TESTS PERFORMED

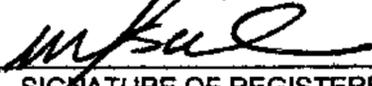
TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

***Performed Welding Continuous Inspection @ Soldier Pile between the Bearing /Kicker Plate Assembly
 DSI Anchor Head @the Shaft of the Soldier Pile at the Retaining Wall ,
 All Welding Has Been done by Electric Arc using E7018 Electrode
 All Welding has been done by certified welder Name:Vincent A. Duclos
 Visual Inspection of weld and no discrepancies noted

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
7:00 AM		
Approved By  04/08/16. Project Superintendent		

Summary Report

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 04/06/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fire Proofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address 27742 FORBES RD, LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE		Permit No. B15-2449	Issued By Laguna Niguel
Type of Structure Retaining Wall		Architect Humphery's	
Material Description (type, grade, source)		Engineer SENECA	
Grout 3000 PSI		Contractor ALLIANCE	
Inspector's Name WAHBA ISAAC		Subcontractor Etivista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Post Grout 3000 PSI @ Soldier Pile
 Shaft#(2 through 18) at the Retaining Wall ,
 Observed Filling Entire Length of Shaft with the Post Grout.
 No calcium chloride or other additive used
 All Post Grout has been mixed and consolidated at the job site
 ***Monitored All tieback drilling Work that has been done with the depth required and with Tieback shaft diameter as per details (RW-2).
 Observed the water injection under pressure through the drill stem and filling the shaft with neat cement grout .All Appears as per plans

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Wahba Isaac
 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 3

TIME IN	TIME OUT	SAMPLES
7:00 AM	3:00	
Approved By <i>[Signature]</i> 04/07/16. Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 03/24/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
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Job Address **27742 FORBES RD ,LAGUANA NIGUEL** City

Job Name **GATEWAY VILLAGE** Permit No. **B15-2449** Issued By **Laguna Niguel**

Type of Structure **Retaining Wall** Architect **Humphery's**

Material Description (type, grade, source) Engineer **SENECA**

Grout **3000 PSI** Contractor **ALLIANCE**

Inspector's Name **WAHBA ISAAC** Subcontractor **Etivista**

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of initial Grout 3000 PSI @ Soldier Pile Shaft#(11,18,13) at the Retaining Wall ,Holes drilled 70 feet Depth ,Observed Filling Entire Length of Shaft with the Grout.

No calcium chloride or other additive used

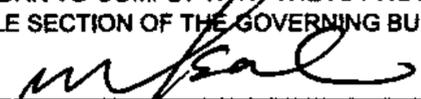
All Grout has been mixed and consolidated at the job site

***Monitored All tieback drilling Work that has been done with the depth required with 6" diameter

Observed the water injection under pressure through the drill stem and filling the shaft with neat cement grout .All Appears as per plans (Det. RW-2) ,Work ongoing.

CERTIFICATION OF COMPLIANCE

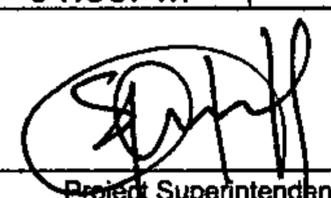
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
7:00 AM	04:30PM	
Approved By 		03/24/16
Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 03/23/2016
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REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD ,LAGUANA NIGUEL		City
Job Name	GATEWAY VILLAGE	Permit No.	BIS-2449
Type of Structure		Retaining Wall	
Material Description (type, grade, source)		Architect	Humphery's
Grout 3000 PSI		Engineer	SENECA
Inspector's Name		Contractor	ALLIANCE
WAHBA ISAAC		Subcontractor	Etivista

TESTS PERFORMED

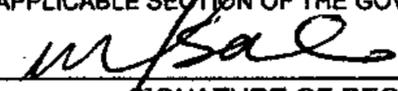
TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of initial Grout 3000 PSI @ Soldier Pile Shaft#(12,17,13) at the Retaining Wall ,Holes drilled 70 feet Depth ,Observed Filling Entire Length of Shaft with the Grout.
 No calcium chloride or other additive used
 All Grout has been mixed and consolidated at the job site
 ***Monitored All tieback drilling Work that has been done with the depth required with 6" diameter
 Observed the water injection under pressure through the drill stem and filling the shaft with neat cement grout .All Appears as per plans (Det. RW-2) ,Work ongoing.

CERTIFICATION OF COMPLIANCE

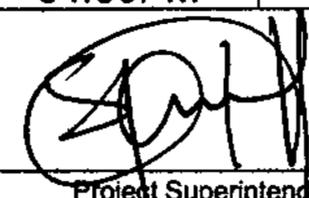
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 4 OF 4

TIME IN	TIME OUT	SAMPLES
7:00 AM	04:30PM	
Approved By 		03/24/16 Project Superintendent

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 03/18/2016
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TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
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Job Address **27742 FORBES RD ,LAGUANA NIGUEL** City

Job Name **GATEWAY VILLAGE** Permit No. **B15-2449** Issued By **Laguna Niguel**

Type of Structure **Retaining Wall** Architect **Humphery's**

Material Description (type, grade, source) **Grout 3000 PSI** Engineer **SENECA**

Inspector's Name **WAHBA ISAAC** Contractor **ALLIANCE**

Subcontractor **Etivista**

TESTS PERFORMED

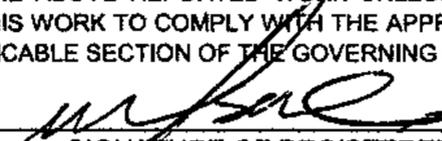
TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of initial Grout 3000 PSI @ Soldier Pile Shaft
 at the Retaining Wall ,Holes drilled 70 feet ,Observed Filling Entire Length of Shaft with the Grout
 Cement of Grout conform to ASTM C-150 Type V Sulphate Resistant
 No calcium chloride or other additive used
 All Grout has been mixed and consolidated at the job site
 All Appears as per plans (Det. RW-2) ,Work ongoing.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding **8252142** **I.C.C**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 3

TIME IN	TIME OUT	SAMPLES

Approved By  Project Superintendent

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 9/29/2015
-------------------------------	--------------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 Forbes Road		City Laguna Niguel	
Job Name Gateway Village		Permit No. B15-2449	Issued By City
Type of Structure Parking Structure		Architect	
Material Description (type, grade, source) Concrete,		Engineer Seneca Engineers	
4,500psi. , Robertsons , Plant # 20		Contractor Alliance Residential	
Inspector's Name David Christensen		Subcontractor Mc Mahan Construction	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
Concrete	4 1/2"	3	Sampled @ #3 Pile. At 9:35 am. Temp. 89* Mixing Time 31min. Air Temp. 73*

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

1. Observed pump placement of 4,500psi. concrete @ soldier piles #'s 3, 5, 7 & 9 for retaining wall. Tested for temp. and slump. And cast 1 set of 3 (4"x8") cylinder samples. Observed workers for proper procedures and techniques as noted on approved drawings and ddocuments.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

David Christensen

 SIGNATURE OF REGISTERED INSPECTOR

Reinforced Concrete	5321981	ICC
SPECIALTY	NO.	AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
7:30 am.		3
Approved By <i>[Signature]</i> _____ Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. <i>150207</i>	Date <i>09-25-15</i>
-------------------------------	-------------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address <i>2177a Forbes Rd Laguna Niguel</i>	Tract No.	Lot No.	
Job Name <i>Gateway Village</i>	Permit No. <i>515-2449</i>	Issued By <i>CFO</i>	
Type of Structure <i>Soldier Beams</i>	Architect <i>N/A</i>		
Material Description (type, grade, source) <i>Robertsons 4500 P.S.2</i>	Engineer <i>Burnett Young Inc.</i>		
Inspector's Name <i>Jon Alcala</i>	Contractor <i>Alliance Residential</i>	Subcontractor <i>Mc Mahon Construction</i>	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Observed placement of Concrete into Soldier Beams numbers 4,6,11, 13, 15, 17. Concrete was pumped in place per stamped and approved drawings as well as code.

Total of 16 yards placed

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Jonathan E. MacLean
 SIGNATURE OF REGISTERED INSPECTOR

R.C. *5045580* *T.C.C.*
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 01 OF 01

TIME IN	TIME OUT	SAMPLES
<i>11:00</i>	<i>1400</i>	<i>04</i>
Approved By <i>RLP</i> <i>RLB P#42</i> Project Superintendent <i>9/24/15</i>		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

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(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. <i>150207</i>	Date <i>09.24.15</i>
-------------------------------	-------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address <i>27172 Forber Rd Laguna Niguel</i>	Tract No.		Lot No.
Job Name <i>Gateway Village</i>	Permit No. <i>B15-2449</i>		Issued By <i>CLG</i>
Type of Structure <i>Soldier Beams</i>	Architect		
Material Description (type, grade, source) <i>Robertsons 4500 P.33</i>	Engineer <i>Burnett & Young Inc.</i>		
	Contractor <i>Alliance Residential</i>		
Inspector's Name <i>John MacLean</i>	Subcontractor <i>Mc Mahon Construction</i>		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Observed placement of concrete into Soldier Beams 13-17. Concrete was pumped in place and consolidated by internal vibration. Concrete placed per manufacturer specifications as well as code.

Total of 17 yards of concrete placed

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Jonathan E. MacLean
SIGNATURE OF REGISTERED INSPECTOR

RL *245580* *I.C.C.*
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 01 OF 01

TIME IN	TIME OUT	SAMPLES
<i>10:00</i>	<i>13:00</i>	<i>04</i>
Approved By <i>Bob Perez</i> <i>9/24/15</i> Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: October 1, 2015

PROJECT DESCRIPTION: Proposed Shoring Wall Construction (southernmost portion of the property line wall)

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCTURAL FIRM: Burnett & Young, Inc.

THEIR JOB NO.: 14-1400

STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/29/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/29/15.

REFERENCES: Listed on Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW REVIEW

REVIEWED BY:

Marshall Mead, RCE, SE 5311
Structural Engineer

DISTRIBUTION:

Antoinette Kulick/Gary Hawken, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)



CITY OF LAGUNA NIGUEL

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STRUCTURAL REVIEW SHEET

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Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

DATE: October 1, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015; (10) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (11) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015; (12) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/10/15; (13) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/10/15.

**GMU**

GEOTECHNICAL, INC.

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FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1661
PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.	6/30/15	NOT APPROVED	\$ 1,093.75
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015.	7/20/15	CONDITIONALLY APPROVED	\$ 392.50
(1) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/10/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/10/15.	9/25/15	NOT APPROVED	\$ 305.00
(1) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/29/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/29/15.	10/1/15	APPROVED	\$ 175.00



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: September 25, 2015

PROJECT DESCRIPTION: Proposed Shoring Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCTURAL FIRM: Burnett & Young, Inc.

THEIR JOB NO.: 14-1400

STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/10/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/10/15.

REFERENCES: Listed on Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW REVIEW – *See COMMENTS.*
Please send responses directly to the City of Laguna Niguel, Attention: Antoinette Kulick.
GMU Geotechnical can only accept responses forwarded from the City.



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
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Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1661

DATE: September 25, 2015

COMMENT

Structural Review Comments *(Also, please see attached redlined plan, Sheet RW-4):*

1. Please check the soldier beams for adequacy in bending, deflection, etc. for the stage of construction where the tieback bench is reached and prior to installation of the tiebacks.
2. Please add a Project Specific "Sequence of Construction" to clarify and include, among other things, the following issues:
 - 1) Soldier Pile installation
 - 2) Lagging installation – max lifts, etc.
 - 3) Specify the max CUT prior to installation of tiebacks (i.e., Locate the tieback BENCH) and ensure the lagging operations stop at this bench if required
 - 4) When shall slurry backfill be installed
 - 5) Tieback installation, testing, and lock off of tiebacks – specify when this shall occur in the sequence and ensure that there is enough soil pressure and BACKFILL behind the wall to resist the tieback loading (since future grading operations may not be immediate)
 - 6) Remainder of excavation lifts and lagging installation
 - 7) Installation of permanent wall facing
 - 8) A description/sequence for future backfill and finished grading operations. What is the timeline of these operations, what shall be done to protect the wall prior to future backfill (encasing the beams as already detailed, etc.)

REVIEWED BY: _____


Marshall Mead, RCE, SE 5311
Structural Engineer

DISTRIBUTION:

Antoinette Kulick/Gary Hawken, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
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Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

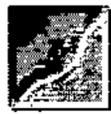
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Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: B15-1661

DATE: July 20, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015; (10) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (11) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015.



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FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1661

PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.	6/30/15	NOT APPROVED	\$ 1,093.75
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015.	7/20/15	CONDITIONALLY APPROVED	\$ 392.50
(1) Gateway Village Residential and Commercial Development, 27742 Forbes Road, Laguna Niguel, California, Permanent Pile/Shotcrete Retaining Wall Calculations, prepared by Burnett & Young, Inc., stamp date 9/10/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., 9/10/15.	9/25/15	NOT APPROVED	\$ 305.00



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
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Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: July 20, 2015

PROJECT DESCRIPTION: Proposed Shoring Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCTURAL FIRM: Burnett & Young, Inc.

THEIR JOB NO.: 14-1400

STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015.

REFERENCES: Listed on Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See Comment*
- REQUEST ADDITIONAL DATA FOR REVIEW



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

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Page 2

REFERENCE NO.: B15-1661

DATE: July 20, 2015

COMMENT

1. ~~Prior to issuance of a building permit, the City Building Official should determine if an encroachment permit shall be granted for the work extending under Crown Valley Parkway. If granted, a final survey noting the tieback locations shall be submitted as a permanent record and all future construction at this location shall be limited to an area above the installed tiebacks, with a minimum clearance to be determined by the structural engineer of record for the retaining wall.~~

REVIEWED BY:

Marshall Mead, RCE, SE 5311
Structural Engineer

DISTRIBUTION:

Antoinette Kulick/Gary Hawken, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)

*Free of
Adelaid
OK*



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

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Page 3

REFERENCE NO.: B15-1661

DATE: July 20, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015..



23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1661
 PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.	6/30/15	NOT APPROVED	\$ 1,093.75
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date July 9, 2015; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated July 9, 2015.	7/20/15	CONDITIONALLY APPROVED	\$ 392.50



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Corr.
[Signature]

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380 • email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1661

DATE: June 26, 2015

PROJECT DESCRIPTION: Proposed Shoring Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCUTURAL FIRM: Burnett & Young, Inc.

THEIR JOB NO.: 14-1400

STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.

REFERENCE(S): See Page 3

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED

CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED

REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS.*

*Please send responses directly to the City of Laguna Niguel, Attention: Antoinette Kulick.
GMU Geotechnical can only accept responses forwarded from the City.*



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

Supervise w/ Benal dated 7/20/15

REFERENCE NO.: B15-1661

DATE: June 26, 2015

COMMENTS

1. The Structural Calculation Sheet 14: Nelson Stud combined shear and tension calculation shows 10" thick concrete facing. Plans show 12" thickness. Please resolve.
2. Structural Design: It appears that the tieback Design Load includes a reserve load for future improvements that would raise the finished grade level along Crown Valley. Geotechnical Engineer of record to run a global stability analysis to verify that the proposed construction is stable PRIOR to this additional surcharge (prior to Crown Valley improvements). For instance, does the final wall condition with tiebacks locked off create a condition that may cause upslope heave or surcharge to any existing utilities, sewer, etc. prior to raising the final grade? Soil stability analysis should also be checked for condition that includes the future proposed Crown Valley Improvements.
3. Encroachment Permit: The retaining wall design is based on PERMANENT TIEBACKS that extend into the public right of way. City of Laguna Niguel Public Works Department to determine if encroachment permit shall be granted for this work. If granted, a final survey noting the tieback locations shall be submitted as a permanent record and all future construction at this location shall be limited to an area above the installed tiebacks, with a minimum clearance to be determined by the structural engineer of record for the retaining wall.

Jonathan Met w/ Alliance & Public Works - Per D.O. He will make sure this gets addressed in his scope.

REVIEWED BY:

Marshall Mead, RCE, SE 5311
Structural Engineer

DISTRIBUTION:

Antoinette Kulick/Gary Hawkin, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: B15-1661

DATE: June 26, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.



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FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1661
PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015.	6/30/15	NOT APPROVED	\$ 1,093.75

Handwritten signature and date: 7/1/15



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381

REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY

Inspection Cancellation or Rescheduling: (949) 362-4334

Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: B15-1860

TRACT: 6081

PROJECT ADDRESS: 27742 FORBES RD

Lot/PARCEL: 1

27742 FORBES RD

ELEC: SDGE

BUSINESS NAME: BROADSTONE LAGUNA NIGUEL LLC

PLANNING:

ISSUED: 7/29/2015

DESCRIPTION OF WORK:

Permit for 17 retaining walls for Broadstone, Gateway Village. Field verify for code compliance.

OWNER: BROADSTONE LAGUNA NIGUEL LLC
 ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298
 APPLICANT: MICHAEL MCCANN
 ADDRESS: 4100 NEWPORT PLACE DRIVE SUITE 200 NEWPORT BEACH, CA 92660
 BUSINESS: BROADSTONE LAGUNA NIGUEL LLC
 ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298
 ARCH/ENG: JAMES H. KAWAMURA
 ADDRESS: 4100 NEWPORT PLACE DRIVE SUITE 200 NEWPORT BEACH, CA 92660
 CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
 ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
 LICENSE #: 897318 CLASS: B
 WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
 TRJUB4245B187

PHONE: (949) 370-8155

PHONE:

PHONE: (949) 756-6440

PHONE: (949) 706-8460

EXPIRES: 5/31/2017

EXPIRES: 9/15/2015

POLICY#:



CODE YEAR: 2013 OCCUPANCY TYPE: U Utility Miscellaneous CONSTR. TYPE: U

TOTAL VALUATION: \$300,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$1,069.95	\$1,528.50	\$27.25	\$2,625.70
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$12.00
GMU				\$2,070.00
MISC				\$0.00
			TOTAL PERMIT FEES:	\$4,707.70
			TOTAL FEES PAID	\$4,707.70

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 7/29/15
Date: 7/29/15

Issued Receipt#: R15-
1667

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
*requires separate verification form
**requires separate authorization form

Signature [Signature] Date 7/29/15

#2 IDENTIFY WHO WILL PERFORM THE WORK (Completer 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 7/29/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2015
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Finwalls		
4. Temo Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verify Setbacks			418. P/S Final Backwash Resistor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approval for Plastering		
21. Post Tension			428. P/S Final - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S Final - PLUMBING		
24. Pre Grout Lift 1			432. P/S Final - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S Final - POOL COVER		
29. Wall Drainage			436. P/S Final - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S Final - P/DOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCEFA SPRINKLER SYSTEMS -		
59. OCEFA Fire Sprinkler - Rough			932. FINAL - OCEFA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		

8-19-15 Ret. with FCS East PL Station # 4188-6173 (Geo. Deputy & Surveyor Report Attached)
8-22-15 Ret. with Steel East Wall Station 4188-6173 (Geo. Deputy Report Attached)



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4359

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road **Suite/Unit:** _____

Applicant/Agent: KHR Associates - Ali Aoude **Phone No.:** (949) 756-6440

Address: 4100 Newport Place Drive - Suite 200

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** aaoude@khrdesign.com

Property Owner: Alliance Residential Company **Phone No.:** (949) 706-8460

Address: 450 Newport Center Drive - Suite 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** mmccann@allresco.com

Contractor: _____ **Phone No.:** (____) ____ - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

State License No.: _____ **Class:** _____ **Expiration:** _____

Workman's Comp. Policy No.: _____ **Expiration:** _____

Insurance Company (If applicable): _____

Architect: _____ **Reg No.:** _____ **Phone No.:** (____) ____ - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: James H. Kawamura **Reg. No.:** 30560 **Phone No.:** (949) 756-6440

Address: 4100 Newport Place Drive - Suite 200

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** jkawamura@khrdesign.com

Description of Work to be Performed (please be specific): _____

~~Subterranean garage with multiple levels of residential units.~~ We are submitting for review and approval of retaining wall plans.

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC/Disc

Activity Number:	<u>B15-1860</u>		Received By:	<u>[Signature]</u>	Date:	<u>6/11/15</u>
Planning Division:	YES	NO	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:						
HOA or Property Manager Approval Letter Provided:						
OK for Plan Check:			Reviewed By:	Date:		
OK for issuance:			Reviewed By:	Date:		
Building Division:						
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input checked="" type="checkbox"/> GMU			
<input type="checkbox"/> Fire	<input checked="" type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading			



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1253

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,069.95
B15-1860 Address: 27742 FORBES RD Apn: 63603410			\$1,069.95
PLAN CHECK			\$1,069.95
TOTAL FEES PAID BY RECEIPT:R15-1253			\$1,069.95

Date Paid: Friday, June 19, 2015
Paid By: JAMES H. KAWAMURA
Cashier: AK
Pay Method: CHECK 9320



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1667

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$3,637.75
B15-1860 Address: 27742 FORBES RD Apn: 63603410 Type: COMMERCIAL Subtype: COTH Description: Retaining Walls for Gateway Village (17 walls)			
BUILDING			\$1,555.75
BUILDING ISSUANCE FEE	3310	0	\$27.25
PERMIT FEE - NON RES	3310	0	\$1,528.50
CBSC FEE			\$12.00
CBSC FEE	2211	0	\$12.00
GEO REVIEW FEE			\$2,070.00
GEO REVIEW FEE	3313	393	\$392.50
GEO REVIEW FEE	3313	955	\$955.00
GEO REVIEW FEE	3313	723	\$722.50
TOTAL FEES PAID BY RECEIPT:R15-1667			\$3,637.75

Date Paid: Wednesday, July 29, 2015

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298

Cashier: AK

Pay Method: CHECK 1055





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

July 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Retaining Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road & Getty Drive, Laguna Niguel, California, by KHR Associates, dated July 21, 2015, 9 sheets

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Retain Plans prepared by KHR Associates referenced above. Our work is based on the referenced report by this firm.

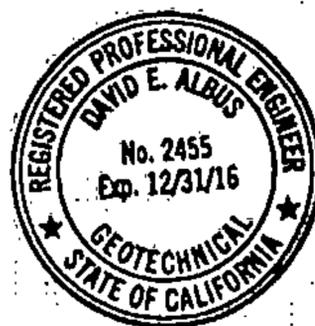
Based on our review, the retaining wall plans conform to our recommendations as presented in the referenced report.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455





CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1860

DATE: June 29, 2015

PROJECT DESCRIPTION: Proposed Retaining Walls

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (2) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENTS.*
 REQUEST ADDITIONAL DATA FOR REVIEW

*Add Notes
to Plans*



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

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(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1860

DATE: June 29, 2015

COMMENTS

1. Geotechnical consultant to provide a review of the retaining wall plans and, once approved, either stamp and sign the plans showing their approval or provide written approval in a review letter

JAN

REVIEWED BY:

Lisa Bafes, PG, CEG 2293
Associate Geologist

David Hansen, M.Sc, PE, GE 3056
Senior Geotechnical Engineer

DISTRIBUTION:

Antoinette Kulick, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.

23241 Arroyo Vista

Rancho Santa Margarita, CA 92688

(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: B15-1860

DATE: June 29, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-1860

DATE: July 24, 2015

PROJECT DESCRIPTION: Proposed Retaining Walls

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCTURAL FIRM: KHR Associates

THEIR JOB NO.: None

STRUCTURAL ENGINEER: James H. Kawamura, RCE 30560

DOCUMENTS REVIEWED: (1) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated July 16, 2015; (2) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated July 17, 2015.

REFERENCES: Listed on Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:


Marshall Mead, RCE, SE 5311
Structural Engineer

DISTRIBUTION: Antoinette Kulick, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.

23241 Arroyo Vista

Rancho Santa Margarita, CA 92688

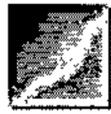
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-1860

DATE: July 24, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (9) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.



FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1860

PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (2) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.	7/8/2015	NOT APPROVED	\$ 955.00
(1) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated July 16, 2015; (2) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated July 17, 2015.	7/24/15	APPROVED	\$392.50



LETTER OF TRANSMITTAL

Date: July 17, 2015
To: City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

From: Mike Thomas
KHR Project No.:
Reference: ABLN - Gateway Village

KHR Associates
4100 Newport Place Drive
Suite 200
Newport Beach, CA 92660
(949) 756-6440 Fax (949) 756-6444

ATTENTION:
TEL Number:

TRANSMITTED HEREWITH: SEE BELOW

TYPE OF MATERIAL:

REPORT PLANS SPECIFICATIONS ESTIMATES ORIGINALS
 PROPOSAL ALTA MEMORANDUM LETTER COMPUTER DISK
 OTHER (SPECIFY) See below

DESCRIPTION:

For the retaining wall at Alliance "Gateway Village" project, Laguna Niguel, CA:
* Four (4) sets of Retaining Wall Plans
* Three (3) copies of Retaining Wall Calculations

VIA:

MAIL DELIVERED EXPRESS MAIL MODEM TELECOPY (FAX)*
*Number of Pages (Including This Page)

FOR:

YOUR USE REVIEW INFORMATION APPROVAL DISTRIBUTION
 SIGNATURE FILES FOLLOW-UP RETURN AS REQUESTED
 OTHER (SPECIFY)

REPLY:

A.S.A.P. NONE REQUIRED WHEN CONTACTED RETURN WHEN DONE
 IN PERSON BY TELEPHONE IN WRITING AS INDICATED BELOW

COMMENTS:

Please contact me if you have any questions. Thank you.

BY: Mike Thomas



GARY - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: **B15-1860**
 Project Address: **27742 FORBES RD**
 Valuation: **300000**
 Project Description: *Permit for 17 retaining walls for Broadstone, Gateway Village.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	6/19/15	6/26/15		6-26-15	GN
2nd Check:					
3rd Check:					
4th Check:					

Comments:

CAA
 GMU

① Geo to STAMP & SIGN PLANS
 ② pending GMU & CAA

Final Approval By: GARY Date: 6-26-15

GMU
 Structural
 Review

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List

CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677

PLAN REVIEW LIST

PLAN CHECK NO.: B15-1860 PROJECT: _____
PROJECT ADDRESS: 27742 Forbes Rd OCCUPANCY: _____
PROJECT DESCRIPTION: 17 Retaining Walls TYPE OF CONSTR.: _____
1ST REVIEW BY: GARY DATE: 6-26-15 CORRECTIONS _____
2ND REVIEW BY: _____ DATE: _____ CORRECTIONS _____
3RD REVIEW BY: _____ DATE: _____ CORRECTIONS _____
4TH REVIEW BY: _____ DATE: _____ CORRECTIONS _____

APPROVED
APPROVED
APPROVED

INSTRUCTIONS

- A. THIS PLAN REVIEW HAS BEEN MADE TO VERIFY CONFORMANCE TO MINIMUM REQUIREMENTS OF CODES ADOPTED BY THE CITY. CODES USED ARE 2013 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA ELECTRICAL CODE (CEC) AND 2013 TITLE 24 ENERGY REGULATIONS & CITY ORDINANCE.
- B. NOTE ON THIS CORRECTION SHEET OR ON A SEPARATE SHEET THE LOCATION OF THE COMPLETED CORRECTION. (I.E. SHEET NO., DETAIL, ETC.).
- C. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL EXPIRE BY LIMITATION. A ONE-TIME EXTENSION OF 180 DAYS MAY BE GRANTED UPON WRITTEN REQUEST. (CBC 106.4.4)

D → pending GMU, CAA.

D Geo TO STAMP & SIGN PLANS



23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-1860
PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (2) Alliance Residencial Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.	6/29/15	CONDITIONALLY APPROVED	\$ 722.50

[Handwritten signature]
2/6/15

CITY OF LAGUNA NIGUEL

BUILDING AND SAFETY DIVISION

30111 Crown Valley Parkway, Laguna Niguel, CA 92677
(949) 362-4360

JOB ADDRESS: 27742 FORBES

DATE: 8-26-15 TIME: 9:17 AM

STOP WORK NOTICE

Section 105.1 of the 2010 California Building Code:

No building or structure regulated by this code shall be erected, constructed, enlarged, altered, repaired, moved, improved, converted or demolished unless a separate permit for each building or structure has been obtained from the Building Official.

Description of Violation: OFFSITE ENCROACHMENT

OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNER FOR CONSTRUCTION AND/OR GRADING ACTIVITY ENCROACHMENT

RECONSTRUCT DRAINAGE CHANNEL AS PER METRO-LINK REQUIREMENTS AND SOILS & CIVIL ENGINEERS RECOMMENDATIONS

PROVIDE ALL APPROVALS AND/OR DOCUMENTATION TO CITY BUILDING DEPT. OBTAIN ANY NECESSARY PERMITS

A violation of the Uniform Building Code constitutes a violation of the Laguna Niguel Municipal Code. Please contact the Building Division immediately. Failure to contact the Building Division will result in referral of this matter for legal action under the provisions of the Laguna Niguel Municipal Code. Violation of the City Municipal Code constitutes a misdemeanor, punishable by a \$1,000.00 fine or 6 months in the County Jail, or both. Each day that the violation continues constitutes a new and separate violation for which the full misdemeanor penalty may be imposed. In the event that such criminal proceeding is initiated, the City will seek to recover all costs the City incurs in its attempt to obtain compliance with the law.

Building Division Office Hours:

8:00 a.m. - 4:00 p.m. (M-F)



Inspector

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 8-27-15
-------------------------------	------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	27742 FORBES RD	Tract No.	Lot No.
Job Name	GATEWAY VILLAGE PARKING STR	Permit No.	1315-2230
Type of Structure	RET. WALL	Architect	Issued By CAIR FORRST
Material Description (type, grade, source)		Engineer	JAMES H. KAWAMURA
	ASTM	Contractor	ALLIANCE
Inspector's Name	FRANK BRGG	Subcontractor	RTI/VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PLACEMENT OF REBAR - EAST RET WALL PER 2/S-3
ALL WORK PER APPROVED PLANS, SPECS & LOG

NO PROBLEMS NOTED!

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND-APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Brgg
 SIGNATURE OF REGISTERED INSPECTOR

CONR. **0885047** **JIC**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE _____ OF _____

TIME IN	TIME OUT	SAMPLES
12:00 pm	1:00 pm	
Approved By RL Perry 8/22/15 Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

• 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 8-26-15
-------------------------------	------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD.	Tract No.	Lot No.
Job Name	GATEWAY VILLAGE PKG. STR.	Permit No.	Issued By
Type of Structure		Architect	
Material Description (type, grade, source)		Engineer	JAMES H. KAWAMURA
		Contractor	ALLIANCE
Inspector's Name	FRANK BEGG	Subcontractor	FUTI/VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

**OBSERVED placement of repair at EAST RETAINING WALL NORTH END
 All work per approved plans DET 2/S-3.**

NO PROBLEMS NOTED!

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Beeg
 SIGNATURE OF REGISTERED INSPECTOR
CONC. 0885047 **ICU**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
11:00AM	12:30	
Approved By		Project Superintendent
		08/26/15

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 8-24-15
-------------------------------	------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FURBER RD.	Tract No.	Lot No.
Job Name	GATEWAY VILLAGE PKG 5TH.	Permit No.	1315-2230
Type of Structure	RET. WALL FOOTING	Architect	
Material Description (type, grade, source)	CR MAX 4500 PS- CONC.	Engineer	JAMES H. KSWAMURUS
Inspector's Name	FRANK BEGG	Contractor	ALLIANCE
		Subcontractor	EJI/VISTA
Issued By	JOSEPH NIGUEL		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	6826	2605187H	WALL	4	72	77	LOCAL	11:30 AM A2	1418515	

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

1) OBSERVED PLACEMENT OF REBAR AT EAST RETAINING WALL FOOTING. SOUTH END. PER DRT 2/S-3 A. WILL BE APPROVED PLANS, SPEC. CODE. REBAR 3' CLEAR FROM SOIL.

2) OBSERVED PLACEMENT OF 20 CUBIC YDS 4500PS CONC. AT ABOVE MENTIONED FOOTING. ALL WORK PER APPROVED PLANS. (1) SET OF (4) SAMPLES MADE

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Beggs
SIGNATURE OF REGISTERED INSPECTOR

CONC. 0885047 ICC
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF

TIME IN	TIME OUT	SAMPLES
7:00 AM	1:30 PM	4
BOB PETERZ		
Approved By: <u>Bob Peterz</u>		8/24/15
Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 8-20-15
-------------------------------	------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 MORRIS RD.	Tract No.	
Job Name	CATLWAY VILAGE PARKING SIL	Permit No.	BIS-2230
Type of Structure	RETAINING WALL ETC	Architect	
Material Description (type, grade, source)	CEMEX 4500 PSI CONC.	Engineer	JAMES H. KAWAMURA
Inspector's Name	FRANK BRIGG	Contractor	ALLIANCE
		Subcontractor	R-I/VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	7009	26045311	FOOTING	4	72°	75°	10 GAL	8:30 AM	14/8515	
2	7095	26046323	FOOTING	4	6	77°	10 GAL	11:20 AM	14/8515	

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PLACEMENT OF 260 CUBIC YD (4500) PSI CONC. AT RETAINING WALL FOOTING (EAST RETAINING WALL ETC) ALL CONC. PLACED PER APPROVED PLANS, SPACES - CORR. (2) SETS OF (4) SAMPLES MADE. REBAR 3' CLEAR FROM SOIL.

NO PROBLEMS NOTED!

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Brigg
 SIGNATURE OF REGISTERED INSPECTOR

CONC. V OFFSHORE ILL
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE OF

TIME IN	TIME OUT	SAMPLES
7:00 AM	3:30	8
Approved By _____ Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Permit # 614-0015 **K**

ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

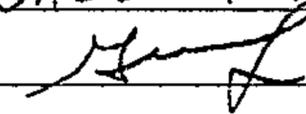
MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	<input type="checkbox"/>
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential	DAY Wed.	DATE 8/12/15		
LOCATION/TRACT 27742 Eastern Road Laguna Niguel	PROJECT ENG./GEOL. DA/PK	YARDAGE TODAY N/A			
CONTRACTOR Estivato	FOREMAN Jo	WEATHER Clear	YARDAGE TO DATE N/A		

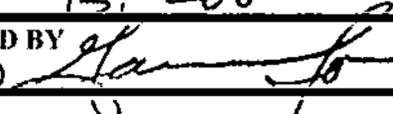
EQUIPMENT

Wall Footing: On site per request to observe retaining wall footing along east P/L station # 4+88 - 6+73.

Observed footing to be excavated into firm, competent fill material. Footing is neat, square and level. Currently, footing is and should remain free of debris, deleterious material and any loose or sloughed material. Footing should be kept in a moisture conditioned state until PCC is poured. Structural Engineer and/or governing agency should inspect footing and rebar prior to PCC placement.

Footing was excavated per plan titled, "Retaining Wall Plan and Profile" detailed on sheet # 3, note 2. Prepared by KHR Associates Civil Engineer James H. Kauramua. Signed by Mr. Kauramua, no date on plans referenced.

WALL FTG.


		ACTIVITY CODE	HOURS
TECHNICIAN (Print) CHRIS WRIGHT	RECEIVED BY (Print) G. Lou	550	2
TECHNICIAN (Signature) Chris Wright	RECEIVED BY (Signature) 		
DISTRIBUTION		TOTAL	2

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No.	Date 8-18-15
--------------	------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD.	Tract No.	Lot No.
Job Name	GATEWAY VILLAGE CONDO	Permit No.	Issued By
Type of Structure	RET WALL	Architect	LAGUNA GULF
Material Description (type, grade, source)		Engineer	JAMES H KAWAIKU RA
	ASTM A615 GR 60 REBAR	Contractor	ALLIANCE RESIDENTIAL
Inspector's Name	FRANK BRGG	Subcontractor	RTI VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PLACEMENT OF REBAR AT RET. WALL FOOTING (EAST RET WALL)
 ALL REBAR PLACED PER APPROVED PLANS SPIC'S 1 CONK DET 2/5-3
 NOTE CLEANING; CLEARANCE WORK IN PROGRESS.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Bragg

SIGNATURE OF REGISTERED INSPECTOR

CONC **08815047** **ITC**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE _____ OF _____

TIME IN	TIME OUT	SAMPLES
7:00 AM	8:00 AM	
Approved By <i>[Signature]</i> Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 8-19-15
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REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD.	Tract No.	Lot No.
Job Name	GATEWAY VILLAGE PARK	Permit No.	B15-2230
Type of Structure	RETAIN WALL	Architect	
Material Description (type, grade, source)	ASTM A615 GR 60 REBAR	Engineer	JAMES H. KAWAMURA
Inspector's Name	FRANK BRIGG	Contractor	ALLIANCE RESIDENTIAL
		Subcontractor	FETI/VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PLACEMENT OF REBAR AT RET. WALL FOOTING (EAST RET. WALL)
 ALL REBAR PLACED PER APPROVED PLANS, SPECS, CONCR. DET 2/S-3
 SOUTH FR PART OF EAST EASTMENT

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Brigg
 SIGNATURE OF REGISTERED INSPECTOR

CONC. **085042** **ICC**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE _____ OF _____

TIME IN	TIME OUT	SAMPLES
7:00 AM	8:00 AM	
Approved By _____ Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

PAGE 1 OF 2 DATE 8/11/15 TR. BROADSTONE
 TYPE OF STAKES RET. WALK OFFSET VARIES
 STREET/DESC. E'LY IR
 W.O. No. _____ CAT _____ RL No. _____ TOPO No. _____

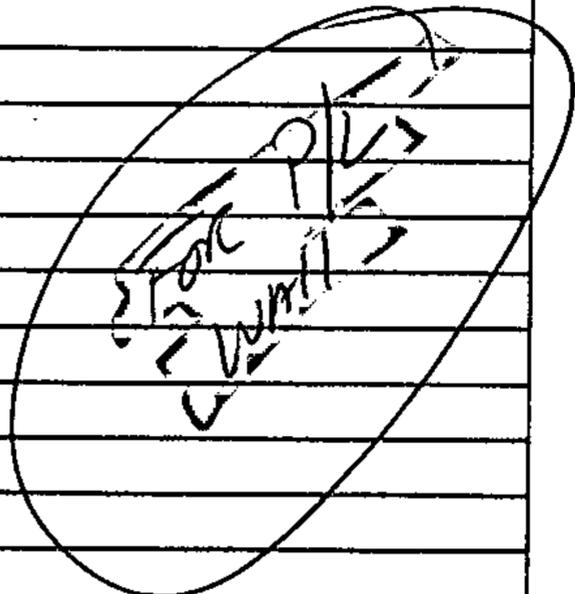
I UNSAKER

Land Surveying, Inc.

P.C. _____ Contractors are cautioned to observe the following rule in using the grade stakes given by this office for putting in curbs, walks, sewers, flumes and all other work. Three consecutive points that are shown to be on the same rate of slope must be used in common in order that any variation out of a perfect straight grade may be detected, and in case any such discrepancy is found, the same must be reported. Otherwise this office will not be responsible for any error in the grade of the finished work. Cutsheets are to be used in conjunction with plans.
 CH. _____
 CH. _____

758 7680L

STATION	RL Offset	ELEV.	GRADE	CUT	FILL	REMARKS
1+00			70.17 TW			BEGIN
			56.00 TF			
1+02.42	5	57.91	70.17 TW		12.26	X PT. 10' IN LINE STP
			56.00 TF	1.91		
1+50	5	58.51	70.17 TW		11.66	
			56.00 TF	2.51		
2+00	5	59.21	70.17		10.96	
			56.00	3.21		
2+50	5	59.73	70.17		10.44	
			56.00	3.73		
3+02.29	15	62.80	70.17 TW		7.37	TF STEP
			56.00 TF	6.80		
			51.17 TF	14.03		
3+07.29	15	63.36	70.17 TW		6.81	TF STEP
			51.17 TF	12.19		
			56.00 TF	7.36		
3+50	15	63.81	70.17 TW		6.36	
			56.00 TF	7.81		
4+00		64.64	70.17 TW		5.55	
			56.00 TF	8.64		
4+50	15	64.30	70.17 TW		5.87	
			56.00 TF	8.30		
4+78.42	5	61.12	70.17 TW	0	9.05	TF STEP
			56.00 TF	5.12		
			58.00 TF	3.12		
4+88.42	5	62.87	70.17 TW		7.30	TF STEP
			58.00 TF	4.87		
			60.00 TF	2.87		
5+29	5	62.92	70.17 TW		7.25	11/30
			60.00 TF	2.92		
5+70	5	63.00	70.17 TW		7.17	2/3
			60.00 TF	3.00		
6+10.42	5	63.81	70.17 TW		6.36	TF STEP
			60.00 TF	3.81		
			62.00 TF	1.81		
6+20.42	5	63.71	70.17 TW		6.46	TW STEP
			69.50 TW		5.79	
			62.00 TF	1.71		
6+41.09	5	63.60	69.50 TW		5.90	TW STEP
			68.83 TW		5.23	
			62.00 TF	1.60		





City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360 FAX 362-4369
 www.CityofLagunaNiguel.org

INSPECTION REQUEST
 Hotline 949-362-4381

126

Permit #: B15-2230
 Job Address: 27742 FORBES RD.
 Name: _____ Phone #: 615 430-9750

Building

CODE: INSPECTION TYPE		CODE: INSPECTION TYPE		CODE: INSPECTION TYPE	
2. Initial Water Quality Inspection		48. Roof Sheathing		430. P/S FINAL - PLUMBING	
4. Temp Electrical Service or Pole		50. Roof Framing		432. P/S FINAL - ELECTRICAL	
6. Soil Pipe Underground		51. Approval to Cover Exterior		434. P/S FINAL - POOL COVER	
8. Water Pipe Underground		52. Shear Walls Interior		436. P/S FINAL - SOLAR SYSTEM	
9. Sewer Line & House Connect		53. Preliminary Shear		438. P/S FINAL - POOL/SPA	
10. Electrical Conduit Underground		54. Shear Walls Exterior		902. FINAL - ELECTRICAL METER METER RELEASE	
14. Gas Line Underground & Test		55. Preliminary Insulation		904. FINAL - ELECTRICAL	
16. Verify Setbacks		56. Rough Frame & Flashing		906. FINAL - SIGN	
✓ 18. Footings & Steel		59. OCFA Fire Sprinkler - Rough		908. FINAL - MECHANICAL	
19. UFER		60. T-Bar Ceiling		910. FINAL - PLUMBING	
20. Foundation - Slab on Grade		64. Lathing Exterior		912. FINAL - WATER SERVICE	
21. Post Tension		70. Insulation		914. FINAL - GAS TEST	
22. Steel Reinforce - Retain. Walls		72. Drywall Nailing/Firewalls		916. FINAL - ACCESSIBILITY REGULATIONS	
24. Pre Grout Lift 1		400. P/S Pre Inspection for Fences		918. FINAL - RE-ROOF	
26. Pre Grout Lift 2		402. P/S Pool & Equipment Loc.		920. FINAL - PLANNING	
29. Wall Drainage		410. P/S Approval to Cover - Gunite		922. FINAL - ENGINEERING/P.W.	
30. Floor Plywood Nailing		412. P/S Electrical Conduit Undgrmd.		924. FINAL - O.C. HEALTH	
32. Sewer Line & House Connect		414. P/S Gas Pipe Underground Test		926. FINAL - WATER DISTRICT	
34. Roof Drains/Deck Drains		416. P/S Backwash Lines, P Trap, Underground		927. FINAL - SMOKE DETECTOR	
36. Rough Plumbing/Gas Test		418. P/S Final Backwash Receptor		928. FINAL - GRADING	
40. Hot Mop Shower		420. P/S Fencing & Access Gates		930. FINAL - OCFA SPRINKLER SYSTEMS - Name	
41. Lathing Interior		422. P/S Pre Deck		932. FINAL - OCFA PROJECT FINAL - Name	
42. Rough Electrical		424. P/S Approved for Plastering		933. Anti-Entrapment Device	
44. Rough Mechanical		428. P/S FINAL - HEATER & VENT		934. FINAL - BUILDING & SAFETY	
46. Fire Dampers				935. FINAL - WATER QUALITY INSPECTION	

Grading

Code: Inspection Type		Code: Inspection Type		Code: Inspection Type	
500. Pre-Grading Meeting		518. Contractor's Statement of Compl.		536. Paving - Agg Base	
502. Construction Erosion Control		520. Rough Grade Release		538. Paving - Asphalt /Concrete	
504. Earthwork - Excavation		522. Soils Memo - Utility Trench Backfill		540. Paving - Civil Certification	
506. Earthwork - Fills		524. Soils Memo - Drain/Wall Backfill		542. Paving - Soils Engineer Memos	
508. Earthwork - Buttresses/Keyways		526. Drainage Line & Grade		544. Paving - Water Test/Seal Coat	
510. Earthwork - Subdrains		528. Drainage System		540. FINAL - SOILS/GEO REPORT	
512. Earth Swales/V-ditches		530. Soils Memo - Area Drain/Trench Backfill		542. FINAL - CIVIL CERTIFICATIONS	
514. Rough Grade Release - Civil Cert.		532. Pre-Paving Meeting		544. FINAL - AS BUILT PLANS	
516. Rough Grade Soils/Geo Reports		534. Paving - Subgrade		546. FINAL - GRADING RELEASE	

MON (AM/PM) _____ TUES. (AM/PM) _____ WED. (AM/PM) 8/19 THURS. (AM/PM) _____ FRI. (AM/PM) _____

Notes: _____



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B15-1920

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC:

BUSINESS NAME:

ISSUED: 3/2/2016

DESCRIPTION OF WORK:

Permit for private on-site underground Sewer and Water for Alliance/Gateway Village.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298	
APPLICANT:	KHR ASSOCIATES - ALI AOUBE 4100 NEWPORT PLACE DRIVE STE 200 NEWPORT BEACH, CA 92660	PHONE: (949) 756-6440
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: U

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$145,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$1,778.35	\$1,325.00	\$27.25	\$3,130.60
ELECTRICAL				
MECHANICAL				
PLUMBING	\$0.00	\$41.82	\$27.27	\$69.09
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$3,199.69
			TOTAL FEES PAID	\$3,199.69

Comments:

Planning Approval: _____

Building Permit Issued By: CA

Date: 3/2/16

Date: 3/2/16

Issued Receipt#: R15-

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form

**requires separate authorization form

Signature: [Signature]

Date: 3/2/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 3/2/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Vent/Stacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Gout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Gout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drains			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL-SIGN		
40. Hot Mop Shower			908. FINAL-MECHANICAL		
41. Lathing Interior			910. FINAL-PLUMBING		
42. Rough Electrical			912. FINAL-WATER SERVICE		
44. Rough Mechanical			914. FINAL-GAS TEST		
46. Fire Dampers			916. FINAL-ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL-RE-ROOF		
50. Roof Framing			920. FINAL-PLANNING		
51. Approval to Cover Exterior			922. FINAL-ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL-O.C. HEALTH		
53. Preliminary Shear			926. FINAL-WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL-SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL-GRADING		
56. Rough Frame & Flashing			930. FINAL-OCCA SPRINKLER SYSTEMS -		
59. OCCA Fire Sprinkler - Rough			932. FINAL - OCCA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: KHR Associates - Ali Aoude

Phone No.: (949) 756-6440

Address: 4100 Newport Place Drive - Suite 200

City: Newport Beach State: CA Zip: 92660

Email: aaoude@khrdesign.com

Property Owner: Alliance Residential Company

Phone No.: (949) 706-8460

Address: 450 Newport Center Drive - Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: _____

Phone No.: () - _____

Address: _____

City: _____ State: _____ Zip: _____

Email: _____

State License No.: _____ Class: _____

Expiration: _____

Workman's Comp. Policy No.: _____

Expiration: _____

Insurance Company (If applicable): _____

Architect: _____ **Reg No.:** _____

Phone No.: () - _____

Address: _____

City: _____ State: _____ Zip: _____

Email: _____

Engineer: James H. Kawamura **Reg. No.:** 30560

Phone No.: (949) 756-6440

Address: 4100 Newport Place Drive - Suite 200

City: Newport Beach State: CA Zip: 92660

Email: jkawamura@khrdesign.com

Description of Work to be Performed (please be specific): _____

We are submitting for review and approval of private on-site water and sewer plans.

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # 9313 or Visa/MC/Disc

Activity Number:	<u>B15-1920</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/26/15</u>
Planning Division:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:					
OK for issuance:					
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input checked="" type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

20 OK

3 sets



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R15-1319

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,778.35
B15-1920 Address: 27742 FORBES RD	Apn: 63603410		\$1,778.35
PLAN CHECK			\$1,778.35
TOTAL FEES PAID BY RECEIPT:R15-1319			\$1,778.35

Date Paid: Friday, June 26, 2015

Paid By: KHR ASSOCIATES - ALI AOUDE

Cashier: AK

Pay Method: CHECK 9313



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677

Direct line (949) 362-4300 Inspection request line (949)362-4381

RECYCLING REQUIREMENTS

Permittee/Contractor/Sub-Contractors shall provide copies of recycle receipts for all construction debris removed from the job site or show that all debris were hauled by CR&R Disposal.

Recycling a minimum of 50% of all construction debris will ensure your compliance with the City of Laguna Niguel's standards for recycling.

WATER QUALITY

Stormwater pollution prevention devices and practices shall be installed and instituted as necessary to ensure compliance with the City of Laguna Niguel Water Quality standards contained in the Laguna Niguel Municipal Code, Best Management Practices (BMP's) and any Erosion Control Plan associated with this project. All such devices and practices shall be maintained, inspected and monitored to ensure adequacy and proper function throughout the duration of the construction project.

Compliance to the Water Quality standards and any Erosion Control Plan associated with this project includes, but is not limited to the following requirements:

Permittee/Contractor/Sub-Contractors shall place gravel bags near the property and at the nearest catch basin during excavation, gunite and plastering operations and any other operation that may result in materials of any kind being deposited in the public right-of-way. All BMP's shall be picked up daily.

Permittee/Contractor/Sub-Contractors shall place plastic tarp under all equipment to prevent oil, hydraulic fluid and other materials from getting on the street and into the storm drain system.

Permittee/Contractor/Sub-Contractors shall not place or store any materials, dirt, debris or sand in the public right-of-way (on the street) at any time. Sand for the gunite operation shall be placed on the homeowner's property or shall be delivered by a concrete mixer and placed directly into the gunite pump.

Effective combination of erosion and sediment control BMPs shall be implemented to protect the exposed portions of the site from erosion and to prevent sediment discharges.

Sediments and other pollutants shall be retained on site until properly disposed of, and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.

WATER QUALITY CONTINUED

Stockpiles of earth and other construction-related materials shall be protected from being transported from the site by the forces of wind and water flow.

Fuels, oils, solvents, and other toxic materials shall be stored in accordance with their listing and are not to contaminate the soil and/or surface waters.

All approved storage containers are to be protected from the weather.

Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the storm drainage system, nor be allowed to settle or infiltrate into soil.

Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid wastes.

Trash and construction solid wastes shall be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.

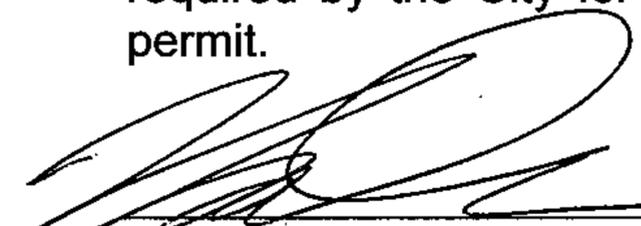
Sediments and other materials may not be tracked from the site by vehicular traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way.

Accidental deposits shall be swept up immediately and may not be washed down by rain or other means.

Stormwater pollution prevention devices and /or practices shall be modified as needed as the project progresses to ensure effectiveness.

FAILURE TO COMPLY WITH ANY OF THESE CONDITIONS SHALL INVALIDATE YOUR PERMIT AND YOU MAYBE CHARGED A FEE TO REPAIR AND/OR CLEAN THE STREETS AND/OR STORM DRAINS.

I agree to follow and implement all the conditions stated above and any other conditions required by the City for this permit. I understand that failure to do so shall invalidate the permit.

	<u>3/24</u>	<u>Alliance</u>
Permittee Signature	Date	Company Name
<u>MARK WILSON</u>		<u>BIS-1920</u>
Print Name		Permit #
		<u>22742 Forbes</u>
		Project Address



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1920
Project Address: 27742 FORBES RD
Valuation: 350000
Project Description: *Permit for private on-site underground Sewer and Water for Alliance/Gateway Village.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check:	6/26/15	7/8/15		X	MA
2nd Check:		7/15/14		X	DE
3rd Check:					
4th Check:					

Comments:

Att: Danny Chow
 Rush

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

Reviewed 7/15/15

✓ Approved as submitted
 Danyllan



GARY - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1920
Project Address: 27742 FORBES RD
Valuation: 350000
Project Description: *Permit for private on-site underground Sewer and Water for Alliance/Gateway Village.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check:	6/26/15	7/8/15		7-8-15	GL
2nd Check:					
3rd Check:					
4th Check:					

Comments:

→ Pending CAA

Final Approval By: GLH **Date:** 7-8-15

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



Planning Division - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-1920
 Project Address: 27742 FORBES RD
 Project Description: *Underground Sewer & Water*

Jonathan

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	6/26/15	7/10/15 (10)		6/26/15	JS
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: _____

___ School Fees Payment or Exemption Letter Received, Date: _____

___ HOA Approval Received **N/A**

___ Discretionary Application #(s), if applicable _____

___ Meets setbacks for Zone

Antanol

Antoinette Kulick

From: Michael McCann <mmccann@allresco.com>
Sent: Friday, June 26, 2015 10:47 AM
To: Antoinette Kulick
Subject: RE: Sewer and water

From my construction cost estimator:

Michael,

This is what we are carrying...

Water \$80,000
Sewer \$65,000

Does not include filtration, storm, or area drainage.

From: Antoinette Kulick [<mailto:AKulick@cityoflagunaniguel.org>]
Sent: Friday, June 26, 2015 8:30 AM
To: Michael McCann
Subject: Sewer and water

Hi Michael,

I have KHR here submitting the underground sewer and water. Do you know the valuation for this project, that is the sewer and water only? The Crestavilla project that just submitted was valued at about 388K Just FYI. Thanks Michael.

*Antoinette Kulick, Sr. Permit Technician
Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4329*



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1836

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,421.34
B15-1920 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: MEP Description: Underground sewer and water			\$1,421.34
BUILDING			\$1,352.25
PLUMBING			\$69.09
TOTAL FEES PAID BY RECEIPT:R15-1836			\$1,421.34

Date Paid: Thursday, August 13, 2015

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298

Cashier: AK

Pay Method: CHECK 1110



Antoinette Kulick

From: Michael McCann <mmccann@allresco.com>
Sent: Thursday, July 23, 2015 10:45 PM
To: Antoinette Kulick
Subject: RE: B15-1920
Attachments: ~~Blk Retaining Walls Plan Check Fees Receipt 062615.pdf~~

*Sewer
Water*

Just making sure I am straight on everything, the attached was for plan check fees and the fees below are for the permit, correct?

From: Antoinette Kulick [mailto:AKulick@cityoflagunaniguel.org]
Sent: Tuesday, July 21, 2015 2:55 PM
To: Michael McCann
Cc: Jonathan Orduna
Subject: B15-1920

Michael,

The fees for the onsite water and sewer are \$1,421.34. The items that still need to be addressed in order to get a permit are:

- 1) Planning approval
- 2) Moulton Niguel approval letter
- 3) Encroachment Permit

Let me know if you need anything further ☺

Antoinette Kulick, Sr. Permit Technician
Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4329



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 GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	
				POST-GRADING	
JOB NO. 217601		CLIENT/PROJECT ALLIANCE RES		DAY FRI	DATE 5/27/16
LOCATION/TRACT 27042 FORBES RD		PROJECT ENG./GEOL DA MS		YARDAGE TODAY	
CONTRACTOR AM DAM		FOREMAN STEVE		WEATHER C/EN	
EQUIPMENT ① BOB CAT ② MINI EXCAVATOR w/ COMPACTION WHEEL ③ WHACKER					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR SEWER Hook ups IN COURT YARD (A) FILL MATERIALS MOISTURE CONDITIONED AS NEEDED, PROCESSED AND MECHANICALLY COMPACTED BY EXCAVATOR + WHACKER. THE TWO Hook ups IN FRONT OF LEASING OFFICE THAT HAD LOW DENSITY TEST WERE REWORK AND RE TESTED. BASED ON OBSERVATIONS, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 99% OR GREATER RELATIVE COMPACTION.</p>					
				ACTIVITY CODE	HOURS
				5761	5.5
TECHNICIAN (Print) FEEDSMITH		RECEIVED BY (Print) HANSHU BUNMI			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i> 01/07/16			
DISTRIBUTION				TOTAL	5.5



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GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 5/26/16		
LOCATION/TRACT 27742 FORBES RD	LARINA NIEGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR AMPAM	FOREMAN STEVE	WEATHER CLOUDY	YARDAGE TO DATE		
EQUIPMENT ① BOBCAT ② MINI EXCAVATOR w/ COMPACTION WHEEL ③ WINCKER					
<p>ON SITE AS REQUESTED FOR PRESERVATION AND TESTING SERVICE FOR TRENCH BACKFILL OF SEWER HOOK UPS AND OBSERVE INTERIOR PLUMBING TRENCHES. FILL OPERATIONS CONTINUED IN COURT YARD (H) LABORER W/ MISTURE CONDITIONING AS NEEDED MATERIALS PLACED IN APPROX 12" LIFTS MECHANICALLY COMPACTED BY EXCAVATOR & WINCKER OPERATION STOPPED DUE TO WATER TANK BROKE DOWN CONTINUE TOMORROW.</p> <p>INTERIOR PLUMBING CONTRACTOR SHADING PIPES WITH A PREVIOUSLY APPROVED IMPORT SAND. SAND WAS HEAVY MISTURE CONDITIONED AT STOCKPILE Hauled BY BOBCAT PLACED IN 12" LIFTS AND COMPACTED BY VIBRATORY PLATE AND HANDWINCKER DR. AND PIPES BASED ON PROBING MATERIALS APPEAR TO BE FIRM + UNYIELDING</p>					
				ACTIVITY CODE	HOURS
				576.1	4.0
TECHNICIAN (Print) FRIEDSMITH	RECEIVED BY (Print) Hanshe Roman				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i> 06/07/16				
DISTRIBUTION				TOTAL	4.0



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 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2076.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 5/25/16		
LOCATION/TRACT 27752 FORBES RD	LAOUNA NIGUEL	PROJECT ENG./GEOL. D.A. M.S.	YARDAGE TODAY		
CONTRACTOR AMPAH LETSVISTA	FOREMAN STEVE H JAY	WEATHER OVERCAST	YARDAGE TO DATE		
EQUIPMENT ① BOBCAT ② MENT EXCAVATOR W/ COMPACTION WHEEL					
ON SITE AS REQUESTED FOR PRESERVATION AND TESTING SERVICE FOR SEWER HOOK UPS, INTERIOR PLUMBING TRENCHES AND SPREAD FOOTING'S					
<p>AMPAH HAS BACKFILL OPERATION GOING IN COURT YARD (A) FOR SEWER HOOK UPS BOBCAT USE TO ACCESS MATERIALS AS LABORER MIXTURE CONDITIONING WITH 3/4" HOSE FROM WATER TANK. FILL MATERIALS PLACED IN APPROX 12" LIFTS AND MECHANICALLY COMPACTED BY EXCAVATOR WITH COMPACTION WHEEL AND W/ WALKER ALONG WALL AND PRESER PIPES. BASED ON OBSERVATION, PROBING AND THE RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p>					
<p>ETSVISTA FOREMAN WAS OBSERVE EXCAVATING REMAINDER OF SPREAD FOOTING IN PHASE 8 + A PORTION OF PHASE 9 EXCAVATIONS ARE CUT INTO COMPACTANT FILL MATERIALS. BASED ON OBSERVATION AND PROBING FOUND TO BE FIRM + UNYIELDING AND TO BE SUITABLE FOR THEIR INTENDED USE.</p>					
				ACTIVITY CODE	HOURS
				576.1	5.0
				550	3.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) HAROLD BROWN				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i> 06/07/16				
DISTRIBUTION				TOTAL	



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 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	
JOB NO. 27661	CLIENT/PROJECT ILL-ANCE PES	DAY TUE	DATE 5/24/16		
LOCATION/TRACT 27642 EXPRESS RD	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY			
CONTRACTOR AMER WILLIETOVISTA	FOREMAN STEVE HAY	WEATHER 1" RAIN	YARDAGE TO DATE		
EQUIPMENT ① ROBOCAT ② MIN. W. CALDICE // ③ BACKHOE					
ON SITE AS REQUESTED FOR RE-ELEVATION OF THE BOTTOM OF TRENCHES FOR INTERSECTING TRENCHES AND SPREAD FOOTINGS.					
NATHAN WAS INFORMED THAT THE BOTTOM OF THEIR TRENCHES HAS LOOSE MATERIALS THAT NEED TO BE CLEANED PRIOR TO IMPACT SAND BEING PLACED					
BASED ON OBSERVATION + PROBING BOTTOM OF (1) EXISTING MATERIALS ARE CUT INTO COMPACTED FILL AND APPEAR TO BE FIRM + UNYIELDING THE EXISTING MATERIALS ARE COMPACT FILL AND SUITABLE FOR THEIR INTENDED USE.					
AMPAM IN COURTYARD (A) USING 3/4" ROCK TO SHADE SEWER PIPE GOING TO THE BUILDING. IN FRONT OF LEASING BUILDING (2) HOOKUPS WERE SHADDED AND BACKFILLED WITH OF FILL ABOVE PIPE ZONE 2-3 FEET. CONTRACTOR + SUPERINTENDANT WAS INFORMED OF LOW DENSITY TEST RESULTS. FORM SAID THEY REWORK TOMORROW.					
				ACTIVITY CODE	HOURS
				576.1	4.0
				550	2.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Hasha Bommw				
TECHNICIAN (Signature) 	RECEIVED BY (Signature) 				
DISTRIBUTION				TOTAL	6.5



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 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	
JOB NO. 2176.01	CLIENT/PROJECT ALLYANCE RES	DAY TUE	DATE 5/30/16		
LOCATION/TRACT 27747 FORBES DR	PROJECT ENG/GEOL D.A. MS	YARDAGE TODAY			
CONTRACTOR DM DAM	FOREMAN STEVE	WEATHER OVERCAST	YARDAGE TO DATE		
EQUIPMENT (1) MINT EXCAVATOR (1) W/HACKIE					
<p style="text-align:center;">ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR SEWER HOOKUP TRENCH BACK FILL. OPERATION VERY SLOW CONTRACTOR WAITING ON WATER SOME CAN MOISTURE CONDITION AND PROCESS MATERIALS. FILL OPERATION CONSIST OF USING NATIVE MATERIALS PLACED IN 12" LIFT AND MECHANICALLY COMPACTED BY MINT EXCAVATOR WITH COMPACTOR WHEEL END W/HACKED W/RE EXCAVATOR COULD NOT. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 10% OR GREATER RELATIVE COMPACTION.</p> <p style="text-align:center;">INFORMED SUPERINTENDANT GOING OFF SITE TO RETURN TOMORROW.</p>					
				ACTIVITY CODE	HOURS
				576.1	4.5
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print) Hansha Boumu	
TECHNICIAN (Signature)				RECEIVED BY (Signature)	
DISTRIBUTION				TOTAL	4.5



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GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 5/23/16		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL. LAQUINA NIGUEL	YARDAGE TODAY			
CONTRACTOR FTI VISTA/AMPAM	FOREMAN JAY / STEVE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① MINI EXCAVATOR ② BOBCAT					
ON SITE AS REQUESTED TO CONTINUE WITH OBSERVATION OF INTERIOR RUMBLING TRENCH AND SPREAD FOOTING EXCAVATIONS.					
OBSERVED CONTRACTORS PREPARING FOOTINGS INTERIOR RUMBLING TRENCHES AND SPREAD FOOTING FOR STEEL. FOREMAN FOR AMPAM SAID HE STILL NEED TO DIG TRENCHES DEEPER. IN CONTINUED (A) SEWER HOOD UP WALL TO BE WATER PROOFED. CONTRACTORS SAID THEY WON'T BE READY FOR INSPECTION UNTIL TOMORROW.					
INFORMED SUPERINTENDANT GOING OFF SITE TO RETURN TOMORROW.					
				ACTIVITY CODE	HOURS
				576.1	4.0
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print) Anasha Bismil	
TECHNICIAN (Signature) <i>[Signature]</i>				RECEIVED BY (Signature) <i>[Signature]</i> 06/07/16	
DISTRIBUTION				TOTAL	4.0



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GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	✓
JOB NO. 2176.01	CLIENT/PROJECT ALCANTARA RES	DAY WED	DATE 1/1/16		
LOCATION/TRACT 27742 FORESDR	LABORER LADINA MICHEL	PROJECT ENG./GEOL D.A. MAS	YARDAGE TODAY		
CONTRACTOR DMPADILLETUETA	FOREMAN STEVE HAY	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① BOBCAT ② VIBRATORY PLATE					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR INTERIOR PLUMBING TRENCHES.</p> <p>PLUMBING CONTRACTOR INFORMED THAT BOTTOM OF TRENCHES ARE LOOSE + WELDING. CONTRACTOR USING CHUCKY NATIVE MATERIALS TO HOLD PIPE IN PLACE AND LIGHTLY PLACED IMPORT SAND OVER CHUCKS WITH NO COMPACTION EFFORT OR MOISTURE CONDITIONING. SUPER INTENDANT INFORMED CONTRACTOR WAS CONSTRUCTED BY SUPER TO CLEAN TRENCHES AND PLACED BEDDING AS REQUIRED PER TRENCH DETAIL. SUPER SAID HE WANTED ME TO OBSERVE UNTIL THEY FINISHED FOR INSPECTION BY CITY. TRENCH BOTTOMS WERE CLEANED IMPORT SAND MOISTURE CONDITIONED AT STOCK PILE PLACED AND COMPACTED BY VIBRATORY PLATE.</p> <p>ETIUVISTA TO START CLEANING FOOTING AND MOISTURE CONDITION</p>					
				ACTIVITY CODE	HOURS
				576.1	4.0
TECHNICIAN (Print) ERIC SMITH				RECEIVED BY (Print) Hansha Boman	
TECHNICIAN (Signature) <i>[Signature]</i>				RECEIVED BY (Signature) <i>[Signature]</i>	
DISTRIBUTION				TOTAL	4.0



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GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING <input checked="" type="checkbox"/>	
			POST-GRADING <input type="checkbox"/>	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 6/2/16	
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL. LAQUINA NEQUEL DA M.S.	YARDAGE TODAY		
CONTRACTOR RC GRADING	FOREMAN RYAN	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① EXCAVATOR w/ COMPACTION WHEEL ① LOADER ① WATER TRUCK				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR RETAIN WALL BACKFILL OPERATIONS IN SOUTHEAST CORNER OF THE SITE. OPERATIONS STARTED WITH PUMPING OUT APPROX 18" OF WATER. WATER PUMP DOWN TO TOP OF FOOTING CALLED MR ALBUS OF AKA ABOUT APPROX 1" OF STANDING WATER IF IT WAS OK TO PLACE 3/4" ROCK ON TOP OF THE FOOTING THEN START PLACING NATIVE FILL MATERIALS ABOVE THE ROCK. MR ALBUS SAID THAT SHOULD BE OK. DEPTH OF FILL FROM TOP OF ROCK TO GRADE (11) FEET. FILL MATERIALS ARE MOISTURE CONDITION AT STOCK PILE BY WATER TRUCK AS NEEDED AS LOADER PROCESSES. LOADER FEEDS MATERIALS AS EXCAVATOR SPREADS MATERIALS OUT IN APPROX 18" LIFT AND MECHANICALLY COMPACT WITH 3' COMPACTION WHEEL ON EXCAVATOR BASED ON OBSERVATION PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM & UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p>				
			ACTIVITY CODE	HOURS
			5791	5.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Haisha Bonnu			
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i> 06/02/16			
DISTRIBUTION			TOTAL	5.5



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING <input checked="" type="checkbox"/>	
				POST-GRADING <input type="checkbox"/>	
JOB NO. 217601	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 6/3/16		
LOCATION/TRACT 27742 FORBES RD	LADIANA NIEGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR RC GRADING	FOREMAN RYAN	WEATHER	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR W/COMPACTION WHEEL ① LOADER ① WATER TRUCK					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR RETAINING WALL BACKFILL OPERATIONS. FILL OPERATIONS CONTINUED FROM YESTERDAY MATERIALS MOISTURE CONDITION AND PROCESSED AT STOCKPILE. HAULED + FEED TO EXCAVATOR TO SPREAD OUT IN APPROX 18" LIFTS EXCAVATOR WITH COMPACTION WHEEL MECHANICALLY COMPACTING LABORED HAND PICK ANY DEBRIS OR TRASH VISIBLE BY EYE AND WAS PUT IN DUMPSTER TO BE HAULED AWAY. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p>					
				ACTIVITY CODE	HOURS
				5791	5.5
TECHNICIAN (Print) <u>FRED SMITH</u>				RECEIVED BY (Print) <u>HANSHA BOMMU</u>	
TECHNICIAN (Signature) <u>[Signature]</u>				RECEIVED BY (Signature) <u>[Signature]</u> 6/3/16	
DISTRIBUTION				TOTAL	5.5



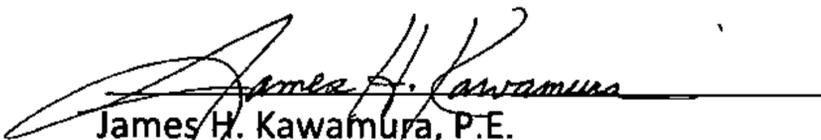
Hydrology and Hydraulics Study Alliance Residential Broadstone Apartments Laguna Niguel, California

February 27, 2015

Revised: June 12, 2015

ATTESTATION

This Hydrology Study has been prepared by, and under the direction of, the undersigned, a duly Registered Civil Engineer in the State of California. Except as noted, the undersigned attests to the technical information contained herein, and has judged to be acceptable the qualifications of any technical specialists providing engineering data for this report, upon which findings, conclusions, and recommendations are based.


James H. Kawamura, P.E.
Registered Civil Engineer No. C30560
Exp. 3/31/16



Prepared for:



(Project Owner)

Prepared by:



(Project Civil Engineer)

B15-1920

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Section 1 Purpose and Scope

This Hydrology Study presents an analysis of the hydrologic effects of the proposed *Alliance Residential Broadstone Laguna Niguel* project at 27742 Forbes Road, in the City of Laguna Niguel.

This Hydrology Study addresses runoff from the project site and its impact to the existing downstream storm drainage system. The study analyzes 25-year and 100-year storm events for both the existing and proposed conditions. The study also details the general project characteristics, design, criteria, and methodology applied to the analysis of the project. It evaluates the hydrologic effect of the project on local water resources in terms of water quantity. The report provides a design analysis for the drainage facilities proposed as part of the project. The drainage improvements are designed to mitigate all rainfall event frequencies up to a 24-hour, 100-year storm event.

This Hydrology Study fulfills the requirements of the Orange County Hydrology Manual (OCHM), (October 1986).

The plans and specifications in this Hydrology Study are not for construction purposes; the contractor shall refer to final approved construction documents for plans and specifications.

Section 2 Project Information

2.1. Project Description

The Alliance Residential Company is proposing a luxury mixed-use multifamily apartment development totaling 5.12 gross acres. The development will consist of 348 apartment units, a variety of indoor and outdoor amenities and approximately 6,082 square feet of retail space.

2.1.1 Project Location

The project site is located in south Orange County within the City of Laguna Niguel. It is just north of Crown Valley Parkway, south of Getty Drive, east of Forbes Road and roughly 100 yards from the Crown Valley exit from Interstate 5. Figure 1 provides an aerial perspective of the existing commercial buildings on the project site at 27742 Forbes Road, Laguna Niguel, California.

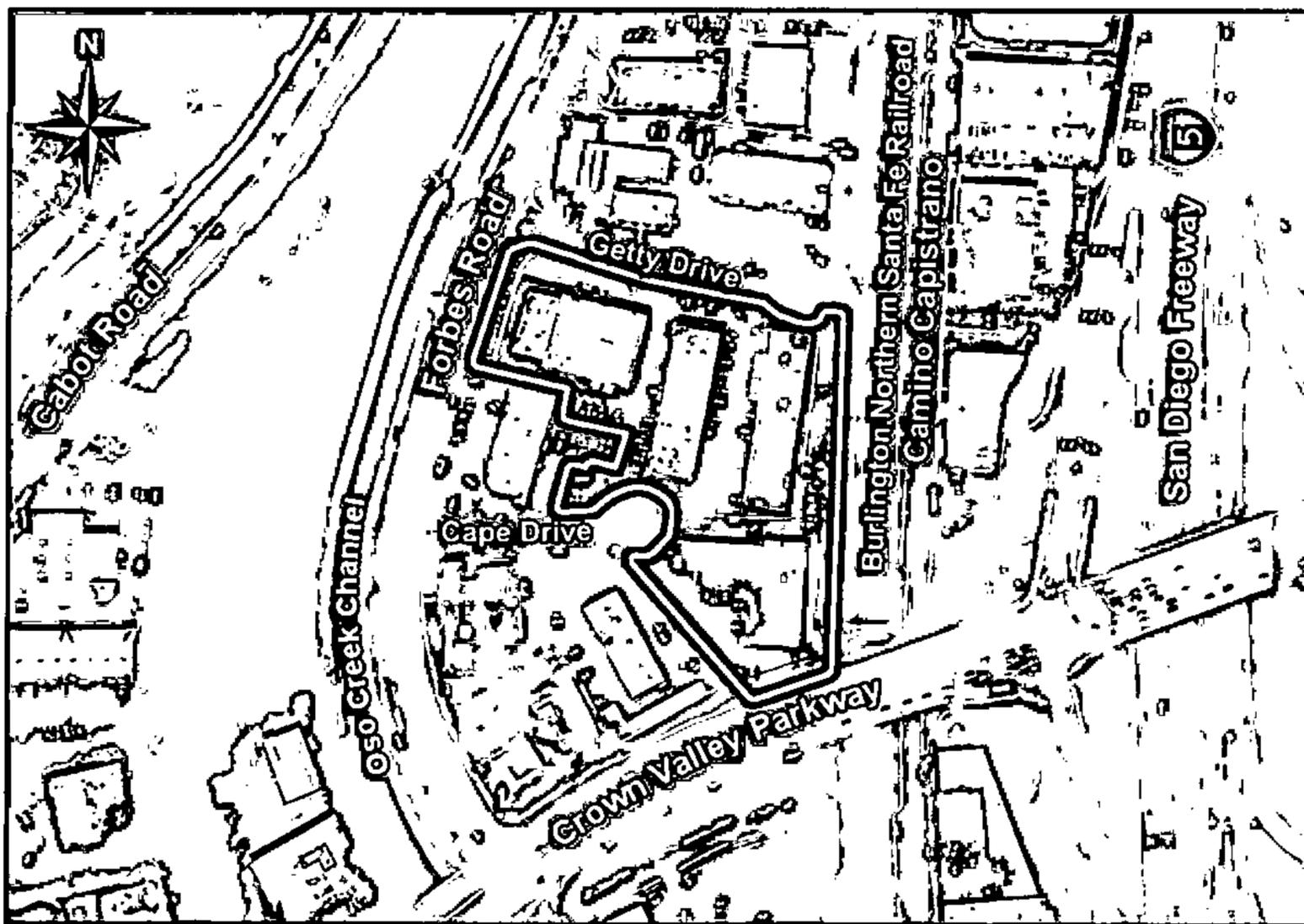


Figure 1 – Aerial Perspective of Project Site

The site is within the Laguna Niguel Gateway Specific Plan area and the location of the project site is depicted in Figure 2.

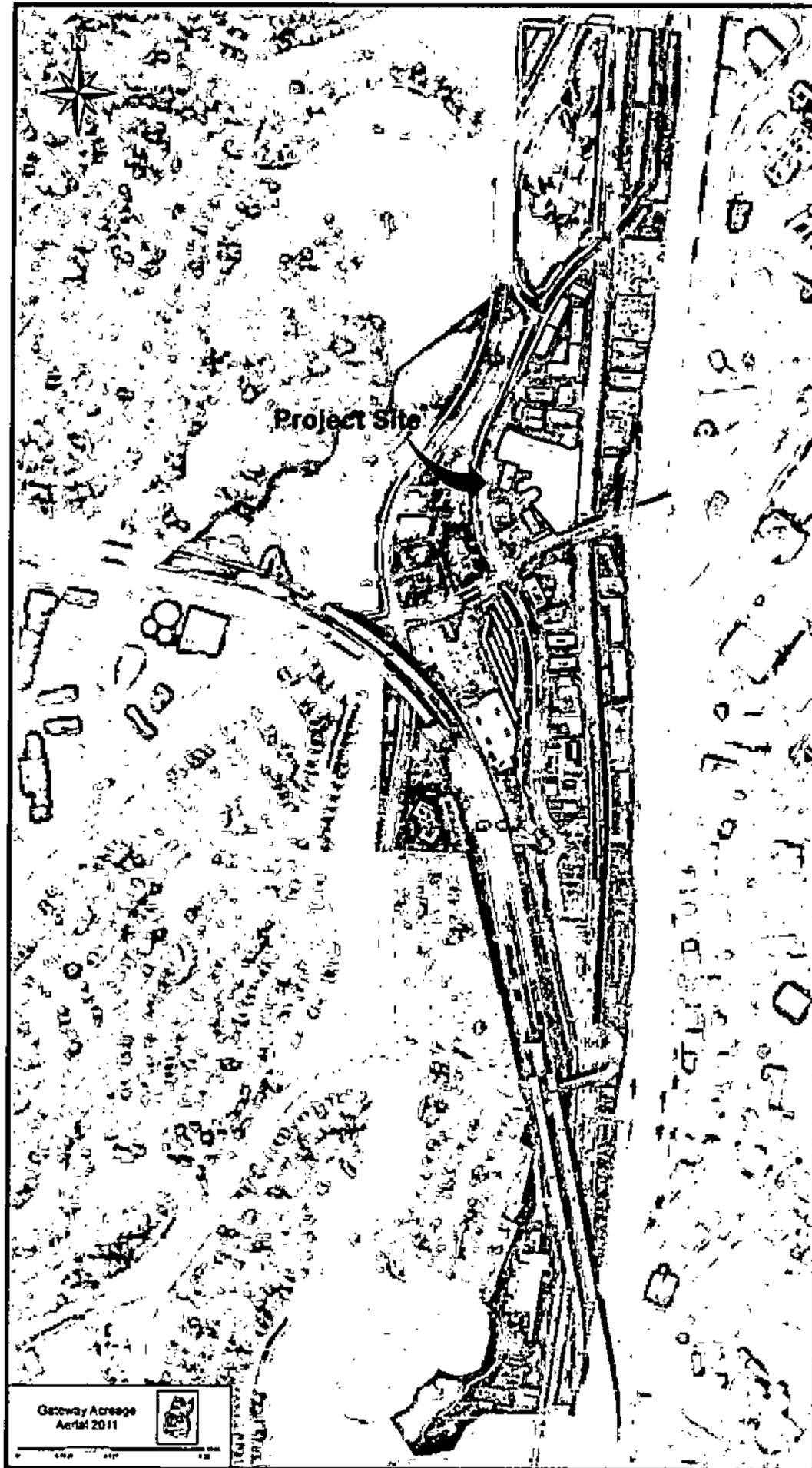


Figure 2 – Gateway Specific Plan Project Location Map

2.1.2 Project Activities Description

The proposed project consists of demolishing all existing buildings, pavement, vegetation, utilities, and appurtenances on the site. In addition, the project includes the construction of multi-story residential buildings throughout the site and a 6-story parking garage structure along the eastern side of the property.

2.2. Hydrologic Setting

This section summarizes the project's size and location with respect to the larger watershed perspective, topography, soil and vegetation conditions, impervious areas, existing drainage features, and other relevant hydrologic and environmental factors.

2.2.1 Watershed

The project site is located within the approximately 159.98 square mile San Juan Creek watershed, which includes portions of the cities of Dana Point, Laguna Hills, Laguna Niguel, Mission Viejo, Rancho Santa Margarita, and San Juan Capistrano.

2.2.2 Existing Topography, Drainage Patterns, and Facilities

The stated elevations are relevant to the benchmark described by Orange County Survey 2003 at the northwesterly corner of the intersection of Forbes Road and Crown Valley Parkway. The monument is set at a 3.75-inch aluminum disk in the northwesterly corner of concrete bridge abutment. The monument is described by Orange County Survey, 2003, Benchmark: 3U-41-70, Datum NAVD88, with an elevation of 264.878.

For the hydrology and drainage analysis, the existing conditions for the site have been divided into Subareas A through C (see Appendix A). The site is relatively level at a general elevation of 270 feet. The existing most southerly area of the property, Subarea A, sheet flows into ribbon gutters within the commercial space, and also street gutters located along the easterly portion of Forbes Road and the southerly portion of Cape Drive. The runoff is collected by Catch Basin 1 on Cape Drive and travels in a northerly direction through a 24-inch diameter storm drain line for 39.5 feet. Subarea B is in the central portion of the existing site and collects runoff through both ribbon gutters from the commercial space and street gutters from the northerly portion of Cape Drive. The runoff is collected by Catch Basin 2 located on the northern half of Cape Drive. The runoff joins the incoming flow from Subarea A and travels northerly through a 36-inch diameter storm drain line for 157 feet. The runoff is then rerouted in a westerly direction through a 24-inch diameter line for 78 feet and flows into the Oso Creek Channel. The last area, Subarea C, is at the northern portion of the existing site and collects runoff water from the commercial space through a ribbon gutter, as well as the eastern portion of Forbes Road and all of Getty Drive, which drains to Catch Basin 3.

2.2.3 Adjacent Land Use

The project site is bounded by mixed-use service buildings to the north and east, commercial and office buildings to the south, and open space to the west.

2.2.4 Soil Conditions

According to the Geotechnical Investigation Report conducted by Albus-Keefe & Associates, Inc. (AKA) dated May 15, 2014, the site is overlain by artificial fill to a typical depth of 10 feet to 12 feet along the eastern margin. In addition, the site is underlain by fine-grained soils that have relatively low permeability characteristics. Alluvial soils, comprised of low plasticity silty clay with occasional layers of clayey sand and silty sand, were encountered to a maximum depth of 50 feet below the fill. The fill soils are typically comprised of highly plastic silty clay.

The groundwater was encountered at depths of approximately 12 feet below the existing ground surface. The groundwater elevation varies across the site between a range of 255.6 to 257.0 feet.

2.2.5 Downstream Conditions

The project site drains into the unlined portion of the Oso Creek Channel, which has erosive properties. In accordance with South Orange County requirements, the flow for the proposed site will be reduced so that it is lower than the existing conditions to help mitigate any potential downstream impact.

2.2.6 Impervious Cover

The existing site is approximately 95% impervious since the site is primarily occupied by buildings, parking lots, and other hardscape. The proposed site conditions results in approximately 76% imperviousness due to an increase in turf and other pervious areas.

2.3 Proposed Runoff Management Facilities

The proposed facilities managing runoff from the site include:

- Water quality treatment control Best Management Practices (BMPs). Specifically, flow through planters, Filterra roof drain bio-filtration boxes, and Modular Wetlands stormwater filtration systems.
- A proposed onsite storm drainage system will drain part of the project area to the proposed catch basin on Getty Drive which will connect into the existing 36" storm drain on Forbes Road. The rest of the project area will drain and connect to the existing 24" storm drain on Cape Drive.
- Corrugated Steel Retention Tanks used to detain the proposed site's 10-year ("first flush") storm event runoff.
- Sump Pump Lift Stations to discharge the runoff and mimic pre-developed conditions.

Section 3 Design Criteria and Methodology

This section summarizes the design criteria and methodology applied during the drainage analysis of the project site. The design criteria and methodology follow the Orange County Hydrology Manual (October 1986). The implementation and maintenance of water quality best management practices (BMPs) that will be installed on the site and a more detailed description as well as sizing criterion for BMPs is addressed in this project's WQMP.

3.1 Design Criteria

3.1.1 Drainage Design Criteria

Local storm drain facilities (street gutters, curb inlets, area drains, tanks, pumps) have been designed to conform to Orange County standards.

3.1.2 Runoff Calculation Method

Runoff calculations for this study were accomplished using the Rational Method in accordance with the recommendations of the Orange County Hydrology Manual (OCHM). The Rational Method is a physically-based numerical method where runoff is assumed to be directly proportional to rainfall and area, less losses for infiltration and depression storage. Flows were computed based on the rational formula:

$$Q = CIA$$

where:

Q = runoff (cfs)

C = runoff coefficient representing the ratio of runoff to rainfall

I = the time-averaged rainfall intensity in inches per hour corresponding to the time of concentration

A = drainage area (acres)

The watershed time of concentration at any given point is defined as the time it would theoretically take runoff to travel from the most upstream point in the watershed to a concentration point, as estimated by the Time of Concentration Nomograph for Initial Subarea (Figure D-4 within the Orange County Hydrology Manual and Appendix H of this report).

Intensity for this site was determined by the intensity-duration curves from the Orange County Hydrology Manuals Figure's B-3 and B-4. The runoff coefficient represents the ratio of rainfall that runs off the watershed versus the portion that infiltrates to the soil or is held in depression storage. The runoff coefficient (C) is dependent on rainfall intensity (I), soil infiltration rate (Fp), and impervious/pervious area fractions (a_i and a_p).

Rational Method calculations were accomplished using hand calculations. Peak discharges were computed for both a 25-year and 100-year hypothetical storm return frequencies and can be seen in the Hydrology and Drainage Analysis section of this report (section 4). The output results of the calculations can be found in Appendix C through F of this report.

Section 4 Hydrology and Drainage Analysis

This section summarizes the quantitative hydrologic analysis of the existing and proposed conditions of the site.

4.1 Summary of Drainage Delineation

Under the proposed conditions, the project site was broken into Subareas D through L, which represents the boundaries of the contributing area. Appendix B of this report contains the Proposed Conditions Hydrology Map, which illustrates the proposed drainage subareas and quantifies the peak flow for a 100-year storm event.

Subarea E covers 1.05 acres and consists of 85% impervious area. Subarea E collects water from the eastern portion of the site and is collected at Tank B (T-B). The low flow component of the tank is routed to a Modular Wetland, and after treatment, joins the high flow component northerly and join stormwater from Subarea L. With a total of 0.46 acres and 83% of impervious area, Subarea L collects stormwater from the northern portion of the site. The stormwater from Subarea L then travels westerly and combines with stormwater from Subarea D toward Tank A (T-A).

Subarea D covers 0.85 acres and consists of 74% impervious area. Subarea D collects stormwater from the northwestern region of the site near Forbes Road and travels north toward the proposed Catch Basin 4 (CB-4). Once T-A captures the 10-year storm event runoff, any excess runoff will bypass the outlet pipe and discharge over a weir within Junction Structure 1 (JS-1).

Subarea H is composed of the southern portion of Getty Drive and is to remain unchanged. The runoff from the contributing 0.36 acres will drain into CB-4. At CB-4, the runoff collected from Subareas D, L, E and H will converge and discharge into a proposed 24-inch storm drain line that travels in a northerly direction. Subarea I collects runoff from the northern portion of Getty Drive and the eastern portion of Forbes Road north of the intersection with Cape Drive. The contributing 1.06 acres is collected at Catch Basin 3 (CB-3) and flows westerly through a 36-inch pipe until it intersects with the proposed 24-inch storm drain line composed of the runoff values from Subareas D, L, E and H. The runoff from Subareas D, L, E, H and I travels westerly through the existing 36-inch storm drain line within Forbes Road, which eventually discharges into the Oso Creek Channel.

Subarea F, which collects water from the central portion of the site between Getty Drive and Cape Drive, makes up a total of 1.46 acres and consists of 65% impervious area. The stormwater runoff from Subarea F is collected at Tank C (T-C) before being pumped out to a junction structure and through a 15-inch storm drain line that discharges into a second junction structure connecting to an 18-inch line running along Cape Drive. In addition, Subarea G collects stormwater from the most southern portion of the site and covers 1.36 acres that consists of 79% impervious area. The runoff is collected by Tank D (T-D) before being pumped

out to a junction structure and through a 12-inch storm drain line and discharges into the same junction structure as Subarea F that then connects to the 18-inch line located within Cape Drive. From this point, the stormwater from both Subareas F and G converges and travels through an 18-inch line before discharging into a 24-inch line that connects to Catch Basin 2 (CB-2).

Subarea J collects runoff from the eastern half of Forbes road and the southern half of Cape Drive, and enters Catch Basin 1 (CB-1). The stormwater then flows through a 24-inch line that is joined by the 18-inch line running along Cape Drive, and discharges into CB-2. Additionally, Subarea K, which is part of the off-site run-on, collects stormwater runoff from the northern half of Cape Drive as well as the commercial space adjacent to the property boundary, and discharges into CB-2.

Finally, the stormwater runoff from Subareas F, G, J, and K are all collected within CB-2. From that point, the stormwater travels northerly through a 36-inch storm drain line, reroutes into a 24-inch line, and eventually travels until it discharges into the Oso Creek Channel.

4.2 Summary of Results

Below is the table that summarizes the results of the peak runoff for both the existing and proposed conditions.

	Area (acres)	Proportion Impervious*	Soil Type	Storm Event	Flow Rate (cfs)	TC Value (minutes)
Existing Conditions	8.7	.95	D	100 years	25.80	14.9
Proposed Conditions	8.7	.76	D	100 years	24.66	16.2

* Portion Impervious for the proposed conditions varies for each small subarea thus average proportion impervious was used for calculations. Only accounts for area within the proposed project property lines.

The hydraulic analysis for the existing 36-inch storm drain line on the northern part of the site and the 24-inch storm drain line on the southern portion (see Appendix B) shows that the pipes will be able to manage the total runoff from the entire site. Therefore, the runoff is thus captured and exits the site according to pre-developed flow conditions.

4.3 Conclusion

The proposed project will experience an overall net decrease in peak discharge due to an increase in pervious landscaped areas and the addition of flow through planters and four detention tank systems. See calculations and area subdivisions in the Appendix section of this report.

5. Tank System Analysis

This section summarizes the quantitative hydrologic analysis of the four proposed tank detention systems utilized for this project. Both pump and 10-year flow rate calculations can be found in the WQMP Report.

5.1 Summary of Tank System Results

The first tank system is located on the northeastern quadrant of the project site. Tank B (T-B) consists of a single 8-foot diameter corrugated steel tank spanning a length of 233 feet, and collects stormwater from the parking garage area making up Subarea E. T-B includes both low flow and high flow outlet pipe components. The high flow pipe is designed based on a 25-year storm event, and it discharges water at a flow rate of 3.674 cfs. In addition, the low flow pipe discharges water at a flow rate of 0.456 cfs to a Modular Wetland unit to be treated. From there, the treated water will converge with the flow from the high flow pipe and join Subarea L.

The second tank system is located on the north of the project site and collects water from both Subareas D and L. Tank A (T-A) consists of two 8 foot diameter corrugated steel tanks. The water collected from Subareas D and L enters Junction Structure 1 (JS-1) through two separate inlet pipes, then leaves the junction structure through an outlet pipe to T-A. The outlet pipe is designed based on a 10-year storm event, and discharges water at a flow rate of 0.453 cfs into T-A. As T-A fills with water, water simultaneously exits the tank through a 12" pipe to Tank C (T-C). The excess runoff will then flow out a second outlet pipe and discharge into Catch Basin 4 (CB-4) before entering the public storm drain system.

Tank C (T-C) consists of three 10-foot diameter variable length corrugated steel tanks and collects water from the pool area and courtyard making up Subarea F. T-C also accepts water from T-A as they are connected with a 12" pipe. After water enters Junction Structure 2 (JS-2), which is north of the cul-de-sac on Cape Drive, it then flows through a separate outlet pipe into T-C. As T-C fills with water, water exits the tank through a low-flow pipe to Pump C (P-C), and it is then pumped at a rate of 0.068 cfs back into JS-2. Once the tank has captured the 10-year storm event runoff, any excess runoff will bypass flow through the outlet pipe and discharge over a weir within JS-2. The excess runoff will then flow out a second pipe and discharge into the public storm drain system on Cape Drive

The fourth tank system is located on the southern quadrant of the project site. Tank D (T-D) consists of a single 8-foot diameter corrugated steel tank spanning a length of 188 feet and collects stormwater from the courtyard that makes up Subarea G. T-D includes both low flow and high flow outlet pipe components. The high flow outlet pipe is designed based on a 25-year storm event and discharges water at a rate 4.968 cfs to Junction Structure 3 (JS-3). The low flow pipe discharges water from the tank to Pump D (P-D), where it is then pumped at a rate of 0.022 cfs to JS-3. The high flow runoff and water from P-D will then converge in JS-3 and then discharge into the public storm drain system on Cape Drive.

Section 6 Open Channel Analysis

This section summarizes the quantitative hydrologic analysis of the existing and proposed conditions of the open dirt channel that runs between the eastern side of the project site and the adjacent railroad tracks.

6.1 Summary of Results

The existing channel assumes a trapezoidal cross section that tapers down to a v-shaped cross sectional area as it travels north along the eastern property line. The proposed conditions will decrease the cross sectional area of the channel due to the construction of a retaining wall on the eastern side of the project site.

The existing channel dimensions were established by survey points shot at the top and toe elevations. The existing and proposed channel flow capacities were then modeled and compared using AutoCAD Civil 3D Hydraflow Express. Using this software, three intermediate cross sectional areas of both the existing and proposed channel conditions were analyzed at 115 foot increments from the channel headwall. Existing channel sections A through C are shown in Appendices I through K, while proposed channel sections A through C are shown in Appendices L through N.

The analysis of the existing and proposed flow capacity of the channel was based on the existing design flow rate ($Q_{25} = 410$ cfs) specified in the hydraulic data table of the as-built shown in Appendix H. The flow rates modeled were of a conservative nature with most being above 410 cfs. This provided an extra level of certainty that the proposed channel geometry would handle the predicted storm event.

6.2 Conclusion

Although the cross sectional area of the channel will be reduced, the proposed channel geometry will still be able to accommodate a flow of 410 cfs. Therefore, the proposed conditions will be sufficient in handling predicted flow capacity.

Appendix Section

Appendix A
Existing Conditions Hydrology Map

Appendix C

Hydraulic Calculations for Existing Conditions 25-Year Storm

Q 25 Rational Method Hydrology Calculations for Existing Development
 Project: GATEWAY VILLAGE AT LAGUNA NIGUEL

Area No.	A (sqft)	A (ac)	IA (ac)	Soil type	Dev type	K _i	T _r (min)	I ₂₅ (in/hr)	F _m (in/hr)	F _p avg	F _m avg	a ₁	a _p	Q ₂₅ (cfs)	S ₀	L (ft)	d (in)	n	K _{pipe}	D/d	D (ft)	V (fps)	T _t (min)	Description	
EXISTING																									
A	89504.0	2.05	2.05	D	Apartments	0.325	13.5	2.7	0.02	0.20	0.02	0.90	0.10	5.04	0.005	785									Section A
							13.6	2.7						5.02	0.027	39	24	0.009	326.8	14%	0.28	10.1	0.1	South Surface Area	
B	169975.8	3.90	3.90	D	Apartments	0.325	11.8	3.0	0.02	0.20	0.02	0.90	0.10	10.35	0.007	661									Section B
							13.9	2.7						15.37	0.010	155	36	0.009	963.5	21%	0.63	9.7	0.3	Central Surface Area	
							14.0	2.7						15.37	0.010	78	24	0.009	326.8	47%	0.84	10.2	0.1		
			5.96				14.0	2.7						14.33											
C	119484.2	2.74	2.74	D	Apartments	0.325	14.7	2.6	0.02	0.20	0.02	0.90	0.10	6.41	0.003	782									Section C
							14.9	2.6						6.38	0.008	59	36	0.009	963.5	12%	0.36	6.8	0.1	North Surface Area	
TOTAL			8.70				14.9	2.6						20.23											

Appendix D

Hydraulic Calculations for Proposed Conditions 25-Year Storm

Q 25 Rational Method Hydrology Calculations for Proposed Development
 Project: GATEWAY VILLAGE AT LAGUNA NIGUEL

Area No.	A (sqft)	A (ac)	ΣA (ac)	Soil type	Dev type	K _i	T _c (min)	I _h (in/hr)	F _m (in/hr)	F _p avg	F _m avg	a ₁	a ₂	Q _h (cfs)	S _p	L (ft)	d (in)	n	K _{pipe}	D/d	D (ft)	V (fps)	T _t (min)	Description	
SYSTEM D																									
D1	5537.7	0.13	0.13	D	Apartments	0.325	5.2	4.7	0.02	0.20	0.02	0.90	0.10	0.54	1.00%	100									Roof Drain & FTP
							5.2	4.7						0.54	3.57%	20	6	0.009	8.1	38%	0.19	7.1	0.0		
D2	670.5	0.02	0.02	D	Apartments	0.325	5.0	4.8	0.14	0.20	0.14	0.30	0.70	0.06	2.00%	30									Planter
							5.0	4.8						0.06	14.90%	6	4	0.009	2.7	11%	0.04	6.4	0.0		
							5.2	4.7						0.60	3.57%	34	6	0.009	8.1	41%	0.21	7.3	0.1		
							5.3	4.7						0.60	1.00%	5	8	0.009	17.5	37%	0.25	4.5	0.0		
			0.14				5.3	4.7						0.58											
D3	6982.8	0.16	0.16	D	Apartments	0.325	5.2	4.7	0.02	0.20	0.02	0.90	0.10	0.68	1.00%	100									Roof Drain & FTP
							5.2	4.7						0.68	53.39%	4	6	0.009	8.1	17%	0.09	19.3	0.0		
							5.2	4.7						1.26	1.00%	21	8	0.009	17.5	67%	0.45	5.5	0.1		
			0.30				5.2	4.7						1.28											
D4	4573.9	0.11	0.11	D	Apartments	0.325	5.2	4.7	0.02	0.20	0.02	0.90	0.10	0.45	1.00%	100									Roof Drain & FTP
							5.2	4.7						0.45	56.80%	4	4	0.009	2.7	26%	0.09	18.5	0.0		
							5.2	4.7						1.72	1.00%	61	8	0.009	17.5	96%	0.64	5.7	0.2		
			0.41				5.4	4.6						1.69											
D5	55.3	0.0	0.00	D	Apartments	0.325	5.0	4.8	0.10	0.20	0.10	0.50	0.50	0.01	2.00%	14									Planter
							5.2	4.7						0.01	2.84%	23	4	0.009	2.7	3%	0.01	1.6	0.2		
D6	6460.0	0.15	0.15	D	Apartments	0.325	5.2	4.7	0.02	0.20	0.02	0.90	0.10	0.63	1.00%	100									Roof Drain & FTP
							5.2	4.7						0.63	6.94%	15	6	0.009	8.1	33%	0.17	9.4	0.0		
							5.2	4.7						0.62	6.94%	30	8	0.009	8.1	33%	0.17	9.4	0.1		
							5.4	4.6						2.31	0.84%	19	10	0.009	31.7	74%	0.62	5.9	0.1		
			0.56				5.5	4.6						2.30											
D7	2661.7	0.06	0.06	D	Apartments	0.325	5.0	4.8	0.10	0.20	0.10	0.50	0.50	0.26	1.80%	54									Surface Area
							5.2	4.7						0.26	1.00%	45	12	0.009	51.5	9%	0.09	3.3	0.2		
							5.2	4.7						0.25											
D8	1282.8	0.03	0.03	D	Apartments	0.325	5.0	4.8	0.10	0.20	0.10	0.50	0.50	0.13	1.30%	41									Surface Area
							5.1	4.8						0.13	1.00%	12	12	0.009	51.5	6%	0.06	2.4	0.1		
							5.2	4.7						0.38	1.00%	31	6	0.009	8.1	47%	0.24	4.0	0.1		
							5.5	4.6						2.67	0.84%	14	10	0.009	31.7	86%	0.72	6.0	0.0		
			0.09				5.5	4.6						2.67	0.84%	14	10	0.009	31.7	86%	0.72	6.0	0.0		
D9	957.0	0.02	0.02	D	Apartments	0.325	5.2	4.7	0.02	0.20	0.02	0.90	0.10	0.09	1.00%	100									Roof Drain & FTP
							5.2	4.7						0.09	24.28%	3	6	0.009	8.1	5%	0.03	7.5	0.0		
D10	371.5	0.01	0.01	D	Apartments	0.325	5.0	4.8	0.14	0.20	0.14	0.30	0.70	0.04	2.00%	53									Planter
							5.0	4.8						0.04	4.31%	9	4	0.009	2.7	11%	0.04	3.5	0.0		
							5.2	4.7						0.13	24.28%	6	6	0.009	8.1	7%	0.04	8.5	0.0		
							5.5	4.6						2.80	0.84%	1	10	0.009	31.7	92%	0.77	6.1	0.0		
							5.5	4.6						2.71											
			0.68				5.5	4.6						2.71											
D11	1757.9	0.04	0.04	D	Apartments	0.325	5.0	4.8	0.14	0.20	0.14	0.30	0.70	0.17	1.30%	84									Roof Drain Area
							5.0	4.8						0.17	26.55%	9	4	0.009	2.7	17%	0.06	10.7	0.0		
							5.6	4.5						2.88	0.84%	54	10	0.009	31.7	97%	0.81	6.1	0.1		
							5.6	4.5						2.83											
			0.72				5.6	4.5						2.83											
D12	216.8	0.00	0.00	D	Apartments	0.325	5.0	4.8	0.14	0.20	0.14	0.30	0.70	0.02	2.00%	18									Surface Area
							5.0	4.8						0.02	33.85%	4	4	0.009	2.7	3%	0.01	5.5	0.0		
							5.7	4.5						2.85	0.84%	13	10	0.009	31.7	94%	0.78	6.1	0.0		
							5.7	4.5						2.83											
			0.72				5.7	4.5						2.83											
D13	1644.1	0.04	0.04	D	Apartments	0.325	5.2	4.7	0.14	0.20	0.14	0.30	0.70	0.16	1.00%	100									Roof Drain & Surface Area
							5.2	4.7						0.16	21.91%	5	4	0.009	2.7	17%	0.06	9.7	0.0		
							5.7	4.5						2.88	0.84%	11	10	0.009	31.7	100%	0.83	5.5	0.0		
							5.8	4.5						2.99	0.80%	17	12	0.009	51.5	61%	0.61	6.2	0.0		
							5.8	4.5						2.96											
			0.76				5.8	4.5						2.96											
D14	543.9	0.01	0.01	D	Apartments	0.325	5.0	4.8	0.10	0.20	0.10	0.50	0.50	0.05	1.40%	21									Surface Area
							5.0	4.8						0.05	9.55%	8	4	0.009	2.7	11%	0.04	5.2	0.0		
							5.8	4.4						3.01	0.84%	23	12	0.009	51.5	60%	0.60	6.4	0.1		
							5.8	4.4						3.02											
			0.77				5.8	4.4						3.02											
D15	487.5	0.01	0.01	D	Apartments	0.325	5.0	4.8	0.10	0.20	0.10	0.50	0.50	0.05	1.00%	19									Surface Area
							5.0	4.8						0.05	10.02%	9	4	0.009	2.7	10%	0.03	5.0	0.0		
							5.9	4.4						3.06	0.84%	25	12	0.009	51.5	61%	0.61	6.4	0.1		
							5.9	4.4						3.04											
			0.79				5.9	4.4						3.04											

Appendix E

Hydraulic Calculations for Existing Conditions 100-Year Storm

Q100 Rational Method Hydrology Calculations for Existing Development
 Project: GATEWAY VILLAGE AT LAGUNA NIGUEL

Area No.	A (sqft)	A (ac)	IA (ac)	Soil type	Dev type	K _f	T _c (min)	I ₁₀₀ (in/hr)	F _m (in/hr)	F _p avg	F _m avg	a ₁	a _p	Q ₁₀₀ (cfs)	S _d	L (ft)	d (in)	n	K _{pipe}	D/d	D (ft)	V (fps)	T _t (min)	Description	
EXISTING																									
A	89504.0	2.05	2.05	D	Apartments	0.325	13.5	3.5	0.02	0.20	0.02	0.90	0.10	6.43	0.005	785									Section A
							13.6	3.5						6.41	0.027	39	24	0.009	326.8	17%	0.34	11.0	0.1	South Surface Area	
B	169975.8	3.90	3.90	D	Apartments	0.325	11.8	3.8	0.02	0.20	0.02	0.90	0.10	13.21	0.007	661									Section B
							13.9	3.5						19.62	0.010	155	36	0.009	963.5	25%	0.75	10.5	0.2	Central Surface Area	
							14.0	3.4						19.62	0.010	78	24	0.009	326.8	57%	1.14	10.9	0.1		
			5.96				14.0	3.4						18.30											
C	119484.2	2.74	2.74	D	Apartments	0.325	14.7	3.3	0.02	0.20	0.02	0.90	0.10	8.18	0.003	782									Section C
							14.9	3.3						8.13	0.008	59	36	0.009	963.5	14%	0.42	7.3	0.1	North Surface Area	
TOTAL			8.70				14.9	3.3						25.80											

Appendix F
Hydraulic Calculations for Proposed Conditions 100-Year Storm

Q 100 Rational Method Hydrology Calculations for Proposed Development
 Project: GATEWAY VILLAGE AT LAGUNA NIGUEL

Area No.	A (sqft)	A (ac)	ΣA (ac)	Soil type	Dev type	K _t	T _c (min)	I ₁₀₀ (in/hr)	F _m (in/hr)	F _p avg	F _m avg	a ₁	a ₂	Q ₁₀₀ (cfs)	S _p	L (ft)	d (in)	n	K ₁₀₀	D/d	D (ft)	V (fps)	T _t (min)	Description	
SYSTEM D																									
D1	5537.7	0.13	0.13	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.69	1.00%	100									Roof Drain & FTP
							5.2	6.1						0.69	3.57%	20	6	0.009	8.1	46%	0.23	7.6	0.0		
D2	670.5	0.02	0.02	D	Apartments	0.325	5.0	6.2	0.14	0.20	0.14	0.30	0.70	0.08	2.00%	30									Planter
							5.0	6.2						0.08	14.90%	6	4	0.009	2.7	13%	0.04	6.7	0.0		
							5.2	6.1						0.77	3.57%	34	6	0.009	8.1	50%	0.25	7.8	0.1		
							5.3	6.0						0.77	1.00%	5	8	0.009	17.5	45%	0.30	4.9	0.0		
			0.14				5.3	6.0						0.75											
D3	6982.8	0.18	0.18	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.88	1.00%	100									Roof Drain & FTP
							5.2	6.1						0.88	53.39%	4	6	0.009	8.1	20%	0.10	20.8	0.0		
							5.2	6.1						1.63	1.00%	21	8	0.009	17.5	87%	0.58	5.7	0.1		
							5.2	6.0						1.64											
D4	4573.9	0.11	0.11	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.57	1.00%	100									Roof Drain & FTP
							5.2	6.1						0.57	56.80%	4	4	0.009	2.7	32%	0.11	20.2	0.0		
							5.2	6.0						2.21	1.00%	61	8	0.009	17.5	100%	0.67	1.6	0.6		
							5.8	5.7						2.07											
D5	55.3	0.0	0.00	D	Apartments	0.325	5.0	6.2	0.10	0.20	0.10	0.50	0.50	0.01	2.00%	14									Planter
							5.2	6.0						0.01	2.84%	23	4	0.009	2.7	4%	0.01	1.6	0.2		
D6	6460.0	0.15	0.15	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.81	1.00%	100									Roof Drain & FTP
							5.2	6.1						0.81	6.94%	15	6	0.009	8.1	40%	0.20	10.1	0.0		
							5.2	6.0						0.80	6.94%	30	6	0.009	8.1	40%	0.20	10.1	0.1		
							5.8	5.7						2.87	0.84%	19	10	0.009	31.7	96%	0.80	6.1	0.1		
							5.9	5.6						2.82											
D7	2661.7	0.06	0.06	D	Apartments	0.325	5.0	6.2	0.10	0.20	0.10	0.50	0.50	0.33	1.80%	54									Surface Area
							5.2	6.0						0.33	1.00%	45	12	0.009	51.5	11%	0.11	3.5	0.2		
							5.2	6.0						0.33											
D8	1292.8	0.03	0.03	D	Apartments	0.325	5.0	6.2	0.10	0.20	0.10	0.50	0.50	0.16	1.30%	41									Surface Area
							5.1	6.1						0.16	1.00%	12	12	0.009	51.5	7%	0.07	2.8	0.1		
							5.2	6.0						0.49	1.00%	31	6	0.009	8.1	58%	0.29	4.3	0.1		
							5.9	5.6						3.31	0.84%	14	10	0.009	31.7	100%	0.83	6.1	0.0		
D9	957.0	0.02	0.02	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.12	1.00%	100									Roof Drain & FTP
							5.2	6.1						0.12	24.28%	3	6	0.009	8.1	6%	0.03	8.5	0.0		
D10	371.5	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.14	0.20	0.14	0.30	0.70	0.05	2.00%	53									Planter
							5.0	6.2						0.05	4.31%	9	4	0.009	2.7	13%	0.04	3.7	0.0		
							5.2	6.1						0.17	24.28%	6	6	0.009	8.1	8%	0.04	9.4	0.0		
							5.9	5.6						3.47	0.84%	1	10	0.009	31.7	100%	0.83	6.4	0.0		
							5.9	5.6						3.34											
D11	1757.9	0.04	0.04	D	Apartments	0.325	5.0	6.2	0.14	0.20	0.14	0.30	0.70	0.22	1.30%	84									Roof Drain Area
							5.0	6.2						0.22	26.55%	9	4	0.009	2.7	21%	0.07	11.5	0.0		
							6.1	5.5						3.56	0.84%	54	10	0.009	31.7	100%	0.83	6.5	0.1		
							6.1	5.5						3.49											
D12	216.8	0.00	0.00	D	Apartments	0.325	5.0	6.2	0.14	0.20	0.14	0.30	0.70	0.03	2.00%	18									Surface Area
							5.0	6.2						0.03	33.85%	4	4	0.009	2.7	4%	0.01	5.5	0.0		
							6.1	5.5						3.52	0.84%	13	10	0.009	31.7	100%	0.83	6.5	0.0		
							6.1	5.5						3.51											
D13	1644.1	0.04	0.04	D	Apartments	0.325	5.2	6.1	0.14	0.20	0.14	0.30	0.70	0.20	1.00%	100									Roof Drain & Surface Area
							5.2	6.1						0.20	21.91%	5	4	0.009	2.7	21%	0.07	10.5	0.0		
							6.1	5.5						3.71	0.84%	11	10	0.009	31.7	100%	0.83	6.8	0.0		
							6.2	5.5						3.71	0.80%	17	12	0.009	51.5	75%	0.75	6.5	0.0		
							6.2	5.5						3.66											
D14	543.9	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.10	0.20	0.10	0.50	0.50	0.07	1.40%	21									Surface Area
							5.0	6.2						0.07	9.55%	8	4	0.009	2.7	13%	0.04	5.5	0.0		
							6.2	5.5						3.73	0.84%	23	12	0.009	51.5	73%	0.73	6.7	0.1		
							6.2	5.5						3.73											
D15	487.5	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.10	0.20	0.10	0.50	0.50	0.06	1.00%	19									Surface Area
							5.0	6.2						0.06	10.02%	9	4	0.009	2.7	12%	0.04	5.5	0.0		
							6.3	5.4						3.79	0.84%	25	12	0.009	51.5	74%	0.74	6.7	0.1		
							6.3	5.4						3.76											

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L10	544.4	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.08	0.20	0.08	0.60	0.40	0.07	2.00%	32	8	0.009	17.5	100%	0.67	3.7	0.2	Surface Area
			0.27				6.7	5.2						1.30	0.50%	56								
L11	2732.5	0.06	0.06	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.80	0.10	0.34	1.00%	100	4	0.009	2.7	19%	0.06	20.0	0.0	Roof Drain & FTP
							6.7	6.1						0.34	87.58%	5	4	0.009	31.7	66%	0.55	4.4	0.0	
			0.33				6.7	5.2						1.56		3	10	0.009	31.7				0.0	
L12	1636.2	0.04	0.04	D	Apartments	0.325	5.0	6.2	0.10	0.20	0.10	0.50	0.50	0.21	1.00%	50	10	0.009	31.7	73%	0.61	4.6	0.3	Roof Drain & Surface Area
			0.37				7.0	5.1						1.76	0.50%	76								
							7.0	5.1						1.67										
L13	3293.7	0.08	0.08	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.41	1.00%	100	4	0.009	2.7	23%	0.08	19.5	0.0	Roof Drain & FTP
							5.2	6.1						0.41	68.00%	5	4	0.009	31.7				0.0	
							7.0	5.1						2.08	0.50%	18	10	0.009	31.7	87%	0.73	4.6	0.1	
			0.44				7.0	5.1						2.03										
L14	775.9	0.02	0.02	D	Apartments	0.325	5.0	6.2	0.05	0.20	0.05	0.75	0.25	0.10	1.80%	113	4	0.009	2.7	30%	0.10	3.7	0.0	Surface Area
							5.0	6.2						0.10	2.00%	5	4	0.009	31.7	90%	0.75	4.7	0.1	
							7.1	5.1						2.13	0.50%	23	10	0.009	31.7					
			0.46				7.1	5.1						2.08										
T-A			1.31											6.02										Total Subarea I to tank T-A
																								Tank T-A total intake
E SYSTEM																								
E1	1248.7	0.03	0.03	D	Apartments	0.325	5.2	6.1	0.05	0.20	0.05	0.75	0.25	0.16	1.00%	100	4	0.009	2.7	55%	0.18	3.2	0.4	Surface Area
			0.03				5.5	5.9						0.15	1.00%	68								
E2	1732.4	0.04	0.04	D	Apartments	0.325	5.0	6.2	0.02	0.20	0.02	0.90	0.10	0.22	2.00%	74	6	0.009	8.1	53%	0.27	3.5	0.2	Surface Area
			0.07				5.2	6.0						0.37	0.70%	49	6	0.009	8.1					
							5.2	6.0						0.37										
E3	14890.0	0.34	0.34	D	Apartments	0.325	6.1	5.5	0.02	0.20	0.02	0.80	0.10	1.70	1.00%	150	6	0.009	8.1	88%	0.44	10.4	0.0	Roof Drain Area
			0.34				6.1	5.5						1.70	5.00%	7	6	0.009	8.1				0.0	Lateral directly to tank T-B
							6.1	5.5						1.70										
E4	423.4	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.12	0.20	0.12	0.40	0.60	0.05	1.00%	53	4	0.009	2.7	15%	0.05	3.7	0.0	Surface Area
			0.01				5.0	6.2						0.05	4.00%	8								
							5.0	6.2						0.05										
E5	1715.7	0.04	0.04	D	Apartments	0.325	5.0	6.2	0.02	0.20	0.02	0.90	0.10	0.22	2.00%	52								Surface Area
			0.04				5.0	6.2						0.22										
							5.0	6.2						0.22										
E6	8720.0	0.20	0.20	D	Apartments	0.325	6.1	5.5	0.02	0.20	0.02	0.90	0.10	1.00	1.00%	150	6	0.009	8.1	53%	0.27	9.4	0.0	Roof Drain Area
			0.20				6.1	5.5						1.00	5.00%	7	6	0.009	8.1				0.0	Lateral directly to tank T-B
							6.1	5.5						0.89										
E7	14795.0	0.34	0.34	D	Apartments	0.325	6.1	5.5	0.02	0.20	0.02	0.80	0.10	1.69	1.00%	150	6	0.009	8.1	87%	0.44	10.4	0.0	Roof Drain Area
			0.34				6.1	5.5						1.69	5.00%	7	6	0.009	8.1				0.0	Lateral directly to tank T-B
							6.1	5.5						1.69										
E8	327.3	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.15	0.20	0.15	0.25	0.75	0.04	1.00%	52	4	0.009	2.7	16%	0.05	2.8	0.0	Surface Area
			0.01				5.0	6.2						0.04	2.00%	8								
							5.0	6.2						0.04										
E9	1685.3	0.04	0.04	D	Apartments	0.325	5.0	6.2	0.02	0.20	0.02	0.90	0.10	0.21	1.60%	53								Surface Area
			0.04				5.0	6.2						0.21										
							5.0	6.2						0.21										
T-B			1.05											5.27										Tank T-B total intake
F SYSTEM																								
F1	172.5	0.00	0.00	D	Apartments	0.325	5.0	6.2	0.18	0.20	0.18	0.10	0.80	0.02	2.00%	44	4	0.009	2.7	13%	0.04	1.7	0.1	Planter
			0.00				5.1	6.1						0.02	1.00%	14								
							5.1	6.1						0.02										
F2	580.0	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.05	0.20	0.05	0.75	0.25	0.07	2.10%	43	4	0.009	2.7	17%	0.06	4.5	0.4	Planter
							5.4	5.9						0.07	5.00%	103	4	0.009	31.7					
							5.4	5.9						0.09	1.00%	12	15	0.009	93.3	3%	0.04	2.3	0.1	
			0.02				5.4	5.9						0.09										

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F34	1428.1	0.03	0.03	D	Apartments	0.325	5.0	5.6	5.8	6.2	0.18	0.20	0.18	0.10	0.90	0.18	1.00%	51	4	0.009	2.7	61%	0.20	3.3	0.1	Surface Area
			0.32				5.6	5.8	5.8	5.8						1.65	1.00%	8	8	0.009	17.5	89%	0.58	5.7	0.0	
							5.8									1.61										
F35	348.9	0.01	0.01	D	Apartments	0.325	5.0	5.1	6.1	6.2	0.14	0.20	0.14	0.30	0.70	0.04	2.00%	18	4	0.009	2.7	21%	0.07	2.2	0.1	Planter
							5.1		6.1	6.1						0.04	1.00%	15								
							5.1		6.1	6.1																
F36	2664.3	0.06	0.06	D	Apartments	0.325	5.0	5.3	6.0	6.2	0.18	0.20	0.18	0.10	0.90	0.33	2.00%	43	6	0.009	8.1	46%	0.23	4.0	0.3	Surface Area
			0.07				5.3	6.0	6.0	6.0						0.37	1.00%	62	6	0.009	8.1					
							5.3	6.0	6.0	6.0																
F37	321.1	0.01	0.01	D	Apartments	0.325	5.0	5.2	6.2	6.2	0.18	0.20	0.18	0.10	0.90	0.04	2.00%	21	4	0.009	2.7	20%	0.07	2.2	0.2	Planter
							5.2	6.0	6.0	6.0						0.04	1.00%	26								
							5.2	6.0	6.0	6.0																
F38	2500.7	0.06	0.06	D	Apartments	0.325	5.0	5.2	6.2	6.2	0.02	0.20	0.02	0.90	0.10	0.32	2.00%	34	6	0.009	8.1	41%	0.21	3.8	0.0	Surface Area
			0.06				5.2	6.2	6.2	6.2						0.36	1.00%	8	6	0.009	8.1					
							5.2	6.2	6.2	6.2						0.36	1.00%	15	6	0.009	8.1	41%	0.21	3.9	0.1	
							5.2	6.2	6.2	6.2						0.72	1.00%	7	6	0.009	8.1	45%	0.23	4.0	0.0	
							5.7	5.7	5.7	5.7						2.33	1.00%	12	8	0.009	17.5	43%	0.28	4.8	0.0	
							5.8	5.7	5.7	5.7						6.64	1.00%	3	15	0.009	93.3	29%	0.38	8.2	0.0	
							7.4	4.9	4.9	4.9						6.46										
F39	123.1	0.00	0.00	D	Apartments	0.325	5.0	5.0	6.2	6.2	0.02	0.20	0.02	0.90	0.10	0.02	2.00%	27	15	0.009	93.3	95%	1.19	6.1	0.1	Planter
			1.46				7.5	4.9	4.9	4.9						6.48	0.50%	38								
							7.6	4.9	4.9	4.9																
T-C			1.48													6.37										Total Subarea F to tank T-C
																6.37										Tank T-C total intake

G SYSTEM

G1	72.5	0.00	0.00	D	Apartments	0.325	5.0	5.1	6.1	6.2	0.18	0.20	0.18	0.10	0.90	0.01	1.00%	14	4	0.009	2.7	4%	0.01	1.7	0.1	Planter
							5.1	6.1	6.1	6.1						0.01	0.85%	15	4	0.009	2.7	7%	0.02	1.2	0.2	
							5.1	6.1	6.1	6.1																
G2	707.2	0.02	0.02	D	Apartments	0.325	5.2	5.2	6.1	6.1	0.02	0.20	0.02	0.90	0.10	0.09	1.00%	100	4	0.009	2.7	15%	0.05	6.3	0.0	Roof Drain & FTP
							5.2	6.1	6.1	6.1						0.09	11.31%	4	4	0.009	2.7	40%	0.13	2.7	0.2	
							5.4	5.9	5.9	5.9						0.10	0.85%	37								
							5.4	5.9	5.9	5.9																
G3	564.8	0.01	0.01	D	Apartments	0.325	5.2	5.2	6.1	6.1	0.02	0.20	0.02	0.90	0.10	0.07	1.00%	100	4	0.009	2.7	11%	0.04	6.9	0.0	Roof Drain, FTP & Planter
							5.2	6.1	6.1	6.1						0.07	17.22%	4	4	0.009	2.7					
							5.4	5.9	5.9	5.9						0.17	0.85%	3	4	0.009	2.7	82%	0.21	3.1	0.0	
							5.4	5.9	5.9	5.9						0.16										
G4	1826.7	0.04	0.04	D	Apartments	0.325	5.0	5.7	6.2	6.2	0.02	0.20	0.02	0.90	0.10	0.23	1.50%	73	6	0.009	8.1	52%	0.26	3.8	0.2	Surface Area
			0.07				5.7	6.2	6.2	6.2						0.40	0.85%	57	6	0.009	8.1					
							5.7	6.2	6.2	6.2																
G5	1198.6	0.03	0.03	D	Apartments	0.325	5.0	5.0	6.2	6.2	0.02	0.20	0.02	0.90	0.10	0.15	1.50%	100	4	0.009	2.7	23%	0.08	7.4	0.0	Roof Drain & FTP
							5.0	6.2	6.2	6.2						0.15	10.08%	4	4	0.009	2.7					
							5.7	5.8	5.8	5.8						0.53	0.85%	5	6	0.009	8.1	66%	0.33	4.1	0.0	
							5.7	5.8	5.8	5.8						0.52										
G6	1451.9	0.03	0.03	D	Apartments	0.325	5.0	5.8	6.2	6.2	0.18	0.20	0.18	0.10	0.90	0.18	1.00%	63	6	0.009	8.1	88%	0.44	4.3	0.1	Surface Area
			0.13				5.8	6.2	6.2	6.2						0.70	0.85%	28	6	0.009	8.1					
							5.8	6.2	6.2	6.2						0.66										
G7	897.0	0.02	0.02	D	Apartments	0.325	5.2	5.2	6.1	6.1	0.02	0.20	0.02	0.90	0.10	0.11	1.00%	100	4	0.009	2.7	12%	0.04	10.0	0.0	Planter & FTP
							5.2	6.1	6.1	6.1						0.11	35.81%	6	4	0.009	2.7					
							6.3	6.4	6.4	6.4						0.78	0.85%	16	6	0.009	8.1	100%	0.50	0.5	0.5	
							6.3	6.4	6.4	6.4						0.75										
G8	911.1	0.02	0.02	D	Apartments	0.325	5.0	5.1	6.1	6.2	0.18	0.20	0.18	0.10	0.90	0.11	1.00%	66	4	0.009	2.7	22%	0.07	5.7	0.1	Surface Area
							5.1	6.1	6.1	6.1						0.11	6.31%	21	4	0.009	2.7					
							6.3	6.4	6.4	6.4						0.86	0.85%	28	6	0.009	8.1	100%	0.50	0.5	0.8	
							6.3	6.4	6.4	6.4						0.83										
G9	910.4	0.02	0.02	D	Apartments	0.325	5.0	5.0	6.2	6.2	0.18	0.20	0.18	0.10	0.90	0.11	1.80%	26	4	0.009	2.7	11%	0.04	11.0	0.0	Surface Area & Planter
							5.0	6.2	6.2	6.2						0.11	43.38%	2	4	0.009	2.7					
							6.4	5.4	5.4	5.4						0.94	0.85%	35	8	0.009	17.5	56%	0.37	4.8	0.1	
			0.20				6.4	5.4	5.4	5.4						0.92										

Q 100 Rational Method Hydrology Calculations for Proposed Development
 Project: GATEWAY VILLAGE AT LAGUNA NIGUEL

Area	Area (sq ft)	Runoff Coef	Time of Conc (min)	Flow Type	Flow Path	Flow Rate (cfs)	Peak Time (min)	Peak Flow (cfs)	0.02	0.20	0.02	0.90	0.10	Peak Flow (cfs)	Peak Time (min)	Notes								
G43	983.2	0.02	0.02	D	Apartments	0.325	5.2	6.1	0.02	0.20	0.02	0.90	0.10	0.12	1.00%	100								Roof Drain
							5.2	8.1						0.12	27.88%	14	4	0.009	2.7	13%	0.04	8.5	0.0	
			0.10				5.2	6.0						0.52	1.25%	29	6	0.009	8.1	55%	0.28	4.8	0.1	
							5.2	6.0						0.52										
G44	1885.3	0.04	0.04	D	Apartments	0.325	5.5	5.9	0.02	0.20	0.02	0.90	0.10	0.23	1.00%	116								Plantur
							5.5	5.9						0.23	1.00%	8	4	0.009	2.7	77%	0.26	3.5	0.0	
			0.15				5.6	5.8						0.74	1.25%	22	6	0.009	8.1	76%	0.38	5.2	0.1	
							6.6	5.8						0.76										Lateral directly to T4
G45	3651.3	0.08	0.08	D	Apartments	0.325	6.4	5.4	0.02	0.20	0.02	0.90	0.10	0.40	1.00%	171								Surface Area
							6.4	5.4						0.40	0.85%	9	12	0.009	51.5	14%	0.14	3.4	0.0	
			0.08				6.4	5.4						0.40										Lateral directly to T4
G46	297.8	0.01	0.01	D	Apartments	0.325	5.0	6.2	0.02	0.20	0.02	0.90	0.10	0.04	1.00%	44								Surface Area
							5.0	6.2						0.04	5.00%	6	4	0.009	2.7	11%	0.04	3.7	0.0	
			0.01				5.0	6.2						0.04										Lateral directly to T4
Y-D	1.340		1.36											6.93										Tank T-D total intake
Offsite Run-On Contribution																								
H	15598.9	0.36	0.36	D	Apartments	0.325	11.3	3.9	0.02	0.20	0.02	0.90	0.10	1.24	0.46%	487								Surface Area
							11.7	3.8						7.26	0.49%	143	18	0.009	151.7	64%	0.88	6.4	0.4	
			2.74				11.7	3.8						9.24										
I	46203.9	1.06	1.06	D	Apartments	0.325	16.0	3.2	0.02	0.20	0.02	0.90	0.10	3.01	0.14%	639								Surface Area
							16.1	3.2						3.01	0.80%	16	36	0.009	863.5	7%	0.21	5.1	0.1	
							16.2	3.2						12.25	0.80%	42	36	0.009	863.5	19%	0.57	8.4	0.1	
			3.77				16.2	3.2						10.67										
J	31255.0	0.72	0.72	D	Apartments	0.325	11.8	3.8	0.02	0.20	0.02	0.90	0.10	2.43	0.46%	541								Surface Area
							11.9	3.8						2.43	1.00%	28	24	0.009	326.8	12%	0.24	5.7	0.1	
			0.72				11.9	3.8						2.42										
							11.9	3.8						15.72	1.00%	12	24	0.009	326.8	48%	0.86	10.3	0.0	
			3.54				11.9	3.8						11.90										
K	61724.7	1.42	1.42	D	Apartments	0.325	10.3	4.1	0.02	0.20	0.02	0.90	0.10	5.20	0.25%	280								Surface Area
							10.3	4.1						5.20										
							10.5	4.0						17.10	1.00%	156	36	0.009	863.5	23%	0.69	10.1	0.3	
							10.6	4.0						17.10	1.00%	78	24	0.009	326.8	51%	1.02	10.5	0.1	
			4.85				10.6	4.0						17.80										
TOTAL			6.73				16.2	3.2						24.66										

Appendix G
Orange County Hydrology Manual Soil Map

Appendix H
As-built of Hydraulic Data

Appendix I
Existing Channel Section A

Channel Report

Existing Channel Section A (115' from Headwall)

User-defined

Invert Elev (ft) = 258.33
 Slope (%) = 0.30
 N-Value = Composite

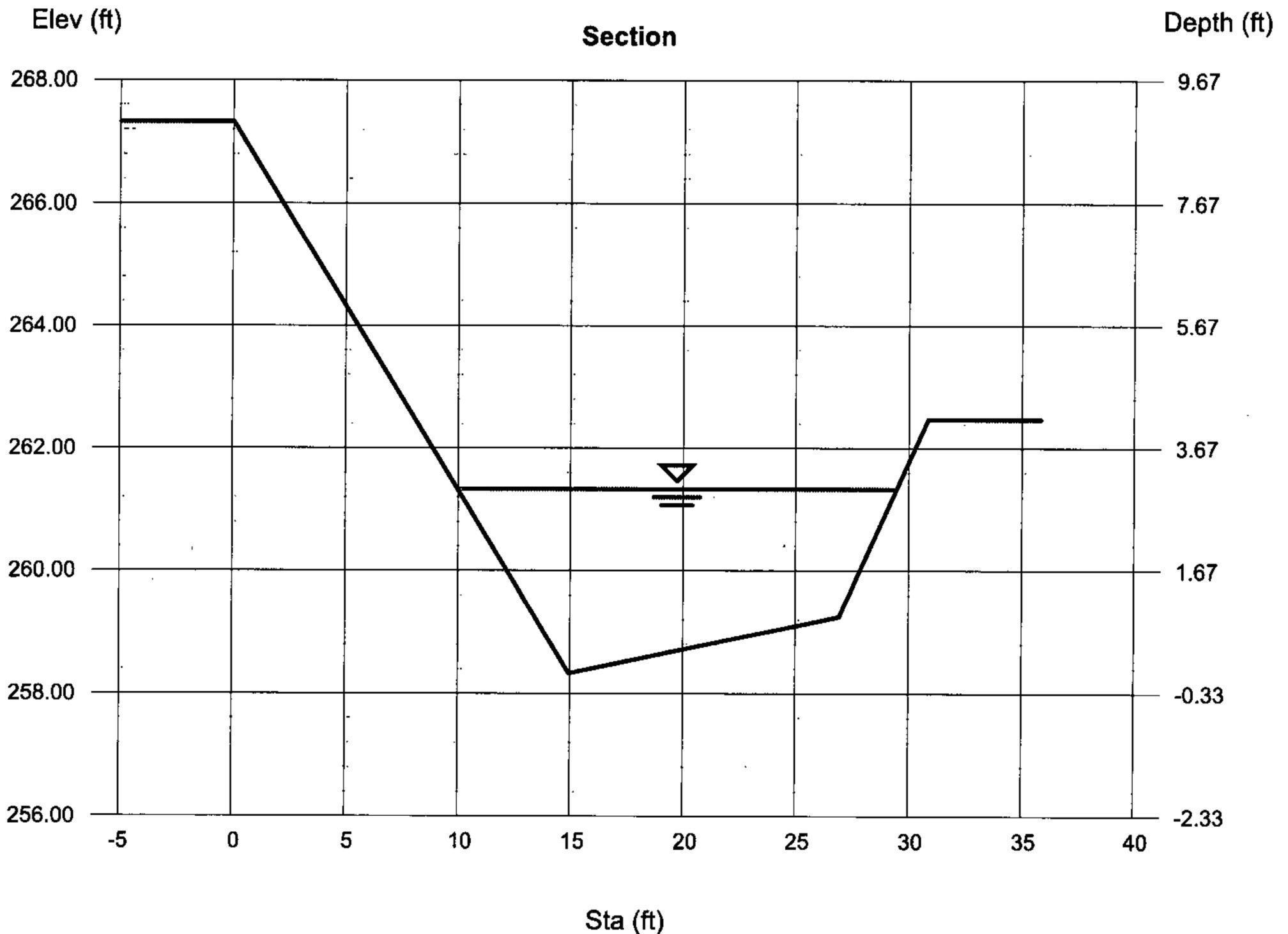
Calculations

Compute by: Q vs Depth
 No. Increments = 30

Highlighted

Depth (ft) = 3.00
 Q (cfs) = 426.31
 Area (sqft) = 40.57
 Velocity (ft/s) = 10.51
 Wetted Perim (ft) = 21.12
 Crit Depth, Yc (ft) = 3.05
 Top Width (ft) = 19.50
 EGL (ft) = 4.72

(Sta, El, n) (Sta, El, n) ... (26.93, 259.25, 0.012) - (30.84, 262.47, 0.012)



Appendix J
Existing Channel Section B

Channel Report

Existing Channel Section B (230' from Headwall)

User-defined

Invert Elev (ft) = 258.65
 Slope (%) = 0.50
 N-Value = Composite

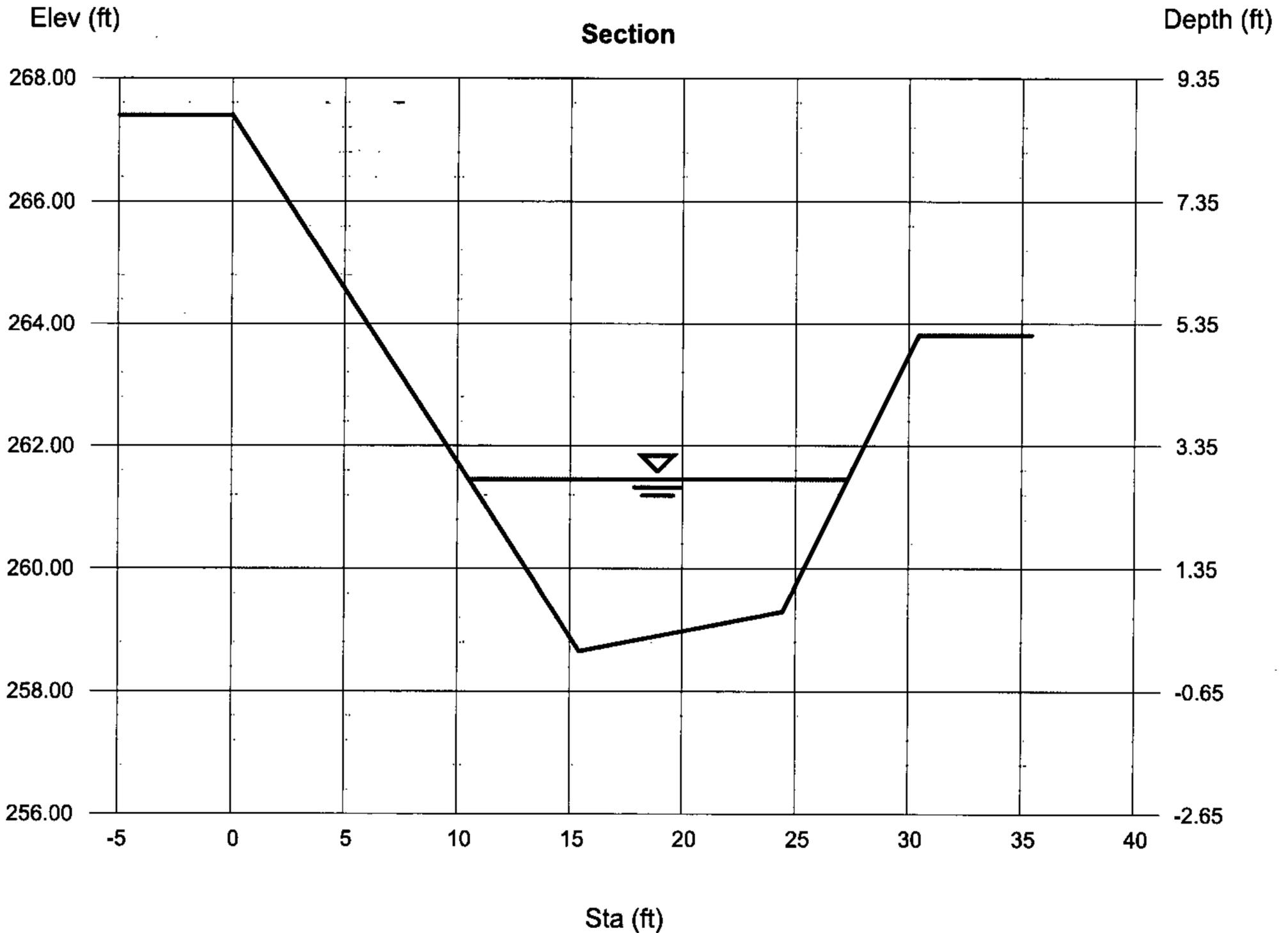
Calculations

Compute by: Q vs Depth
 No. Increments = 50

Highlighted

Depth (ft) = 2.80
 Q (cfs) = 414.20
 Area (sqft) = 32.30
 Velocity (ft/s) = 12.82
 Wetted Perim (ft) = 18.29
 Crit Depth, Yc (ft) = 3.37
 Top Width (ft) = 16.81
 EGL (ft) = 5.36

(Sta, El, n) (Sta, El, n)...



Appendix K
Existing Channel Section C

Channel Report

Existing Channel Section C (345' from Headwall)

User-defined

Invert Elev (ft) = 258.96
 Slope (%) = 3.80
 N-Value = Composite

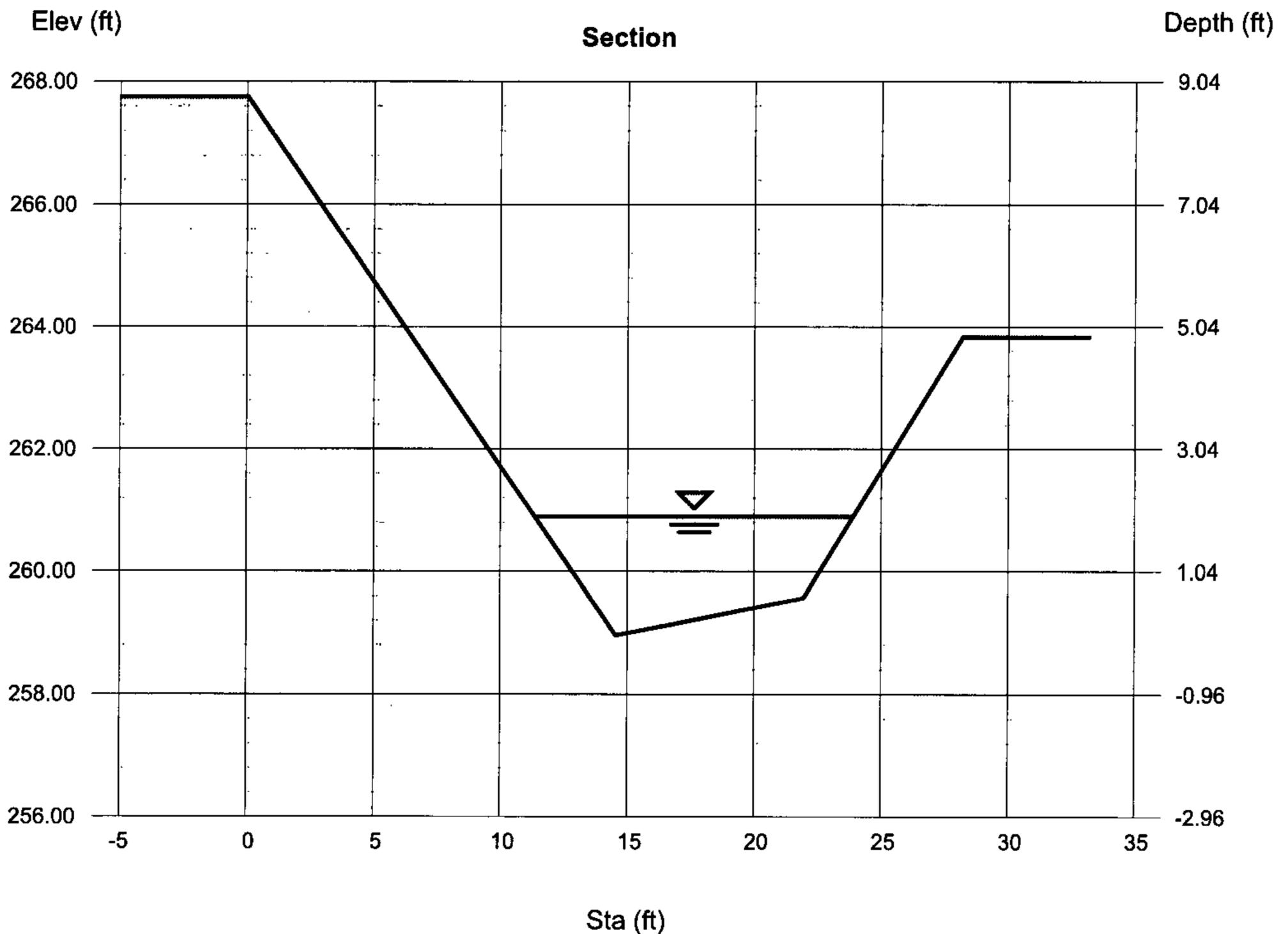
Calculations

Compute by: Q vs Depth
 No. Increments = 50

Highlighted

Depth (ft) = 1.93
 Q (cfs) = 452.90
 Area (sqft) = 16.43
 Velocity (ft/s) = 27.56
 Wetted Perim (ft) = 13.51
 Crit Depth, Yc (ft) = 3.65
 Top Width (ft) = 12.54
 EGL (ft) = 13.75

(Sta, EI, n)-(Sta, EI, n)...(21.94, 259.57, 0.012)-(28.19, 263.83, 0.012)



Appendix L
Proposed Channel Section A

Channel Report

Proposed Channel Section A (115' from Headwall)

User-defined

Invert Elev (ft) = 258.33
 Slope (%) = 0.30
 N-Value = Composite

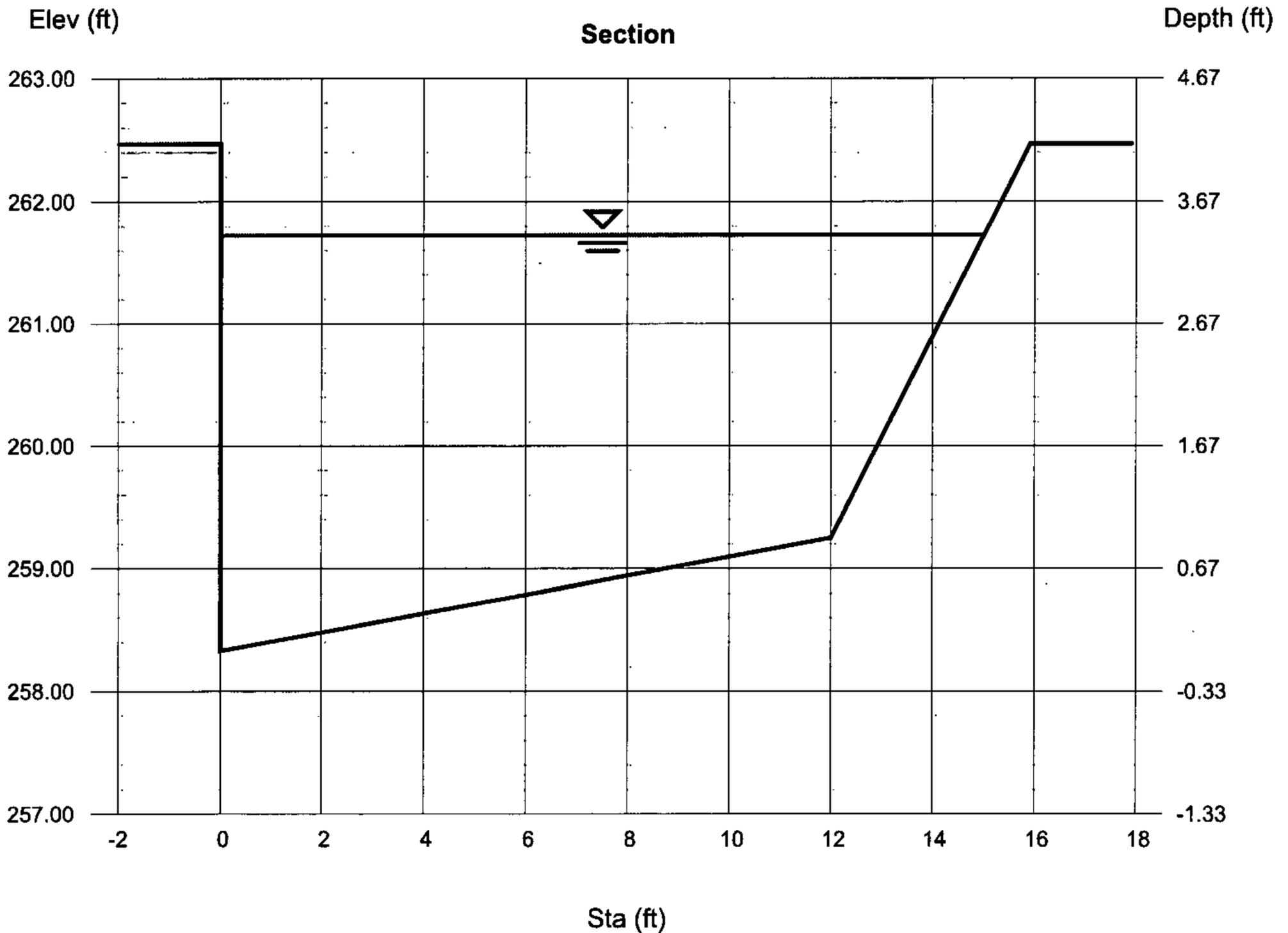
Calculations

Compute by: Q vs Depth
 No. Increments = 50

Highlighted

Depth (ft) = 3.39
 Q (cfs) = 422.34
 Area (sqft) = 38.94
 Velocity (ft/s) = 10.85
 Wetted Perim (ft) = 19.32
 Crit Depth, Yc (ft) = 3.64
 Top Width (ft) = 15.01
 EGL (ft) = 5.22

(Sta, El, n) (Sta, El, n)... (15.91, 262.47, 0.012)



Appendix M
Proposed Channel Section B

Channel Report

Proposed Channel Section B (230' from Headwall)

User-defined

Invert Elev (ft) = 258.68
 Slope (%) = 0.50
 N-Value = Composite

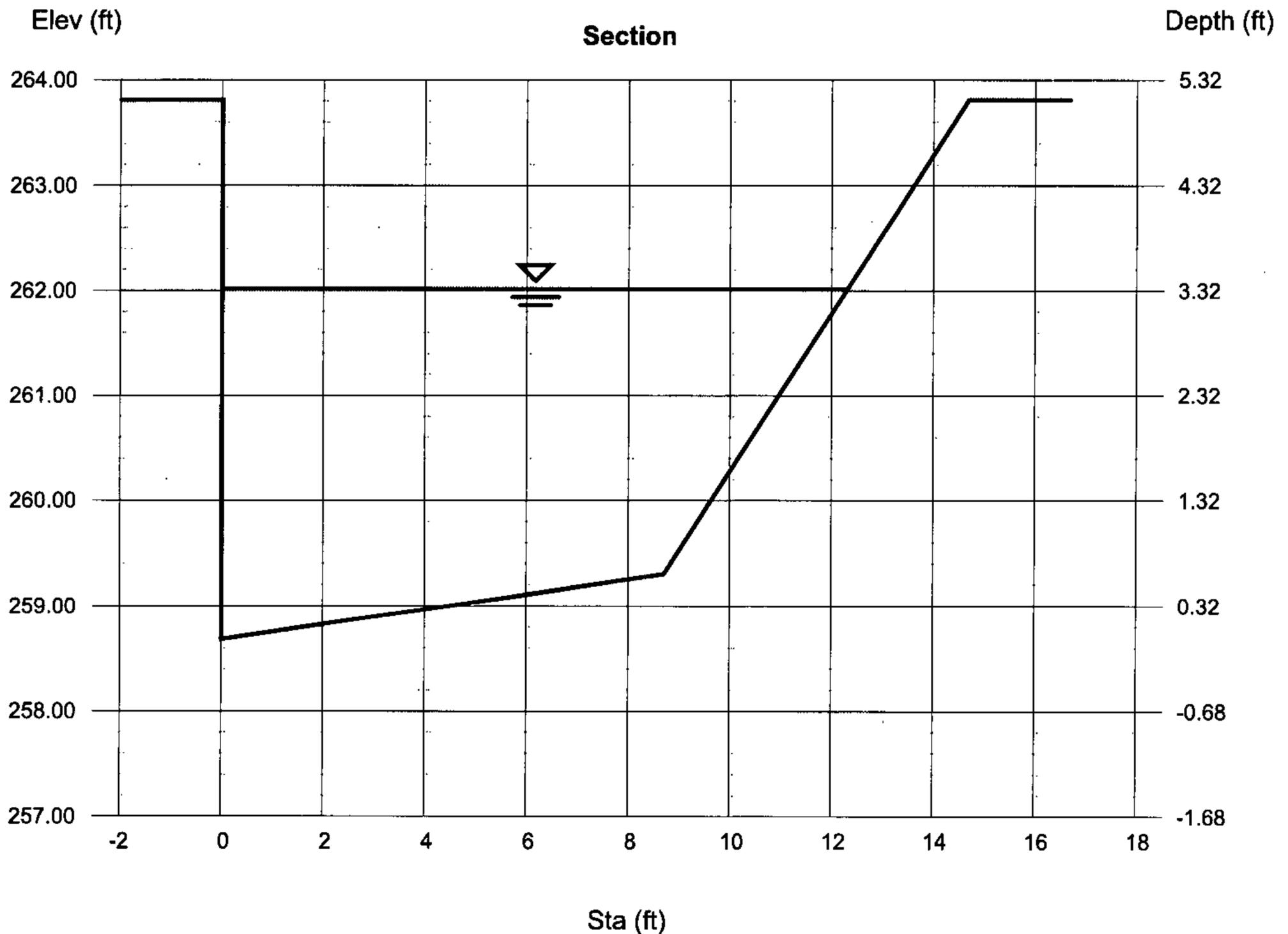
Calculations

Compute by: Q vs Depth
 No. Increments = 20

Highlighted

Depth (ft) = 3.33
 Q (cfs) = 417.76
 Area (sqft) = 31.21
 Velocity (ft/s) = 13.39
 Wetted Perim (ft) = 16.57
 Crit Depth, Yc (ft) = 3.83
 Top Width (ft) = 12.31
 EGL (ft) = 6.12

(Sta, El, n) (Sta, El, n)...



Appendix N
Proposed Channel Section C

Channel Report

Proposed Channel Section C (345' from Headwall)

User-defined

Invert Elev (ft) = 259.02
 Slope (%) = 3.80
 N-Value = Composite

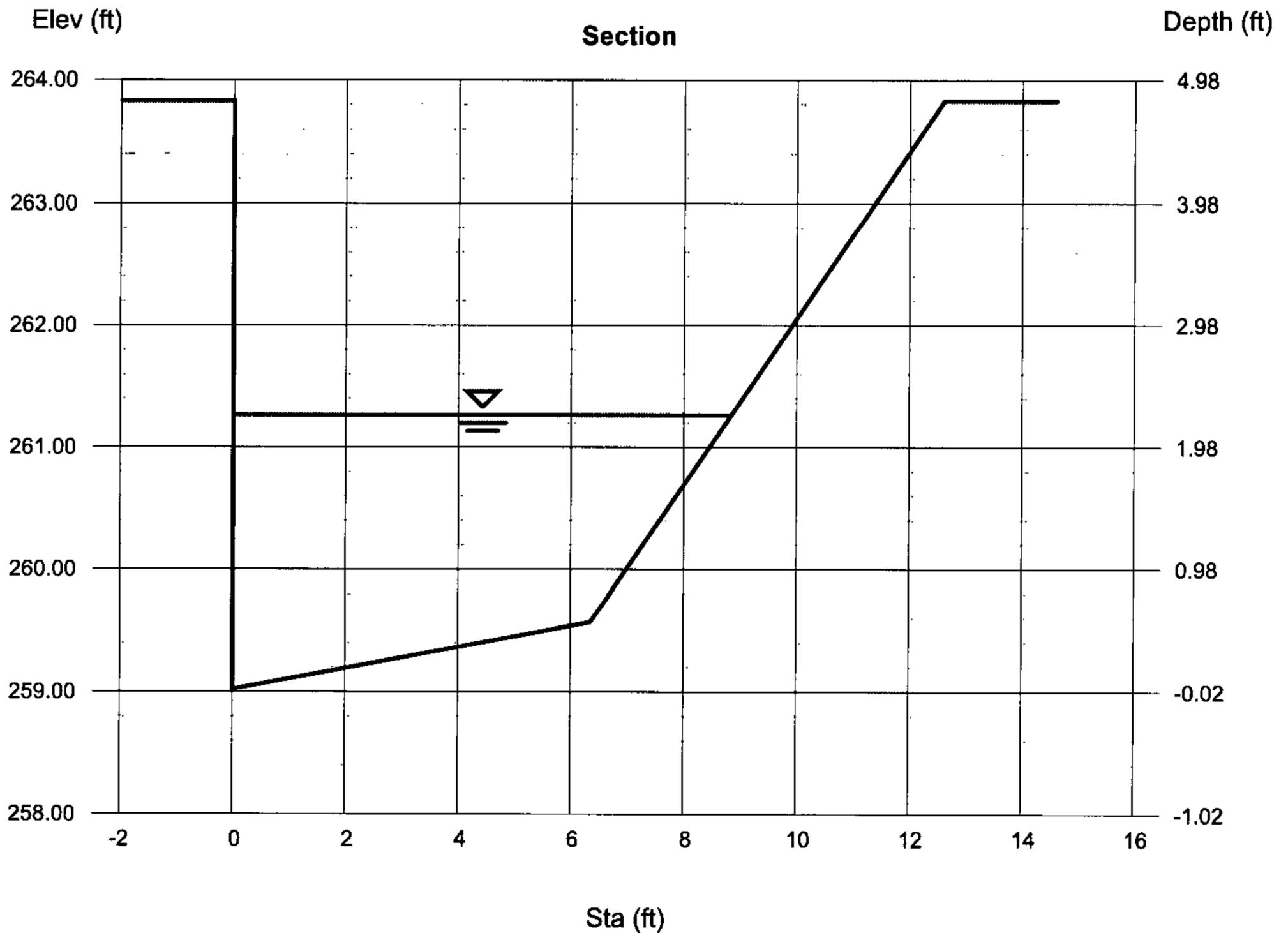
Calculations

Compute by: Q vs Depth
 No. Increments = 30

Highlighted

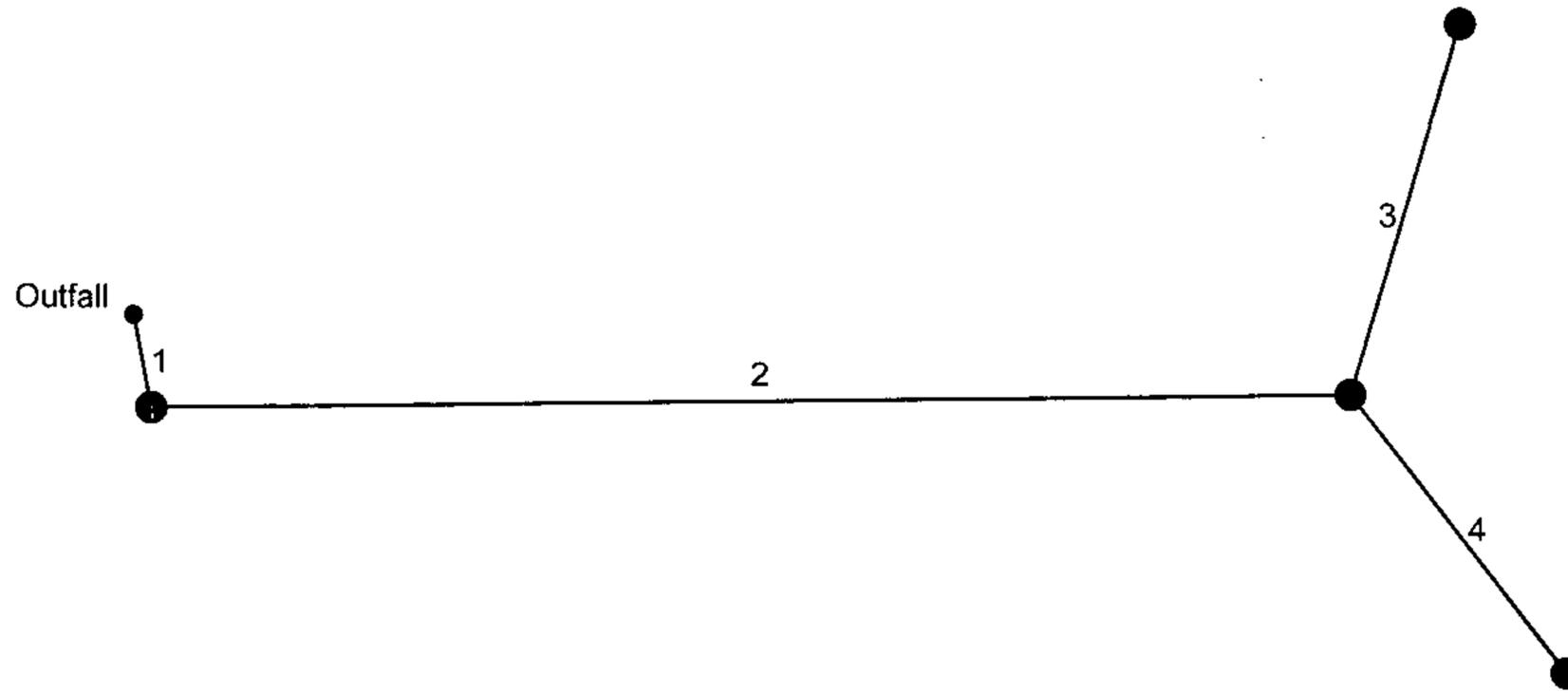
Depth (ft) = 2.24
 Q (cfs) = 411.80
 Area (sqft) = 14.61
 Velocity (ft/s) = 28.18
 Wetted Perim (ft) = 11.63
 Crit Depth, Yc (ft) = 4.33
 Top Width (ft) = 8.84
 EGL (ft) = 14.59

(Sta, El, n) (Sta, El, n) : (12.60, 263.83, 0.012)



Appendix O
HGL Calculations

Cape Drive HGL



Project File: HGL calculations_Cape Drive-25.stm

Number of lines: 4

Date: 5/5/2015

Hydraulic Grade Line Computations

Line	Size (in)	Q (cfs)	Downstream								Len (ft)	Upstream								Check		JL coeff (K)	Minor loss (ft)
			Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)		Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)	Ave Sf (%)	Enrgy loss (ft)		
1	24	10.84	259.00	261.63	2.00	3.14	3.45	0.19	261.82	0.110	12.966	259.99	261.57	1.58	2.67	4.07	0.26	261.83	0.118	0.114	0.015	0.99	0.25
2	18	10.84	259.99	261.83	1.50	1.77	6.14	0.59	262.41	0.511	164.940	260.49	262.67	1.50	1.77	6.13	0.59	263.25	0.511	0.511	0.843	0.96	0.56
3	15	5.37	260.69	263.23	1.25	1.23	4.38	0.30	263.53	0.332	52.895	261.38	263.41	1.25	1.23	4.38	0.30	263.70	0.331	0.332	0.175	1.00	0.30
4	12	5.47	260.69	263.23	1.00	0.79	6.97	0.75	263.99	1.131	48.257	261.19	263.78	1.00	0.79	6.96	0.75	264.53	1.131	1.131	0.546	1.00	0.75

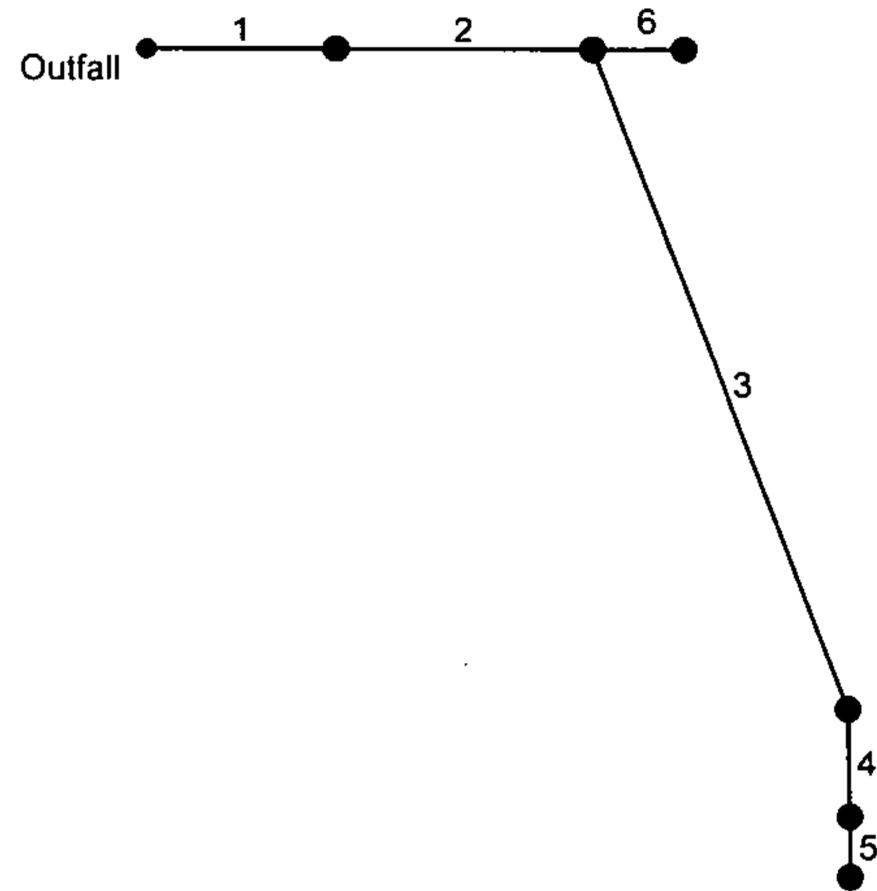
Cape Drive HGL

Number of lines: 4

Run Date: 5/5/2015

; c = cir e = ellip b = box

HGL calculations_Getty Drive



Hydraulic Grade Line Computations

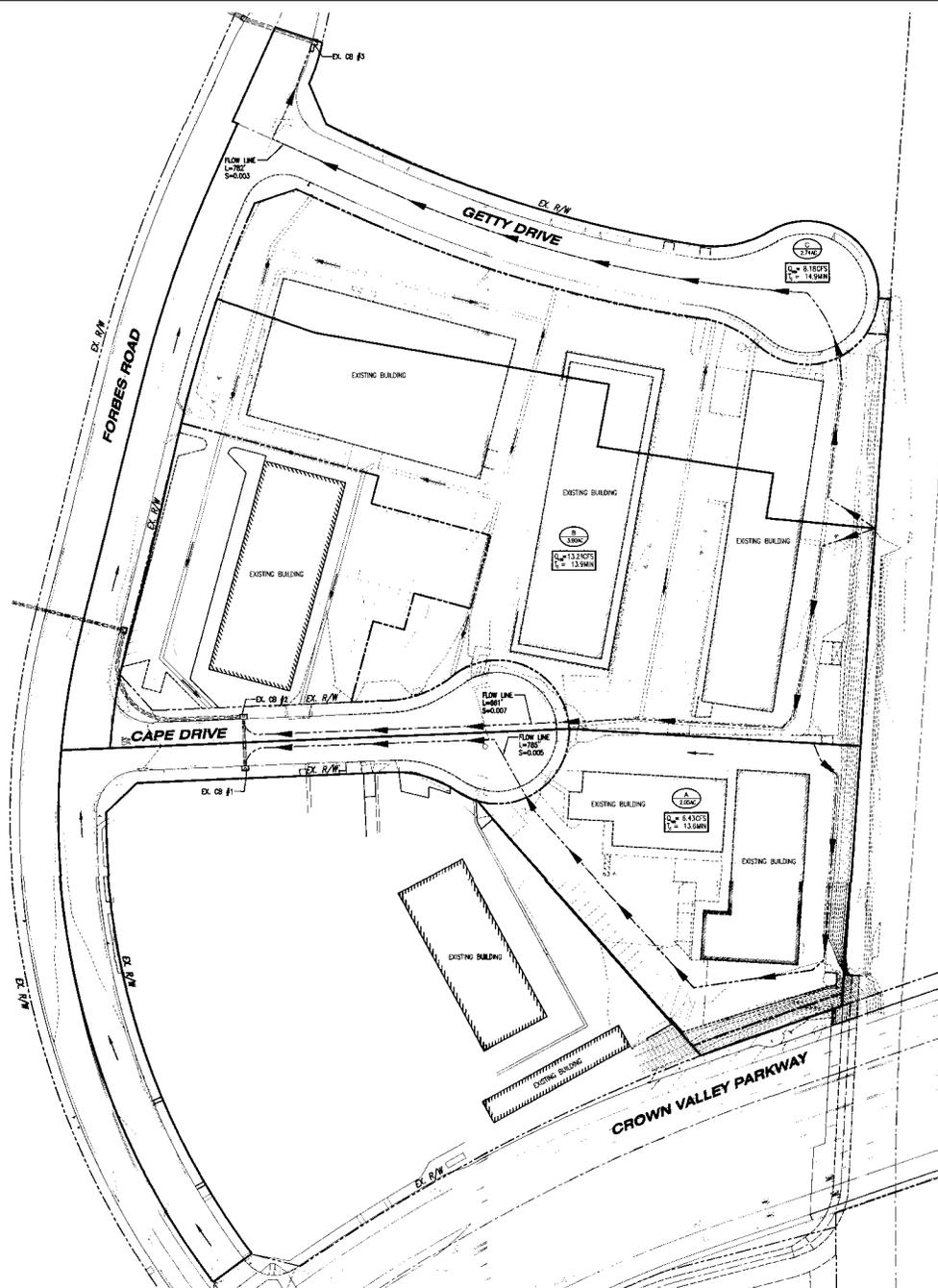
Line	Size (in)	Q (cfs)	Downstream								Len (ft)	Upstream								Check		JL coeff (K)	Minor loss (ft)
			Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)		Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)	Ave Sf (%)	Enrgy loss (ft)		
1	24	20.39	258.60	262.26	2.00	3.14	6.49	0.66	262.92	0.390	32.000	258.78	262.38	2.00	3.14	6.49	0.65	263.04	0.390	0.390	0.125	0.15	0.10
2	36	20.39	258.78	262.48	3.00	7.07	2.89	0.13	262.61	0.045	43.343	259.14	262.50	3.00	7.07	2.88	0.13	262.63	0.045	0.045	0.019	0.95	0.12
3	24	12.02	259.34	262.37	0.00	0.00	2.87	0.00	262.37	0.000	121.559	259.95	262.47	0.00**	0.00	2.86	0.00	262.47	0.000	0.000	0.000	0.39	n/a
4	24	12.02	260.15	262.52	0.00	0.00	2.87	0.00	262.52	0.000	18.555	260.24	262.53	0.00**	0.00	2.86	0.00	262.53	0.000	0.000	0.000	0.15	n/a
5	18	4.79	260.44	262.55	0.00	0.00	4.54	0.00	262.55	0.000	10.453	260.49	262.58	0.00**	0.00	4.54	0.00	262.58	0.000	0.000	0.000	1.00	n/a
6	36	8.37	259.14	262.37	0.00	0.00	0.33	0.00	262.37	0.000	15.529	259.26	262.37	0.00**	0.00	0.33	0.00	262.37	0.000	0.000	0.000	1.00	n/a

HGL calculations_Getty Drive

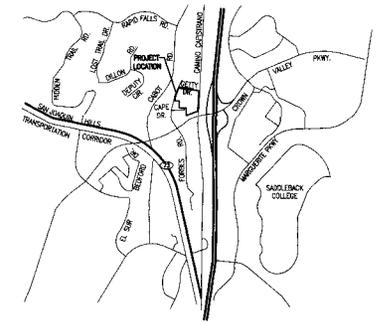
Number of lines: 6

Run Date: 5/5/2015

Notes: ; ** Critical depth. ; c = cir e = ellip b = box



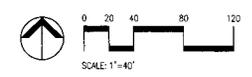
- LEGEND:**
- TOPOGRAPHIC CONTOUR
 - FLOW PATH
 - AREA BOUNDARY
 - FLOW PATH LENGTH
 - SLOPE
 - ORANGE SUB-AREA
 - AREA (ACRES)
 - RAINFALL
 - TIME OF CONCENTRATION
 - PROPERTY BOUNDARY



VICINITY MAP
N.T.S.
T.S. 22247

GATEWAY VILLAGE
ALLIANCE RESIDENTIAL COMPANY

EXISTING CONDITIONS HYDROLOGY MAP
LAGUNA NIGUEL, CALIFORNIA



KHR ASSOCIATES
CONSULTING ENGINEERS/SURVEYORS/PLANNERS
410 Newport Place Drive - Suite 200
Newport Beach, California 92660
Tel (949) 756-6440
Fax (949) 756-6444

E:\Projects\Gateway Village\Drawings\Hydrology\3/20/06\3/20/06_Hydrology\3/20/06_Hydrology.dwg, February 26, 2015, 11:46am, MA



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: **B15-2230**

TRACT: 6081

PROJECT ADDRESS: **27742 FORBES RD**

Lot/PARCEL: 1

27742 FORBES RD

ELEC: SDGE

BUSINESS NAME: BROADSTONE LAGUNA NIGUEL LLC

PLANNING:
DESCRIPTION OF WORK:

ISSUED: 8/10/2015

Permit for a revision to the retaining wall plan (permitted under B15-1860) Changes are in regards to the type 4 retaining wall. Field verify for code compliance.

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298
APPLICANT: MICHAEL MCCANN
ADDRESS: 4100 NEWPORT PLACE DRIVE SUITE 200 NEWPORT BEACH, CA 92660
BUSINESS: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298
ARCH/ENG: JAMES H. KAWAMURA
ADDRESS: 4100 NEWPORT PLACE DRIVE SUITE 200 NEWPORT BEACH, CA 92660
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS: B
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
TRJUB4245B187

PHONE: (949) 370-8155
PHONE:
PHONE: (949) 756-6440
PHONE: (949) 706-8460
EXPIRES: 5/31/2017
EXPIRES: 9/15/2015

CODE YEAR: 2013 OCCUPANCY TYPE: U Utility Miscellaneous CONSTR. TYPE: U

TOTAL VALUATION: \$10,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHCK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$128.80	\$184.00	\$27.27	\$340.07
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$340.07
			TOTAL FEES PAID	\$340.07

Comments:

Planning Approval: _____
Building Permit Issued By: [Signature]

Date: _____
Date: 8/10/15

Issued Receipt#: R15- 1788

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
**requires separate verification form*
***requires separate authorization form*

Signature: [Signature] Date: 8/10/15

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

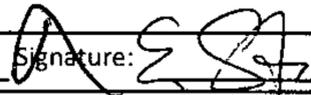
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 8/10/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2015
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Tame Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underround			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underround			410. P/S Approval to Cover-Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Underround		
10. Electrical Conduit Underround			414. P/S Gas Pipe Underround Test		
14. Gas Line Underround & Test			416. P/S Backwash Lines, P Trap, Underround		
16. Verity Setbacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SRA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Twp Shower			908. FINAL - MECHANICAL		
41. Lath Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCEFA SPRINKLER SYSTEMS -		
59. OCEFA Fire Sprinkler - Rough			932. FINAL - OCEFA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1705

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$128.80
B15-2230 Address: 27742 FORBES RD Apn: 63603410 Type: COMMERCIAL Subtype: COTH Description: Retaining Walls for Gateway Village (17 walls)			
			\$128.80
PLAN CHECK			\$128.80
PC NON-RES	3310	0	\$128.80
TOTAL FEES PAID BY RECEIPT:R15-1705			\$128.80

Date Paid: Friday, July 31, 2015

Paid By: JAMES H. KAWAMURA

Payee Address: 4100 NEWPORT PLACE DRIVE SUITE 200 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 4619





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1788

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$211.27
B15-2230 Address: 27742 FORBES RD Apn: 63603410 Type: COMMERCIAL Subtype: COTH Description: Revision to Retaining Walls delta 1 type 4 ret walls			\$211.27
BUILDING			\$211.27
TOTAL FEES PAID BY RECEIPT:R15-1788			\$211.27

Date Paid: Monday, August 10, 2015

Paid By: ALLIANCE RESIDENTIAL BUILDERS

Payee Address: ,

Cashier: CT

Pay Method: CREDIT CARD 8211





Planning Division - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-2230
Project Address: 27742 FORBES RD
Project Description: Permit for a revision to the retaining wall plan
 (permitted under B15-1860) Changes are in regards to
 the type 4 retaining wall. Field verify for code
 compliance.

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	7/31/15	8/7/15		8/7/15	JO
2nd Check:					
3rd Check:					
4th Check:					

- ADD NOTE ON PLAN PER ORIGINAL APPROVAL.
 "WALL HEIGHT FROM GRADE NOT TO EXCEED 12'."

Plan Check Reviewed By: JO

- School Fees Payment or Exemption Letter Received, Date: _____
- HOA Approval Received **N/A**
- Discretionary Application #(s), if applicable _____
- Meets setbacks for Zone _____



GARY - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-2230
Project Address: 27742 FORBES RD
Valuation: 10000
Project Description: *Permit for a revision to the retaining wall plan (permitted under B15-1860)
 Changes are in regards to the type 4 retaining wall. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	7/31/15			GH 8-3-15	
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Final Approval By: GH **Date:** 8-3-15

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

1860

LETTER OF TRANSMITTAL

Date: July 30, 2015
To: City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

From: Mike Thomas
KHR Project No.: _____
Reference: ABLN - Gateway Village

KHR Associates
4100 Newport Place Drive
Suite 200
Newport Beach, CA 92660
(949) 756-6440 Fax (949) 756-6444

ATTENTION: GARY HAWKINS
TEL Number: BUILDING & SAFETY

TRANSMITTED HEREWITH: SEE BELOW

TYPE OF MATERIAL:

REPORT PLANS SPECIFICATIONS ESTIMATES ORIGINALS
 PROPOSAL ALTA MEMORANDUM LETTER COMPUTER DISK
 OTHER (SPECIFY) See below

DESCRIPTION:

For the retaining wall (Ref # B15-1860) at Alliance "Gateway Village" project, Laguna Niguel, CA:

* Two (2) sets of Retaining Wall Plans (Delta 1 Changes to Type 4 Ret. Wall)

* Two (2) copies of Retaining Wall Calculations

VIA:

MAIL DELIVERED EXPRESS MAIL MODEM TELECOPY (FAX)*
*Number of Pages (Including This Page) _____

FOR:

YOUR USE REVIEW INFORMATION APPROVAL DISTRIBUTION
 SIGNATURE FILES FOLLOW-UP RETURN AS REQUESTED
 OTHER (SPECIFY) _____

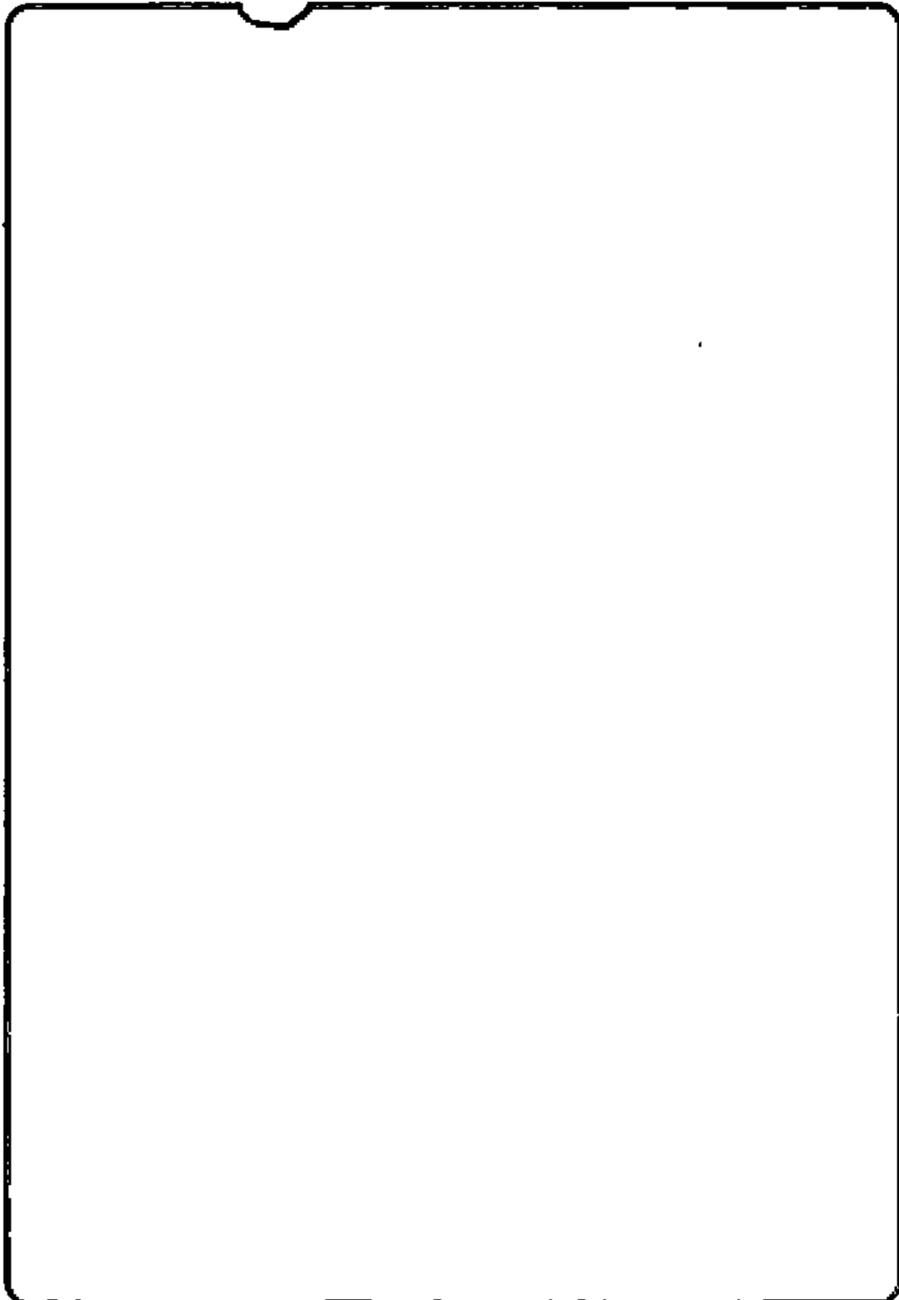
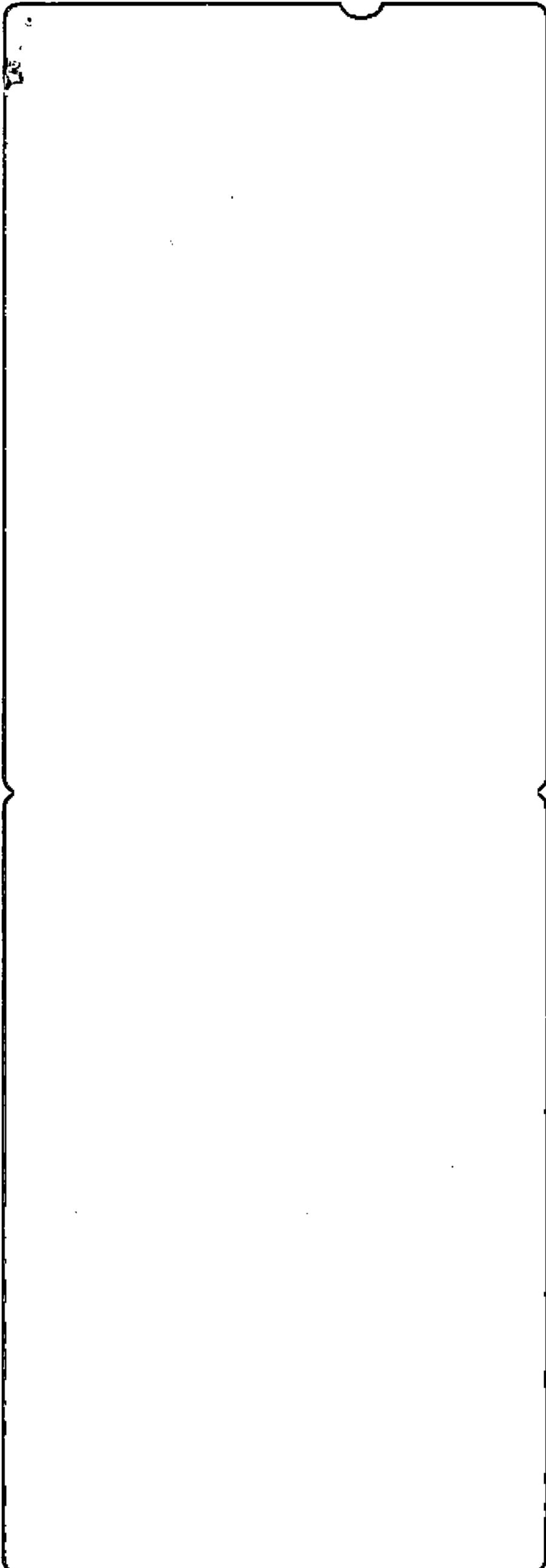
REPLY:

A.S.A.P. NONE REQUIRED WHEN CONTACTED RETURN WHEN DONE
 IN PERSON BY TELEPHONE IN WRITING AS INDICATED BELOW

COMMENTS:

Please contact me if you have any questions. Thank you.

BY: Mike Thomas



A/O

27742 FORBES RD
Rev to B15-1860 delta 1 to type 4 wall

B15-2230



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- Adjust printer settings for "Paper Type" to "Labels" to optimize print quality.
- Check the alignment of your printed layout by first printing on a plain sheet of paper. Hold the printed sheet behind the Avery product to check the alignment of your layout. When satisfied with the layout, print onto the Avery product.
Note: Avery labels with TrueBlock™ Technology are opaque. If you have purchased these labels, compare your plain sheet of paper side by side with the Avery labels with TrueBlock™ Technology.
- When printing label products, do not feed labels through your printer more than once. The Avery satisfaction guarantee extends only to a sheet of labels that has been fed through a printer a single time.
- Use only Avery brand products for guaranteed results.

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- Utiliza solamente productos Avery para resultados garantizados.

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Chile	800.83.5105
Resto de Sud América	asistencia@averydennison.com



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B15-2244

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC:

BUSINESS NAME:

ISSUED: 2/2/2016

DESCRIPTION OF WORK:

Permit for **FOUNDATION ONLY** for on grade parking structure. Geogrid permits related are: **B15-2610, B15-2616, B15-2617, B15-2618, and B15-2619.**

The foundation only for the podium is **B15-2448 Parking garage p/c B15-1549.**

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298	
APPLICANT:	Architects Orange 144 N Orange Orange, CA 92866	PHONE: (714) 639-9860
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2016
ARCH/ENG:	Architects Orange 144 N Orange Orange, CA 92866	PHONE: (714) 639-9860
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$15,000.00

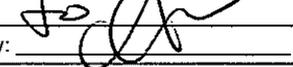
USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$197.05	\$281.50	\$27.27	\$505.82
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$500.00
			TOTAL PERMIT FEES:	\$1,006.82
			TOTAL FEES PAID	\$1,006.82

Comments:

Planning Approval: 
Building Permit Issued By: 

Date: 2/2/16
Date: 2/2/16

Issued Receipt#: R16-0349

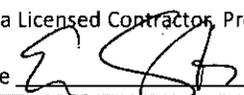
CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

Signature: 

Date: 2/2/2016

*requires separate verification form

**requires separate authorization form



CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temo Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Undereround			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undergrmd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verivy Setbacks			418. P/S Final Backwash Receptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plasterine		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailine			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathine Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-REDOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
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54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - DCFA SPRINKLER SYSTEMS - Name _____	Id# _____	
59. DCFA Fire Sprinkler - Rough			932. FINAL - OCFA PROJECT FINAL - Name _____	Id# _____	
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		

11-28-16 JAW
11-28-16 JAW

11-28-16 JAW

11-28-16 JAW

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC
 Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
 License Class and No. 897318
 Expiration Date: 5/31/2017
 Signature:  Date: 2/2/2016

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reasons(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or any employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.);

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.);

I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____ Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-0349

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,006.82
B15-2244 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: FOUNDATION ONLY:for Ongrade parking structure			
			\$1,006.82
BUILDING			\$808.77
CBSC FEE			\$1.00
PLAN CHECK			\$197.05
TOTAL FEES PAID BY RECEIPT:R16-0349			\$1,006.82

Date Paid: Tuesday, February 02, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298

Cashier: AK

Pay Method: CREDIT CARD 0206





City of Laguna Niguel
 Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES ROAD Suite/Unit: _____
 Applicant/Agent: ARCHITECTS ORANGE Tract Lot: _____
 Address: 144 N. ORANGE ST Phone No.: (714) 639-9860
 City: ORANGE State: CA Zip: 92860 Email: _____

Property Owner: ALLIANCE RESIDENTIAL Phone No.: (858) 876-9380
 Address: 915 CAMILLO ST #100
 City: DEL MAR State: CA Zip: 92014 Email: _____

Contractor: _____ Phone No.: () - _____
 Address: _____
 City: _____ State: _____ Zip: _____ Email: _____
 State License No.: 897318 Class: _____ Expiration: _____
 Workman's Comp. Policy No.: _____ Expiration: _____
 Insurance Company (if applicable): _____

Architect: R. GALEY Reg No.: C22598 Phone No.: (714) 639-9860
 Address: 144 N. ORANGE ST
 City: ORANGE State: CA Zip: 92860 Email: _____

Engineer: DEX BOLDY Reg. No.: 3921 Phone No.: (949) 595-8182
 Address: 23275 SOUTH FAIRWAY DR
 City: LAGUNA HILLS State: CA Zip: 92653 Email: _____

Description of Work to be Performed (please be specific):
FOUNDATION ONLY Garage Structure

Valuation: \$ _____ Type of Const: 11A Occupancy Type: 02 Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] Payment: Cash or Check # _____ or Visa/MC

Activity Number:	<u>PS-2244</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/4/05</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning <u>JO</u>	<input checked="" type="checkbox"/> CAA <u>N Chung</u>	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

No Plc Taken
 3505

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/15/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2444	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Pre-Check	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Eli Industrial		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes, Quantity spacing and clearances for all the Slipped walls

in the Park Structure between the following Grid lines :-

Grid- line "L" and "6" to "14"

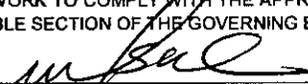
Grid-line "14" from "L" to "E" and step Footing Grid-line "L" and "14"

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Walls Ready to Pour Concrete

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
07:00	3:00	
Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/11/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source) Concrete 5000 PSI CEMEX	Engineer SENECA		
Inspector's Name WAHBA ISAAC	Contractor ALLIANCE		
	Subcontractor Etivista		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS-ON SAMPLE
1	5 1/2"	4	Mix# 1418373, Con.Temp. 75, Air Temp.85 ticket# 26347105 Load # 2

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approx. 50 yards of CEMEX Concrete 5000 PSI with Mix# 1418373, @the Ground Floor for in the Park Structure at 14" Cast-In-Place Concrete Shear Wall at the Ground floor between Grid-lines "J" to "C" and "13" to "14"

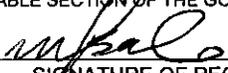
Performed 3 Samples of fresh concrete to verify the conformance with the project plans and specifications All Concrete Mech. Vibrated ,

Notes:- the Load #1 Ticket # 263486984 has been Rejected ,Concrete was too wetted slump 8"

-----Load # 3 Ticket # 26347228 The truck broke down

CERTIFICATION OF COMPLIANCE

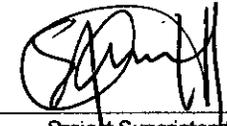
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R. Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
11:40	5:00 PM	4 cylinders 4x8
 Approved By _____		02/12/16
Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 2-4-2016
-------------------------------	-------------------------

ACI TECHNICIAN DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input checked="" type="checkbox"/> Other ACI-tech
Job Address	27742 Forbes rd Laguna Niguel	Tract No.	N/A
Job Name	Cricketway Village	Permit No.	B1527441
Type of Structure	Parking garage	Architect	Humphrey + Partners
Material Description (type, grade, source)	Mix # 1118515	Engineer	Alco
	4500 psi comex	Contractor	Alliance Builders
Inspector's Name	Christopher Stadt	Subcontractor	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	37691	71333666	Footings P6	5	50°	59°	Ø	7:20am	1118515	P6 parking garage
2	37677	71334901	Footings P6	5	63	59	Ø	8:11am	1118515	
3	37042	71374907	Footings P6	5	66	17	✓	11:45am	1118515	
4			Footings P6	5	66	69	✓		1118515	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Arrived on job site for repair 500-yd³ pour of concrete per design # 1118515 Slumps were consistently 5 all day. Footings were poured for parking garage. Took 4 sets of samples: 4 cylinders each sample; total of 16 samples. Job was completed.

grid lines for footings were

-line 175-111

line B.S.-H.S

line 115-111

line L-H.S

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Christopher Stadt
SIGNATURE OF REGISTERED INSPECTOR

Technician 01327739 ACT
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
6:30 am		16
Approved By <i>[Signature]</i> 02/04/16 Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/15/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD, LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15-244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Pre-Check	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Eli Industrial		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes, Quantity spacing and clearances for all the Slipped walls in the Park Structure between the following Grid lines :-

Grid- line "L" and "5" to "14"

Grid-line "14" from "L" to "E"

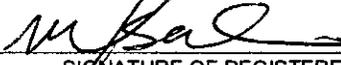
ELEV.PIT footing between Grid-line "L" and "14" as per detail (SG4.1)

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Walls Ready to Pour Concrete

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete, Masonry, Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
07:00	3:00	
 Approved By _____ 02/16/16 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/16/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
------------------------------------	--	--	---

Job Address 27742 FORBES RD, LAGUANA NIGUEL City

Job Name GATEWAY VILLAGE POUR 3 Permit No. B15-244 / B15-277 Issued By L.N

Type of Structure PARK STRUCTURE Architect Humphery's

Material Description (type, grade, source) CONCRETE 5000PSI Cemex Engineer VCA, SENECA

Inspector's Name WAHBA ISAAC Contractor ALLIANCE

Subcontractor Eli Industrial/ Eti Vista

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
shotcrete Panel	1 1/2"	Ticket # 26353657	Concrete Temp. 85F Air Temp. 82
shotcrete Panel	1 1/2"	Ticket # 26354906	Concrete Temp. 87F Air Temp. 88

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approx.60 yards shotcrete 5000PSI

Mix design # 1418246 with Admixtures WRDA 64 at the following Walls

Grid- line "L" and "5" to "14"

Grid-line "14" from "L" to "E"

Shotcrete has been made by Certified ACI Shotcrete Nozzleman Name :Antonio J. Ramirez

License # 01267726 .All Appears as per plans and no Discrepancies Noted

*****Observed Placement of 5/8" diameter Anchor Bolts with 16" Embed. @ the Stair # 6 Ground

Floor using Epoxy Set- Xp Strong tie type Simpson Exp.Date 08/17

All Holes Clean and Dry prior the placement of the Epoxy

Note : Load # 4 ticket # 26354312 has been Rejected because was over 90min

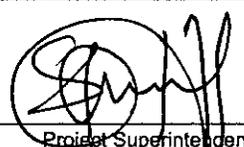
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

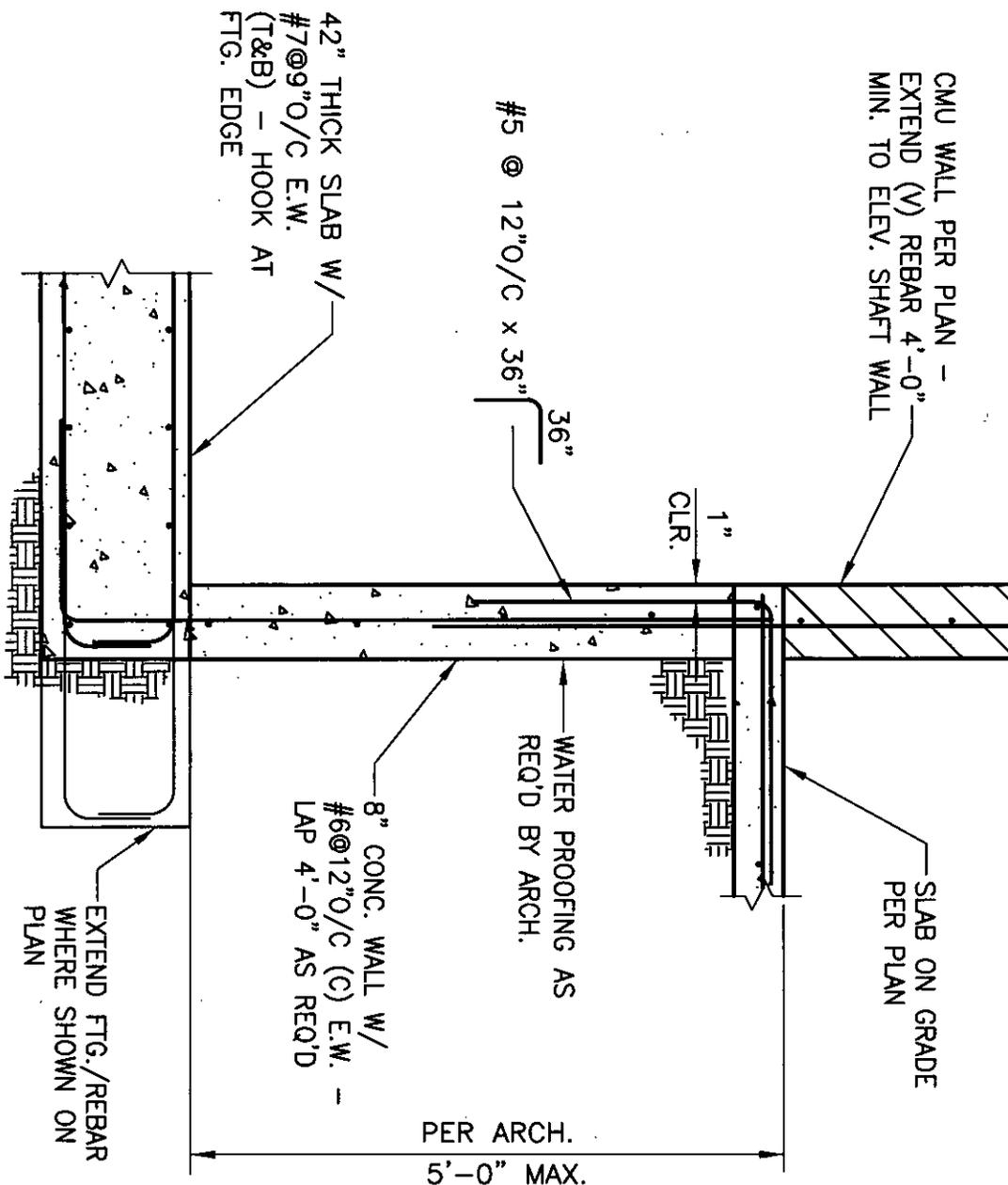
CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
07:00	4:00 PM	2 Panels
 Approved By _____ 02/16/16 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

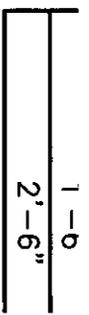
#5 @ 16" O/C EACH WAY - LAP 4'-6" AS REQ'D U.N.O.
 2. GROUT ALL CELLS SOLID UNLESS NOTED OTHERWISE.

TYP. C.M.U. WALL REINFORCING AT INTERSECTIONS DETAIL

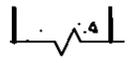


24

TYP. REINFORCED ELEVATED SLAB



INT WALLS

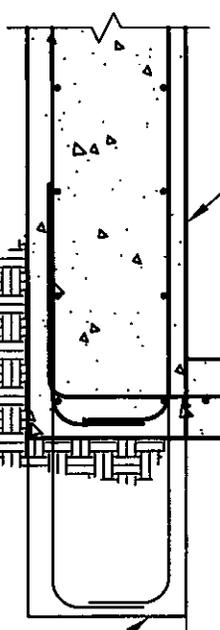


12" (T)
 ALL

ULATION

28

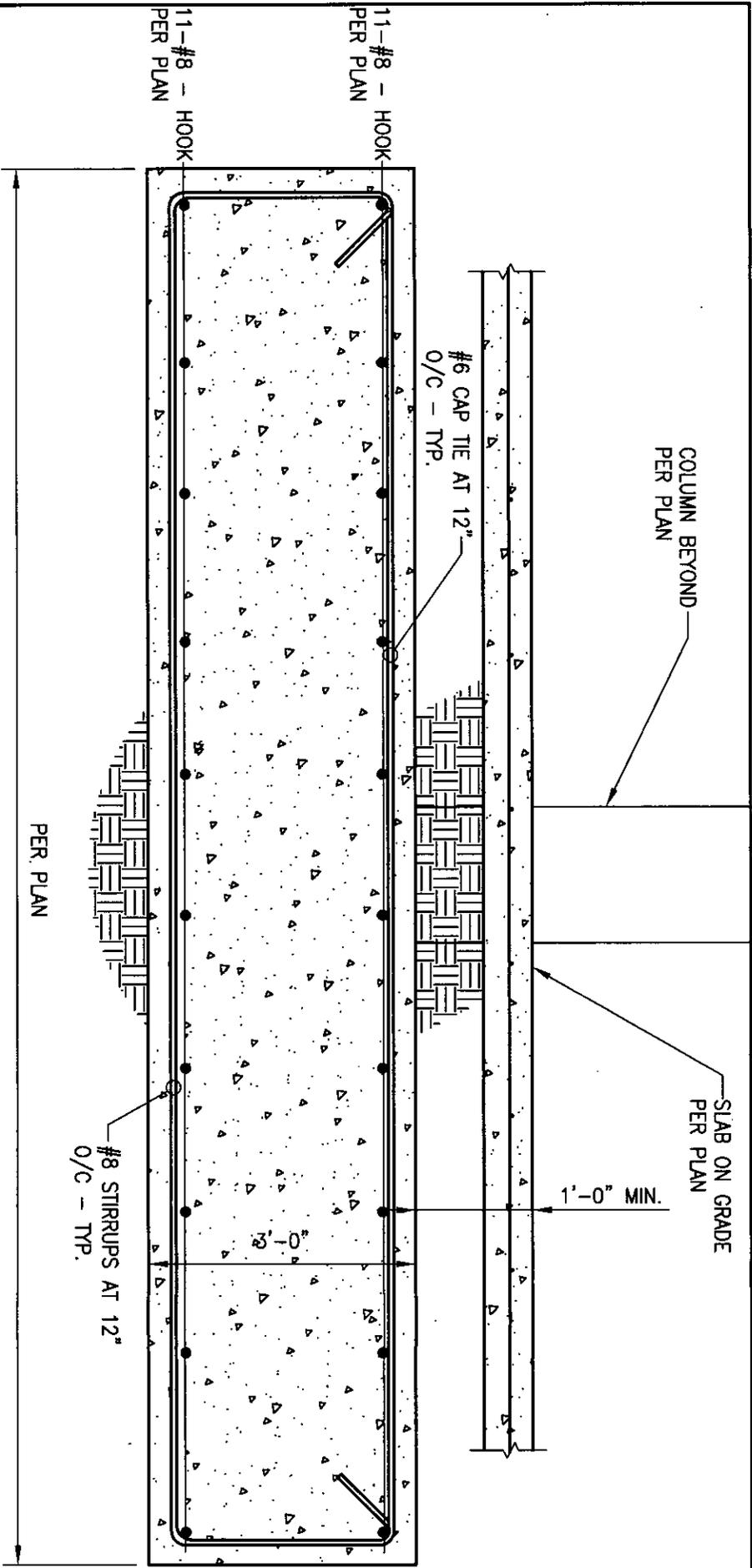
TYPICAL ELEVATOR PIT DETAIL



23

TYP. REINFORCED GRADE BEAM IN CURB WHERE OCCURS PER

NOTE:
 * PER PLAN - LAP 4'-0"



FOOTING SECTION

25

12

SIM.

1
GS1.4

2
GS4.1

2
GS4.2

1
GS5.6

3
GS4.1

C8
F3

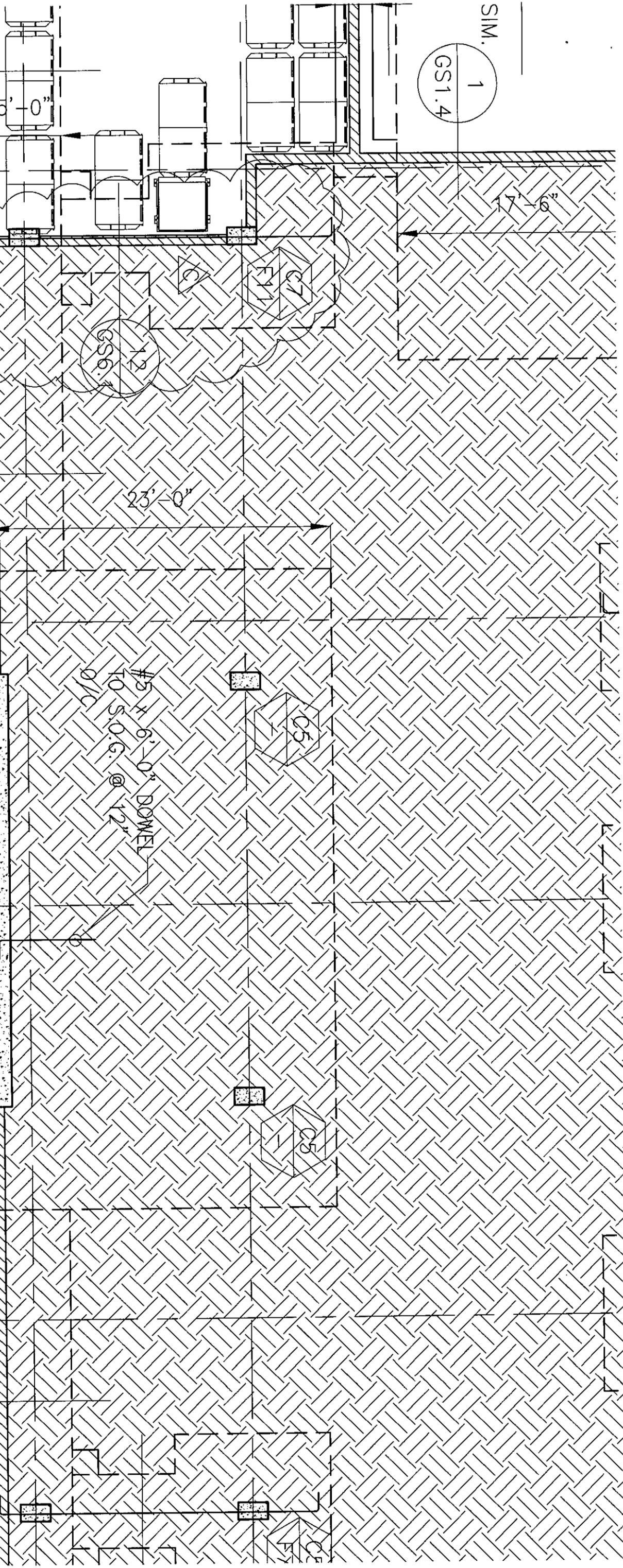
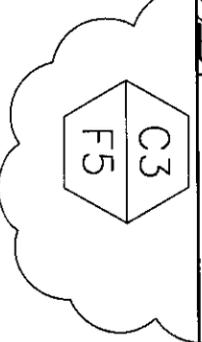
17'-6"

23'-0"

7'-0"

7'-0"

#5 x 6'-0" DOWEL
10 S.O.G. @ 12"
O/C



TENT PER
RCH.



Nancy Chung

City of Laguna Niguel
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
(949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-2244
Project Address: 27742 FORBES RD
Valuation: 20000
Project Description: *Permit for FOUNDATION ONLY for Alliance project. Main Building, Garage structure and retail portion are on separate permit.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	8/4/15	8/11/15		8/6/15	apc
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Nancy Chung

Need a complete updated structural calc. for permit. apc

Final Approval By: _____ **Date:** _____

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES ROAD **Suite/Unit:** _____

Applicant/Agent: ARCHITECTS ORANGE **Tract Lot:** _____

Address: 144 N. ORANGE ST **Phone No.:** (714) 639-9860

City: ORANGE **State:** CA **Zip:** 92840 **Email:** _____

Property Owner: ALLIANCE RESIDENTIAL **Phone No.:** (858) 876-9380

Address: 915 CAMILLO ST #100

City: DEL MAR **State:** CA **Zip:** 92014 **Email:** _____

Contractor: _____ **Phone No.:** () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

State License No.: _____ **Class:** _____ **Expiration:** _____

Workman's Comp. Policy No.: _____ **Expiration:** _____

Insurance Company (if applicable): _____

Architect: R. CALLEY **Reg No.:** C22598 **Phone No.:** (714) 639-9860

Address: 144 N. ORANGE ST **Email:** _____

City: ORANGE **State:** CA **Zip:** 92840

Engineer: DEX BOLDY **Reg. No.:** 3921 **Phone No.:** (949) 595-8182

Address: 23215 SOUTH POINTE DR **Email:** _____

City: LAGUNA HILLS **State:** CA **Zip:** 92653

Description of Work to be Performed (please be specific): _____

FOUNDATION ONLY

Valuation: \$ _____ **Type of Const:** 11A **Occupancy Type:** S2 **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>215-2244</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/4/15</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:			Reviewed By:	Date:	
OK for issuance:			Reviewed By:	Date:	
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

For Plan Check #B14-1549 & B15-2244(Foundation only)
CBC 2013 STRUCTURAL DESIGN REQUIREMENT

1ST REVIEW BY: N. Chung DATE: 7/6/2014 CORRECTIONS
2ND REVIEW BY: N. Chung DATE: 9/26/14 CORRECTIONS
3RD REVIEW BY: N. Chung DATE: 8/6/15 APPROVED***

- A. THE ITEMS BELOW REQUIRE CORRECTION OR CLARIFICATION BEFORE THIS PLAN CHECK CAN BE APPROVED FOR PERMIT ISSUANCE. RETURN ALL CORRECTION MATERIAL WHEN RESUBMITTING.
B. NOTE ON THIS CORRECTION SHEET OR ON A SEPARATE SHEET THE LOCATION OF THE COMPLETED CORRECTION. (I.E. SHEET NO., DETAIL, ETC.)

*** Need to submit a complete updated structural calculation for final permit.

1. ~~Sheet GS1.1, Concrete: Type V cement shall be used for the concrete that contacts with soil due to high sulfate content. Type II cement can be used for the other areas. Clearly indicate on the plan.~~
2. ~~Sheet GS1.1, General: Verify the seismic design data with the soil report.~~
3. ~~Sheet GS1.1, Foundation: Verify the foundation design data with the soil report. Clarify the allowable soil bearing value. See pages 12 & 14 of the soil report.~~
4. ~~Page A-2 of the structural calculation: Verify the basic allowable soil bearing for pad footing. Per page 12 of the soil report, it shall be 2500 psf. 5000 psf is used in the design.~~
5. ~~Call out the roof load for the metal deck at towers.~~
6. ~~Provide structural calculation & framing plan for the towers. See sheets GA0.1.2 & GA5.3.~~
7. ~~Page B-1 to B-77 of the post-tension calculation: (use calcs at gridline 9 as example)
 - a. ~~Clearly indicate the location of each span for the post-tension calculation.~~
 - b. ~~Call out the number of strands on the plan. (on page B-13 is 17.1)~~
 - c. ~~Show controlling rebar on the plan. (on page B-13 is 5 #6)~~~~
8. ~~Sheet GS2.2: Call out the spacing of the post-tension strands in the short direction. Similar for other sheets.~~
9. ~~Page B-4 of the structural calculation: Per structural calculation along gridline 1, 19 post-tension strands are needed. Show these on the plan. Similar for strands at other gridlines. See calculation on pages B-7, B-10, B-13, B-15, B-18, B-22, B-26, B-30, B-35 & B-39.~~
10. ~~Sheet GS2.0 & page F-31: The shear wall along gridline 14 is loaded on the footing eccentrically. Verify the max soil bearing under the footing due to vertical load and moment.~~
11. ~~Sheet GS3.1, pages C-1 to C-6 of the structural calculation: Provide calculation for the rebars in the columns that are on the column schedule.~~
12. ~~Detail 11/GS3.1: Provide structural calculation for the light pole footing (base). Consider the worst case.~~
13. ~~Details 1, 4/GS4.1: Provide structural calculation for the footings.~~
14. ~~Detail 1/GS4.2: Provide structural calculation for the retaining wall. Verify the location of the main vertical rebars (at dirt side or inside face of the wall). See comments on the plan.~~
15. ~~Sheet GS2.0: Call out the width of the footing for the column @ gridline F-6.~~
16. ~~Details 12 & 17/GS6.1: Provide structural calculation for these details. See sheet GS2.0 for the locations of these reference details.~~
17. ~~Provide elevator shaft framing. Reference the details (such as details 18, 19/GS1.4) to the framing plan. See comments on sheet GS2.6A~~

- ~~18. See comments on pages table of contents, A-2, A-6, A-9, A-25, D-1 & F-31 of the structural calculation. Need to submit the revised structural calculation.~~
- ~~19. See additional comments on sheets GS1.1, GS2.0, GS2.2, GS4.1, GS4.2, GS5.1, GS5.2, GS5.3, GS5.6 & GS5.7 & GS2.6A.~~
- ~~20. Return marked up sheets and complete revised set of drawings for recheck.
If you have any questions, you can reach me at nancychung@caaprofessionals.com.~~

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/05/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
------------------------------------	--	--	---

Job Address 27742 FORBES RD ,LAGUANA NIGUEL City	
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2244 Issued By L.N
Type of Structure PARK STRUCTURE	Architect Humphery's
Material Description (type, grade, source)	Engineer SENECA
	Contractor ALLIANCE
Inspector's Name WAHBA ISAAC	Subcontractor Eli Industrial

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes, Quantity spacing and clearances for all the two shear walls in the Park Structure between the following Grid lines :-

Grid- line "K" to "L" and "6" to "12"

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Walls Ready to Pour Concrete

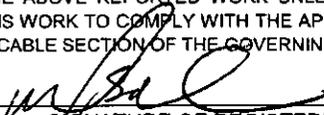
****Pre- Check All reinforcing steel sizes, Quantity spacing and clearances for all the CMU Walls @ the Foundation between ^{W11} "A" to "L" and "1" to "5"

All reinforcing steel conform to ASTM - A615 Grade 60

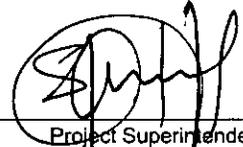
All Appears As per plans and no discrepancies noted, Walls Ready to Pour Grout

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


 SIGNATURE OF REGISTERED INSPECTOR
 R.Concrete, Masonry, Welding 8252142 I.C.C.
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
07:00	03:30	
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

BIS-2244

MEMO NO.		DAILY FIELD REPORT/MEMO			GRADING POST-GRADING	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RES		DAY THUR	DATE 2/4/16	
LOCATION/TRACT 27742 FORBES RD		PROJECT ENG./GEOL LADUNA NIQUEL		YARDAGE TODAY		
CONTRACTOR ETT VISTA CONTR		FOREMAN FABIAN		WEATHER CLEAR		YARDAGE TO DATE
EQUIPMENT ① DRILL RIG W/24" AUGER						
<p>ON SITE AS REQUESTED TO OBSERVE THE REDRILLING OF GEOPIER'S NO 711, 745 + 746. ALL ELEVATION 259⁸ MADE CONTACT WITH GEOPIER NO 745 AT ELEVATION 258⁵ CONTACT WITH NO 711 AND ELEVATION 257¹ MADE CONTACT WITH NO 746. DIAMETER OF THESE BORING 24-26 INCHES. GEOPIER BORING 711, 745 + 746 WERE BACKFILLED WITH 4500 PSI CONCRETE TO THE BOTTOM OF FOOTING THAT ON GRID LINE L INTERSECTING GRID LINE 5.4, 5.6 + 5.8. OBSERVED FOOTING EXCAVATION FOR PROPOSED PARKING STRUCTURE FROM GRID LINE J.85 TO GRID LINE L INTERSECTING GRID LINE 5.9 TO + 5.9. THE SUBJECT FOOTING EXCAVATION EXPOSED COMPETENT COMPACTED FILL MATERIALS AND THE GEOPIER ELEMENTS AS INDICATED ON THE GEOPIER PLANS DATED AUGUST 25, 2015. THE SUBJECT FOOTING EXCAVATION FROM A GEOTECHNICAL STAND POINT IS SUITABLE FOR IT'S INTENDED USE</p>						
					ACTIVITY CODE	HOURS
					550	1.5
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Haisha Bunnw				
TECHNICIAN (Signature) <i>Fred Smith</i>		RECEIVED BY (Signature) <i>Haisha Bunnw</i>				
DISTRIBUTION					TOTAL	1.5

Southwest Inspection and Testing, Inc.

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(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 2/11/16
-------------------------------	------------------------

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	27762 F-0311 RD	Tract No.	LACUNA NICOLA
Job Name	GATEWAY WILDCAT	Permit No.	BIS-2264
Type of Structure	COLUMN	Architect	HUNTER
Material Description (type, grade, source)	MSM A700	Engineer	SENCA
Inspector's Name	NOE WILSON	Contractor	ALLIANCE RES.
		Subcontractor	ETC VEST

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

INSPECTED REINFORCING STEEL PLACEMENT FOR 12" SPAC. SPACING AND CLEARANCE FOR COLUMN LOCATION ON LINE KS AND F, LINE 11 - S.S AT LINE 3 AT LINE 12, 13. VERIFY STEEL PLACEMENT FOR 15 COLUMNS. ALL REINFORCING STEEL SECURED IN PLACE PER PLANS.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

NOE WILSON
P: 525658 30.
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
-	3:00 PM	
Approved By [Signature] Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

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SWIT Job No. 150207	Date 2/4/16
-------------------------------	-----------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27702 FORBES DR	Tract No. LACUNA NICOLI	Lot No.
Job Name GATEWAY VILLAGE	Permit No. BIS-2244	Issued By CITY
Type of Structure PARKING STRUCTURE	Architect HUMPHRIES	
Material Description (type, grade, source) CEM-	Engineer SENNA	
Asphalt mix analysis	Contractor ALLIANCE RESIDENTIAL	
Inspector's Name NEIL WHITE	Subcontractor ETI VISTA	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED THE PLACEMENT AND CONSOLIDATION OF CONCRETE FOR FOUNDATION FOOTINGS LOCATED AT LINES 12.5 TO LINE 14, LINE B.5 TO H.5. LINES 11.5 TO 14 LINES L TO H.5 CONCRETE WAS CONSOLIDATED BY MECHANICAL VIBRATOR. COVARIANTS AND CLEARANCES WERE MAINTAINED DURING PLACEMENT. COMPLETE QUALITY CONTROL WAS DONE BY ACI TECH ON JOB.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Neil White
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN 7:00 AM	TIME OUT	SAMPLES
Approved By Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

B15-2244

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/03/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3		Permit No. B15-2244	Issued By L.N
Type of Structure PARK STRUCTURE		Architect Humphery's	
Material Description (type, grade, source) CONCRETE 4500PSI Cemex		Engineer VCA, SENECA	
Inspector's Name WAHBA ISAAC		Contractor ALLIANCE	
		Subcontractor Eli Industrial/ Eti Vista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approx.490 yards of Concrete 4500 PSI
 Mix design # 1418515 for the footings between Grid-lines "H.5" to "L" and from "5.8" to "11.5"
 Checked All reinforcing Steel prior the placement of Concrete
 Verified the tolerances of the concrete, All Appears As per plans
 ****Observed Lay Out of 8" CMU wall @ the Foundation -Grid-lines "3" to "5" and "F" to "J"
 Checked all reinforcing steel Quantity, spacing, sizes and clearance, Performed 3 samples of Mortar to
 All Appears as per plans and no discrepancies noted.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete, Masonry, Welding 8252142 **I.C.C**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
07:00		
Approved By 02/03/16. Project Superintendent		

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/02/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3		Permit No. B15-244	Issued By L.N
Type of Structure PARK STRUCTURE		Architect Humphery's	
Material Description (type, grade, source)		Engineer VCA, SENECA	
CONCRETE 4500PSI Cemex		Contractor ALLIANCE	
Inspector's Name WAHBA ISAAC		Subcontractor Eli Industrial/ Eti Vista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes,Quantity spacing and clearances for all the footings in the Park Structure between the following Grid lines :-
 Grid- line "C" to "L" and "13" to "14"
 Grid-line "H.5" to "L" and "5.8" to "14"
 All reinforcing steel conform to ASTM - A615 Grade 60
 All Appears As per plans and no discrepancies noted

CERTIFICATION OF COMPLIANCE

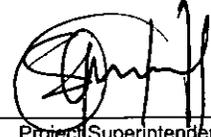
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
07:00		
 Approved By _____ 02/02/16 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/02/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15-2777 / B15- 2777 ²²⁴⁴	Issued By Laguna Niguel	
Type of Structure RESIDENTIAL	Architect Humphery's		
Material Description (type, grade, source)	Engineer VCA		
Mortar 1800 PSI	Contractor Alliance Residential		
Inspector's Name WAHBA ISAAC	Subcontractor Eti Vista/ Eli Industrial		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
Mortar		3	

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement of layout 8" CMU walls @ the Foundation Grid-lines "3" to "5" and "F" to "J"

**checked all reinforcing steel, all reinforcing steel conform to ASTM A- 615 Grade 60 .checked spacing , Quantity and Clearances, Work Ongoing.

Performed 3 Samples of Mortar 1800 PSI to verify the conformance with the project plans and the specifications

****Performed Welding Continuous and Fit Up for the 5x5x3/8" columns and beams connections @ the Rec.Center between Grid-line "A" to "K" and "1" to "3".Work Ongoing.

All Weld has been done by certified welders,welders Name: Rigoberto Mendez and Jose Luis Rosales

All Appears as per plans and no discrepancies noted

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
07:00 AM	3:00 PM	3 Mortar
Approved By 02/03/16. Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO		DAILY FIELD REPORT/MEMO		GRADING: X
				POST-GRADING:
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# G14 - 0015	DAY: Monday	DATE: 1/11/16	
LOCATION/TRACT: 27742 Forbes Road/Laguna Niguel	PROJECT ENG/GEOL DA/PK	YARDAGE TODAY: N/A		
CONTRACTOR: Farrell	FOREMAN Jack	WEATHER: Cloudy	YARDAGE TO DATE: N/A	
EQUIPMENT 2 - Excavators(drill and ram attachments) 2 - Tracked loaders Grade all				

Geopier RAP: On site as requested to observe drilling efforts and record drilling data during stabilization operations at piers # 567,563,559,555,551,592,593,588,589,584,580,576,572,568,564,560,556,552,585,581,577 and 573.

The following stabilization operations were performed by Farrell Construction:

- 1) Piers are drilled to within +/- 3" design depth using a 24" auger. Some cave in was observed. See note #5 below.
- 2) #2 stone placed in one or more lifts at RAP bottom with each lift ram compacted
- 3) Material at RAP bottoms consists of sandy clay varying to stiffer silty sandy clay. Piers do not terminate in clean sand. As observed, water table was reached at all locations piers drilled today.
- 4) Steel casing used on all piers drilled today.
- 5) Class II AB placed in several lifts with each lift ram compacted. Various piers with wet material at RAP bottom received additional #2 stone to assist with pier stabilization. Some slight cave in was observed in pockets of clean sand within various pier borings. In these areas, ram time, AB volume, and or lift thickness was increased.
- 6) DCP and BST tests are completed by contractor.
- 6) Any slough generated at RAP bottom during drilling operations was redrilled and measured to within design depth tolerances.
- 7) Ram times average 10+ seconds minimum.

See: RAP Quality Control Log for additional drilling data pertaining to drill depths, material types, # of lifts, etc.

Technician print: Chris Wright.

Received by print: *Hansha Bonmu*

Technician signature: *Chris Wright*

Received by signature: *[Signature]*

ACTIVITY CODE	HOURS
540	6



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING X						
				POST-GRADING						
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# G14 - 0015	DAY: Tuesday	DATE: 1/12/16							
LOCATION/TRACT: 27742 Forbes Road/Laguna Niguel	PROJECT ENG/GEOL DA/PAK	YARDAGE TODAY: N/A								
CONTRACTOR: Farrell	FOREMAN: Jack	WEATHER: Cloudy	YARDAGE TO DATE: N/A							
EQUIPMENT 2 - Excavators(drill and ram attachments) 2 - Tracked loaders Grade all										
<p><u>Geopier RAP:</u> On site as requested to observe drilling efforts and record drilling data during stabilization operations at piers # 50,51,52,137 - 143,544,547,548,549,553,557,561,565 and 569.</p> <p>The following stabilization operations were performed by Farrell Construction:</p> <ol style="list-style-type: none"> 1) Piers are drilled to within +/- 3" design depth using a 24" auger. Some cave in was observed. See note #5 below. 2) #2 stone placed in one or more lifts at RAP bottom with each lift ram compacted 3) Material at RAP bottoms consists of sandy clay varying to stiffer silty sandy clay. Piers do not terminate in clean sand. As observed, water table was reached at all locations piers drilled today. 4) Steel casing used on all piers drilled today. 5) Class II AB placed in several lifts with each lift ram compacted. Various piers with wet material at RAP bottom received additional #2 stone to assist with pier stabilization. Some slight cave in was observed in pockets of clean sand within various pier borings. In these areas, ram time, AB volume, and or lift thickness was increased. 6) DCP and BST tests are completed by contractor. 6) Any slough generated at RAP bottom during drilling operations was redrilled and measured to within design depth tolerances. 7) Ram times average 10+ seconds minimum. <p>See: RAP Quality Control Log for additional drilling data pertaining to drill depths, material types, # of lifts, etc.</p>										
Technician print: Chris Wright.	Received by print: <i>Harshy Bonner</i>		<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:50%;">ACTIVITY CODE</th> <th style="width:50%;">HOURS</th> </tr> </thead> <tbody> <tr> <td align="center">540</td> <td align="center">4</td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		ACTIVITY CODE	HOURS	540	4		
ACTIVITY CODE	HOURS									
540	4									
Technician signature: <i>Chris Wright</i>	Received by signature: <i>[Signature]</i>									



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING <input checked="" type="checkbox"/>	X
JOB NO: 2176.01		CLIENT/PROJECT: Alliance Residential Permit# B15-2775	DAY: Monday	DATE: 1/11/16
LOCATION/TRACT: 27742 Forbes Road Laguna Niguel		PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A	
CONTRACTOR: RC Grading	FOREMAN: Ryan	WEATHER: Cloudy	YARDAGE TO DATE: N/A	
Skid loader. Steel drum vibratory compactor Wacker				

Retaining Wall B/F: On site per clients request for observation and dry density testing of backfill placed north of podium retaining wall along Getty Drive.

Waterproofing was applied to wall surface. Drain board is attached to wall. Collector cell runs +/- 3' - 4' above bottom of wall(per structural engineer design). No additional drainage at bottom of wall. Collector cell ties into localized 4" storm drain pipes.

Contractor placed 2' - 2.5' of 3/4" aggregate at bottom of wall due to limited access. Per discussion with Alliance Super Intendant Gary Love and AKA Engineer Dave Albus, Mifafi fabric is not required between 3/4" aggregate and soil in this area. Aggregate was previously consolidated by mechanical vibration. Above aggregate, false slope to the north is benched roughly 8' off wall into native and previously placed fill. Limits marked on plans. On site material covers aggregate. Fill is placed in lifts. Material does not appear to need moisture conditioning as insitu moisture content is currently above OMC. Skid loader spreads and grades fill. Wacker compacts against wall. Steel vibratory roller compacts fill.

Due to mechanical problems, loader was unable to place sufficient fill depth for testing purposes. Operations to resume 1/12/16. Testing and observations will resume 1/12/16.aq

Technician print: Chris Wright.

Received by print: *Harsha Bomme*

Technician signature:

Chris Wright

Received by signature:

[Signature]

ACTIVITY CODE	HOURS
579.1	3



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO	GRADING	X
		POST-GRADING	

JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential Permit# B15-2775	DAY Wednesday	DATE 1-13-16
LOCATION/TRACT 27742 Forbes Road, Laguna Niguel	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY N/A	
CONTRACTOR R C Grading	FOREMAN Ryan	WEATHER Partly Cloudy	YARDAGE TO DATE N/A

EQUIPMENT
 Grade all

Retaining Wall: On site AM to discuss current backfill operations/limits and technician duties to AKA technician Mr. Geoff Weil. Mr. Weil to assume observation and testing services.

ACTIVITY CODE	HOURS
579.1	1
TOTAL	1

TECHNICIAN (Print) Chris Wright	RECEIVED BY (Print) Harsha Bommaraju
TECHNICIAN (Signature) <i>Chris Wright</i>	RECEIVED BY (Signature) <i>[Signature]</i>
DISTRIBUTION	



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING	
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES.	DAY Tue	DATE 11/24/15	
LOCATION/TRACT LADINA NEQUEL	PROJECT ENG./GEOL DA	YARDAGE TODAY		
CONTRACTOR R.C. BRADY	FOREMAN RYAN	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT				

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES.
 MET WITH MR. BILL JOY FOR SITE MEETING OF TODAY'S OPERATIONS.
 RETAINING WALL BACKFILL OPERATION MET WITH SUPERINTENDANT WE ARE
 ON STAND BY UNTIL HIS SUB CONTRACTOR IS DONE WATER PROOFING WALL
 AT NOON FOREMAN FOR SUB CONTRACTOR DOING BACKFILL SAID HE WOULD NOT
 BE PLACING FILL + TOMORROW.

SEWER SUPERINTENDANT ASKED ABOUT THE ABANDONMENT OF AN OLD
 SEWER LINE + MANHOLE. HE SAID SEWER TUBE REMOVED BUT THE BASE
 TO MANHOLE COULD IT STAY. PER MY PHONE CONVERSATION WITH MR
 DAVE ALBUS, THE CONCRETE BASE COULD STAY AS LONG AS IT DID NOT INTERFERE
 WITH ANY POSSIBLE FUTURE UTILITIES. SUPERINTENDANT SAID HE'D TALKED TO
 MR ALBUS AND MR ALBUS WAS TO SEND A MESSAGE.

WATER LINE MET WITH CITY INSPECTOR MR. MATT FOR THE WATER DISTRICT
 AKA'S SCOPE OF SERVICE IS TO CONFIRM BOTTOM OF TRENCH IS FIRM + UNSEID-
 ING BEDDING PLACED MINIMUM 12" OF SHADING AND THAT SHADING IS FIRM
 AND UNWEIDING THEN THEN TEST THE FILL PLACED ABOVE THE PEPEZONE
 INSPECTOR SHUT OPERATION DOWN

		ACTIVITY CODE	HOURS
		579.1	2.0
		576.1	1.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Haisha Bomm	576.2	1.0
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>		
DISTRIBUTION		TOTAL	4.5



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING: <input checked="" type="checkbox"/>	X
				POST-GRADING: <input type="checkbox"/>	
JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential		DAY Tuesday	DATE 1/5/2015	
LOCATION/TRACT 27742 Forbes Road, Laguna Niguel		PROJECT ENG/GEOL PMK	YARDAGE TODAY		
CONTRACTOR Farrell	FOREMAN Jack	WEATHER Heavy Rain	YARDAGE TO DATE		
EQUIPMENT					
<p>Arrived on site at 9:00 am to observe Farrell's installation of the Rammed Aggregate Piles (RAP). Observed the installation of RAP No. 292, 285, 279, 288, 282, 273, 278, 295, 289, 290, 294, and 283.</p> <p>Rain intensified around 10:30 am, Geoff Weil from Albus-Keefe arrived on site at 11:00am to take over observation.</p> <p>At 12:00 pm representatives of Alliance Residential and Farrell were informed that the persistent heavy rains combined with the constant movement of the heavy equipment had caused the ground surface of the site to become heavily disturbed and muddy. It was felt that this environment hindered our ability to perform the tasks required for the RAP observation.</p> <p>The representatives of Albus-keefe left the site at 12:30 pm after representatives of Alliance Residential and Farrell where unable to accommodate the concerns with the work environment.</p> <p>Farrell continued to work the rest of the day, as a result RAP No. 283, 287, 272, 293, 291, 286, 284, 277, 280, and 271 where completed without and observations by Albus-keefe.</p>					
				ACTIVITY CODE	HOURS
				540	6
TECHNICIAN (Print) Andrew J. Atry		RECEIVED BY (Print) <i>Harsha Bommam</i>			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	6

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/23/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD, LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
GROUT 2500 PSI/ CEMEX	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Etivista		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
			see the Tech. Report for more details

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO.'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 14 yards of Grout 2500 PSI

Mix design # 1418253 for the 8" CMU walls at the Foundation between "C" to "L" and "13" to "14"

Performed 3 samples from fresh Grout to verify the conformance with project plans

All Grout Mechanically Vibrated

All Appears As per plans and no discrepancies noted,

*****Verified the delivered of Rebars # 4,#5,#6,#7 and #8 for the shear Walls of the Park structure

. and verified the mill Certification for compliance with the Approved Plans and specifications

from GERDAU Reinforcing Steel ,License # 00171354 ,Heat # 53134670/06

All Appears as per mill Certificate and no discrepancies noted

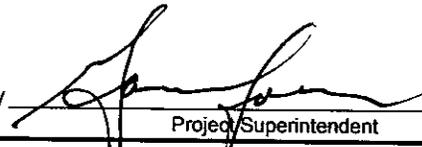
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
07:00 AM	03:00PM	
Approved By  Project Superintendent		

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/22/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED <input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2244	Issued By Laguna Niguel
Type of Structure PARK STRUCTURE	Architect Humphery's	
Material Description (type, grade, source) Mortar 1800PSI	Engineer SENECA	
CONCRETE 4500 PSI/ CEMEX	Contractor ALLIANCE	
Inspector's Name WAHBA ISAAC	Subcontractor Etivista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
			see the Tech. Report for more details

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 440 yards of Concrete 4500 PSI

Mix design # 501418515 for the S.O.G between the following Grid-lines

Grid- line "A" to "E" and "1" to "11"

Grid-line "D" to "L" and "1"to "5"

Checked All reinforcing Steel Quantity ,Spacing and Clearances prior the placement of Concrete

-Performed 3 sets each set 4 Samples from fresh Concrete to Verify the conformance with project plans and the code applicable .All Appears as per plans and no discrepancies noted

****Pre- Check All reinforcing steel sizes,Quantity spacing and clearances for all the CMU Walls @ the Foundation between "C" to "L" and "13" to "14"

All reinforcing steel conform to ASTM - A615 Grade 60

Performed 3 samples from fresh mortar to verify the conformance with project plans

All Appears As per plans and no discrepancies noted, Walls Ready to Pour Grout

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
07:00 AM		
Approved By Project Superintendent		

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CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 18th day of February, 2016. Report No. Page No. of

Table with project details: Project Address (27742 Forbes Road), Structural Observer of Record (K. Dirk Bondy, S.E.), SOR Phone No. (949-595-8182), Building Permit No., Structural Observation performed by (K. Dirk Bondy, S.E.), Observer Professional Lic./Reg. No. (S3921), Observer Phone No. (949-595-8182)

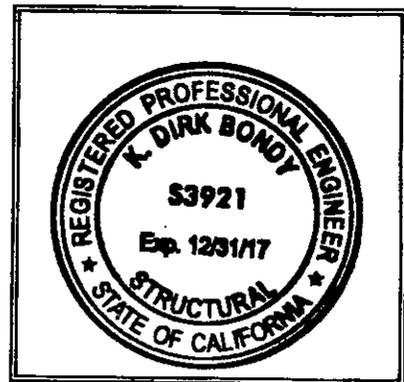
OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with 5 columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat, Caisson, Retaining, etc.

OBSERVED DEFICIENCIES: None.

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF ORANGE.
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF ORANGE BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.



SIGNATURE

2-16-2016

DATE

STAMP OF STRUCTURAL OBSERVER OF RECORD

Southwest Inspection and Testing, Inc.

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SWIT Job No. 150207	Date 02/18/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		Permit No. B15- 2444 Issued By Laguna Niguel	
Job Name GATEWAY VILLAGE POUR 3		Architect Humphery's	
Type of Structure PARK STRUCTURE		Engineer SENECA	
Material Description (type, grade, source)		Contractor ALLIANCE	
Pre-Check		Subcontractor Eli Industrial	
Inspector's Name WAHBA ISAAC			

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes,Quantity spacing and clearances for S.O.G

in the Park Structure between the following Grid lines :-

Grid- line "A" to "E" and "1" to "11"

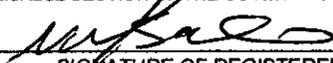
Grid-line "D" to "L" and "1"to "5"

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Slab on Grade Ready to Pour Concrete

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
07:00	3:00	
Approved By  Project Superintendent		

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SWIT Job No. 150207	Date 02/18/2016
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REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		Permit No. B15- 2444 Issued By Laguna Niguel	
Job Name GATEWAY VILLAGE POUR 3		Architect Humphery's	
Type of Structure PARK STRUCTURE		Engineer SENECA	
Material Description (type, grade, source)		Contractor ALLIANCE	
Pre-Check		Subcontractor Eli Industrial	
Inspector's Name WAHBA ISAAC			

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY -- LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes,Quantity spacing and clearances for S.O.G

in the Park Structure between the following Grid lines :-

Grid- line "A" to "E" and "1" to "11"

Grid-line "D" to "L" and "1"to "5"

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Slab on Grade Ready to Pour Concrete

CERTIFICATION OF COMPLIANCE

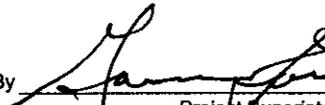
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SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
07:00	3:00	
Approved By  Project Superintendent		

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SWIT Job No. 150207	Date 02/19/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		Job Name GATEWAY VILLAGE POUR 3 Permit No. B15- 2244 Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE		Architect Humphery's	
Material Description (type, grade, source) CONCRETE 5000PSI/ CEMEX		Engineer SENECA	
Inspector's Name WAHBA ISAAC		Contractor ALLIANCE	
		Subcontractor Etivista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
4x8	4 1/2"	3	Mix# 1418373 Concrete Temp. 75 Ticket # 26360879

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 4 yards of Concrete 5000 PSI

Mix design # 1418373 for the Cast in Place Columns between

Grid-lines "13" to "14" and from "F" to "C"

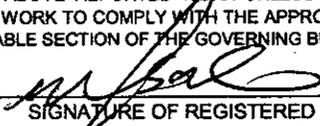
Checked All reinforcing Steel Quantity, Spacing and Clearances prior the placement of Concrete

-Performed 3 Samples from fresh Concrete to Verify the conformance with project plans

and the code applicable .All Appears as per plans and no discrepancies noted

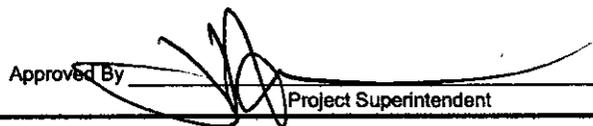
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE **2** OF **2**

TIME IN	TIME OUT	SAMPLES
07:00 AM	03:00 PM	3 Cylinders 4x8
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/19/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		Permit No. B15- 2244 Issued By Laguna Niguel	
Job Name GATEWAY VILLAGE POUR 3		Architect Humphery's	
Type of Structure PARK STRUCTURE		Engineer SENECA	
Material Description (type, grade, source) CONCRETE 5000PSI/ CEMEX		Contractor ALLIANCE	
Inspector's Name WAHBA ISAAC		Subcontractor Etivista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
4x8	4 1/2"	3	Mix# 1418373 Concrete Temp. 75 Ticket # 26360879

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 4 yards of Concrete 5000 PSI

Mix design # 1418373 for the Cast in Place Columns between

Grid-lines "13" to "14" and from "F" to "C"

Checked All reinforcing Steel Quantity ,Spacing and Clearances prior the placement of Concrete

-Performed 3 Samples from fresh Concrete to Verify the conformance with project plans

and the code applicable .All Appears as per plans and no discrepancies noted

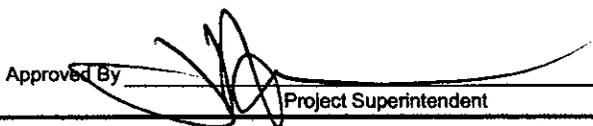
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE **2** OF **2**

TIME IN	TIME OUT	SAMPLES
07:00 AM	03:00 PM	3 Cylinders 4x8
 Approved By _____ Project Superintendent		

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441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 02/19/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD, LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Epoxy Set-XP Simpson	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Etivista		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed lay out 8" CMU walls at the Ground of the Park Structure between Grid-line "A" to "L" and "13" to "14"

Checked all Reinforcing Steel spacing ,Quantity and Clearances

Performed 3 Samples of Fresh Mortar 1800PSI to verify the conformance with Project plans and specifications.All Appears as per plans

****Observed placement of # 6 Rebar @12 O.C. at Ground Floor of the Park Structure between Grid-lines "J" to "H" and "1 " to "3" .

using Epoxy set-XP type Simpson with Exp.Date 08/2017

All Holes Clean and Dry prior the placement of Concrete

All Appears as per plans and no discrepancies noted.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
07:00 AM	03:00 PM	
Approved By  _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/19/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Epoxy Set-XP Simpson	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Etivista		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed lay out 8" CMU walls at the Ground of the Park Structure between Grid-line "A" to "L" and "13" to "14"

Checked all Reinforcing Steel spacing ,Quantity and Clearances

Performed 3 Samples of Fresh Mortar 1800PSI to verify the conformance with

Project plans and specifications.All Appears as per plans

****Observed placement of # 6 Rebar @12 O.C. at Ground Floor of the Park Structure between Grid-lines "J" to "H" and "1 " to "3" .

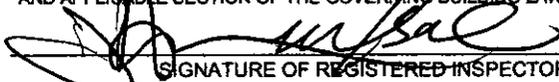
using Epoxy set-XP type Simpson with Exp.Date 08/2017

All Holes Clean and Dry prior the placement of Concrete

All Appears as per plans and no discrepancies noted.

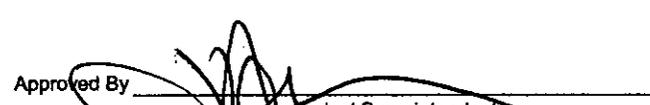
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
07:00 AM	03:00 PM	
Approved By  Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 02/29/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED <input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other	
Job Address 27742 FORBES RD, LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Pre-Check	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor ETIVISTA		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Pre- Check All reinforcing steel sizes, Quantity spacing and clearances for S.O.G

in the Park Structure between the following Grid lines :-

Grid- line "A" to "L" and "14" to "11"

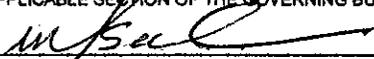
Grid-line "F" to "L" and "14"to "5"

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Slab on Grade Ready to Pour Concrete

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
07:00	3:00	
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 26th day of February, 2016 Page No. of Report No.

Table with project details: Project Address (27742 Forbes Road), Structural Observer of Record (K. Dirk Bondy, S.E.), Building Permit No., Structural Observation performed by (K. Dirk Bondy, S.E.), Observer Professional Lic./Reg. No. (S3921), and Observer Phone No. (949-595-8182).

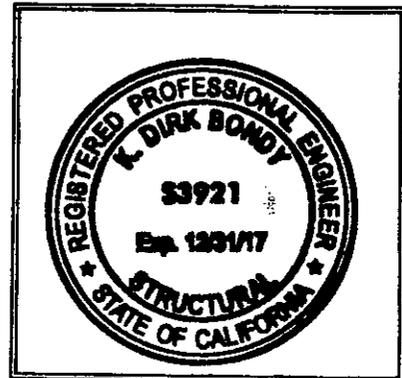
OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat Foundation, Calsson, Retaining Foundation, etc.

OBSERVED DEFICIENCIES: None.

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF Orange.
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.



SIGNATURE DATE 2-16-2016

STAMP OF STRUCTURAL OBSERVER OF RECORD

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 03/02/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
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Job Address **27742 FORBES RD ,LAGUANA NIGUEL** City

Job Name **GATEWAY VILLAGE POUR 3** Permit No. **815-2244** Issued By **Laguna Niguel**

Type of Structure **Handwritten: Parking structure** Architect **Humphrey's**

Material Description (type, grade, source) **Handwritten: [Redacted]** Engineer **VCA**

Inspector's Name **WAHBA ISAAC** Contractor **ALLIANCE**

Subcontractor **Etivista**

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

*****Pre- Check All reinforcing steel sizes, Quantity spacing and clearances for the Elevator #1 CMU Walls @ the Foundation between "J" to "L" and "1" to "3"

All reinforcing steel conform to ASTM - A615 Grade 60

All Appears As per plans and no discrepancies noted, Walls Ready to Pour Grout

CERTIFICATION OF COMPLIANCE

CONTINUED ON NEXT PAGE PAGE 1 OF 2

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete, Masonry, Welding 8252142 I.C.C.
SPECIALTY NO. AGENCY

TIME IN	TIME OUT	SAMPLES
07:00 AM	<i>see p. 02</i>	
Approved By		03/02/16 Project Superintendent

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 03/02/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City		Job Name GATEWAY VILLAGE POUR 3 Permit No. B15- 2244 Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE		Architect Humphery's	
Material Description (type, grade, source)		Engineer SENECA	
Mortar 1800 PSI		Contractor ALLIANCE	
Inspector's Name WAHBA ISAAC		Subcontractor Etivista	

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed lay out 8" CMU walls at the Ground of the Park Structure between Grid-line "A" to "L" and "13" to "14"

Checked all Reinforcing Steel spacing, Quantity and Clearances

Performed 3 Samples of Fresh Mortar 1800PSI to verify the conformance with the approved plans and the specifications. *THE WORK ONGOING W/I*

Project plans and specifications. All Appears as per plans

****Checked and verified all Steel Rebar Delivery from GERDAU for the Columns 3rd floor Lift of the Park Structural ,Bars #4,5,9,10,11 Heats # as follow

53/3908002,539716902,6502245402,6502305702,65023101102 All appears as per shipment Ticket and Piece Marks and according to the approved

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C

SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
07:00 AM	03:00PM	
Approved By <u>03/02/16.</u> Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT	SWIT Job No. 150207	Date 03/01/2016
--	------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Pre-Check	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor ETIVISTA		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
			<i>see Tech. Report for more detail</i>

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 370 yards of Concrete 4500 PSI

Mix design #1418515 for the S.O.G

in the Park Structure between the following Grid lines :-

Grid- line "A" to "L" and "14" to "11"

Grid-line "F" to "L" and "14"to "5"

All Concrete Mechanically Vibrated

All Appears as per plans and no discrepancies noted

Note : Load #26 Truck # 0036961 Ticket # 26379262 has been rejected it was over 90 Min.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
07:00	4:00 Pm	/2
Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

CUSTOMER

WEIGHMASTER CERTIFICATE

THIS IS TO CERTIFY that the following described commodity was weighed, measured, or counted by a weighmaster, whose signature is on this certificate, who is a recognized authority of accuracy, as prescribed by Chapter 7 (commencing with Section 12700) of Division 5 of the California Business and Professions Code, administered by the Division of Measurement Standards of the California Department of Food and Agriculture.



42191857

Pint B, 31601 Ortega Hwy., San Juan Cap, CA 92675

NOTE: Excess water is detrimental to concrete quality. Increased water in concrete mix reduces strength and durability and increases shrinkage. Buyer accepts responsibility for water added on job site, which exceeds accepted water/cement ratio and workability specifications.

Plant:	Begin Loading:	To Job:	Arrive Job:	Start Unload:	Finish Unload:	Leave Job:	Return Plant:
4488B	10:06	10:15	10:45	11:15	11:45		

Total Amount for This Ticket Not Including Standby Charges:

<input type="checkbox"/> Cash	Check # / Auth Code:	Signature of Driver Receiving Cash:	Cash Received:	Total COD Order Amount to Collect Without Standby Charges:
<input type="checkbox"/> Check				
<input type="checkbox"/> Charge				

Customer Code: 3140734 Customer Name: LETIVISTA CONCRETE INC Customer Job Number: E420 Order Code / Date: 3090
 Project Code: 4102081A Project Name: GATEWAY VILLAGE Deputy Weighmaster: ROBERT NUÑEZ Order P.O. Number: E422
 Ticket Date: 03/01/16 Delivery Address: 26042 CAPE DR, LAGUNA HEBUEL Map Page: 092207
 Delivery Instructions: X - FORBES RD Ticket Number: 26379262

Due On Job:	Slump:	Load:	Truck Number:	Driver Number:	Driver Name:	End Use:
10:42	4.00	26	0036961	448601	C* FELIX, JESUS A	OTHER

LOAD QUANTITY	CUMULATIVE QUANTITY	ORDERED QUANTITY	MATERIAL CODE	PRODUCTION DESCRIPTION	UOM	UNIT PRICE	AMOUNT
0.00	254.00	254.00	1418515	4500 1" P/P .45WC FA	cyd		
0.00	50.00	1.00	1575018	SCRAPE AND GO	EA		
1.00		0.00	1247817	FUEL SURCHARGE	EA		
1.00		0.00	1202749	ENVIRONMENTAL CH	EA		

Drum Counter: _____
 Previous Truck: 6963

Water Added IN GALLONS:	Curb Line Crossed At Owner's Agent's Request:	<input checked="" type="checkbox"/> AUTHORIZED SIGNATURE	SUB TOTAL
<input checked="" type="checkbox"/> INITIALS	<input checked="" type="checkbox"/> INITIALS	Print Name: _____ Date: _____	TAX
		Signature above signifies receipt and acceptance of the listed materials and acknowledgment of and agreement to the CEMEX terms and conditions.	TOTAL

BATCH DATA: 42191857

Truck	Driver	User	Disp	Ticket Num	Time	Date
10036961	448601	operator		26373262	10:06	3/1/16
Load Size	Mix Code	Returned	Qty	Mix Age	Seq	Load ID
10.00 CYDS	1418515				D1	33291
Material	Batched	Moisture	Actual Wat	Tot. Wat	Trim	
1XGRAVL	14200.00 lb	0.50% M	8.47 gl	8.47		
3/8 SAND	2720.00 lb	0.50% M	1.62 gl	1.62		
NSCDM	12040.00 lb	4.35% A	69.23 gl	69.23		
CEMENT	5590.00 lb					
FLYASH	930.00 lb					
WROB54	194.00 oz				100.00 %	
WATER	244.0 gal		244.0 gl	244.0	-3.0 gl	
Actual (Via Batches: 1)						
Load Total:	39398 lb	Actual Water:	323.3 gl	To Add:	31.7 gl	
Slump:	4.00 in #	Trim Water:	-3.0 gl / CYDS			

This Delivery Ticket incorporates herein by reference Buyer's previously executed Credit Application, if any, Seller's Standard Terms and Conditions, Seller's Quotation, if any, and Seller's Order Confirmation (including limitations of warranties), as if fully set forth on this Delivery Ticket ("Agreement"). Seller will provide the Standard Terms and Conditions upon request. Buyer agrees that, unless otherwise noted on the front hereof, all quantities and items were delivered as indicated and further expressly agrees to pay in accordance with the Agreement.

AGGREGATE / CEMENT / CONCRETE PRODUCTS / FLY ASH

Aggregate products are naturally occurring materials including limestone, dolomite, granite, volcanic rock, sand, gravel, and other siliceous materials. Cement products include Portland cement, masonry, pozzolan (Type IP), roof tile, and stucco. Concrete products include Portland cement and aggregate products including limestone, dolomite, granite, volcanic rock, sand, gravel, and other siliceous materials. These products, including fly ash, may contain more than 0.025% crystalline silica.

CAUTION!

- Hazards:** Freshly mixed wet cement and/or fly ash can cause eye irritation, skin and eye burns and allergic skin reactions. Dry concrete and aggregate dust may cause irritation to eyes, skin, and/or respiratory tract. Dust from handling, crushing, grinding, cutting and/or drilling may contain silica, which may cause silicosis and cancer if inhaled. If ingested, keep warm, at rest, and drink large amounts of water. Fly Ash may contain trace amounts of ammonia. Moisture can cause the ammonia to be released. Inhalation of ammonia can cause coughing and irritation or burns of the nose, throat and lungs. See physician; Health risk depends on duration and level of exposure.
- Safety:** Avoid contact with eyes and prolonged contact with skin. Wear gloves, eye protection, and appropriate protective clothing. Wash hands thoroughly with mild soap and water after handling. Avoid breathing dust. If exposed to dust above recommended limits (see MSDS), wear suitable NIOSH-approved respiratory protection.
- First Aid:** In case of eye contact, immediately flush eyes with flowing water for 15 minutes. If dust is inhaled, move to fresh air. If wet cement contacts skin, rinse thoroughly with water. Get proper medical attention if irritation persists.

CEMEX, Memorial Hermann Tower
929 Gessner, Suite 1900
Houston, Texas 77024
For more information please visit www.cemexusa.com.

V7 combined
02/12

Este ticket de entrega incluye como referencia al comprador (ya previamente ejecutada en su aplicación de crédito); cualquier término estándar, condiciones del vendedor, propuestas del vendedor y orden de confirmación del vendedor (con limitaciones y garantías), como acuerdo total del ticket de entrega ("Contrato"). El vendedor proveerá los términos estándares y condiciones detallados en caso de así ser requeridos. Con este documento, el comprador acepta los mismos ya antes mencionados y que las cantidades y materiales fueron entregados como se expresa en el mismo. Acepta pagar el monto de acuerdo al contrato; al menos que se identifique con una nota al frente de este documento.

AGREGADOS / CEMENTO / PRODUCTOS DE CONCRETO / CENIZAS VOLANTES

Los productos de agregados son materiales naturales como piedra caliza, dolomita, granito, roca volcánica, arena, grava y otros materiales silicios. Los productos de cemento incluyen Cemento de tipo Portland, de albañilería, pozzolan (tipo IP), azulejo de azotea y estuco. Los productos de concreto incluyen cemento Portland y productos de agregados como piedra caliza, dolomita, granito, roca volcánica, arena, grava, y otros materiales silicios. Estos productos incluyen cenizas volantes (fly ash) la cual puede contener más de 0.025% de silicio cristalino.

¡CUIDADO!

- Peligros:** Mezcla de cemento fresco y/o cenizas volantes pueden causar irritación en los ojos, quemaduras en piel y ojos, y reacciones alérgicas en la piel. Concreto seco y polvo de agregados, pueden causar irritación en los ojos, piel y/o en la zona respiratoria. Polvo del manejo en el trituramiento, pulido, corte y/o perforación puede contener materiales silicos, los cuales pueden causar silicosis pulmonar y cáncer si son inhalados. En caso de ser ingeridos, mantenerse en temperatura cálida, reposar y tomar grandes cantidades de agua. Las cenizas volantes pueden contener amoníaco. La humedad puede causar la liberación del amoníaco. La inhalación del amoníaco puede causar toser, irritación o quemaduras en la nariz, garganta y pulmones. Acudir inmediatamente al medico. El riesgo en la salud depende en la duración y el nivel de la exposición.
- Seguridad:** Evite el contacto con ojos y contacto prolongado con la piel. Use guantes, protección en los ojos y ropa adecuada para protección. Lávese las manos con jabón suave y agua después del manejo de materiales. Evite inhalar polvos. Si se expone a polvos más de los límites recomendados, use protección respiratoria.
- Primeros auxilios:** En caso de contacto en los ojos, inmediatamente fluya agua en la parte afectada por 15 minutos. Si se inhala polvo, expóngase a aire fresco. Si el cemento fresco tiene contacto con sus ojos, lávelos a fondo con agua. Acuda a atención médica inmediatamente si la irritación continúa.

CEMEX, Memorial Hermann Tower
929 Gessner, Suite 1900
Houston, Texas 77024
Para más información visita www.cemexusa.com.

V7 combinado
02/12

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No.	Date
--------------	------

ACI TECHNICIAN DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address		Tract No.	Lot No.
Job Name		Permit No.	Issued By
Type of Structure		Architect	
Material Description (type, grade, source)		Engineer	
		Contractor	
Inspector's Name		Subcontractor	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

SPECIALTY

NO.

AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
Approved By _____ <div style="text-align: right;">Project Superintendent</div>		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150208	Date 02/24/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD, LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE	Permit No. B15- 2777	Issued By Laguna Niguel	
Type of Structure PODIUM	Architect Humphery's		
Material Description (type, grade, source)	Engineer VCA		
	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Eli Industrial		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Performed Continuous Welding Inspection @ Basement area for Stair #5 and Stair #2 .

Between the Stringer and the different Beams connections as per details (SD1 and SD2

All Welding has been done by certified welders Names : Miguel Angel Gonzalez and Jose Luis

Rosales .Visual Inspection of weld and no discrepancies noted.

****Observed Placement of 10x 5 1/2: KB-TZ 3/4 diameter HILTI Wedge Anchor type Simpson @

Basement area for Stair #5 and Stair #2., Stairs with CMU walls and Concrete walls

All Holes were Dry and Clean Prior the placement of the wedge Anchor

**** Performed Continuous Welding Inspection @ the Rec. Center for 3/4" diameter @ 24" O.C. M.B 2Rows

For Continuous Wood filler at the Steel Beams between Grid -lines "1" to "4" and "A" to "K All Welding

has been done by certified welders Names : Miguel Angel Gonzalez and Jose Luis Rosales .Visual

Inspection of weld and no discrepancies noted

CERTIFICATION OF COMPLIANCE

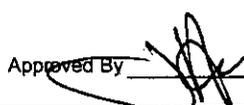
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R. Concrete , Masonry , Welding 8252142 I.C.C
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
07:00	03:00 PM	
Approved By  Project Superintendent		

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Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150208	Date 02/23/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL City			
Job Name GATEWAY VILLAGE POUR 3	Permit No. B15- 2777	Issued By Laguna Niguel	
Type of Structure PODIUM	Architect Humphery's		
Material Description (type, grade, source)	Engineer VCA		
	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor Eli Industrial		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

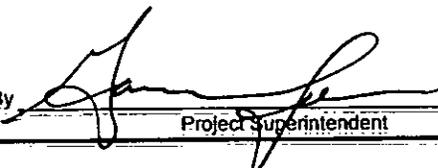
*****Performed Welding Continuous Inspection and Fit-Up at the Basement for Stair # 2 and Stair # 5 between the different connections .The Work Ongoing**
All Welding has been done by certified welders Names : Rigoberto Mendez and Jose Luis Rosales
Visual Inspection of weld and no discrepancies noted.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

 SIGNATURE OF REGISTERED INSPECTOR
R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
07:00	03:00 PM	
Approved By  Project Superintendent		

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Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150208	Date 02/26/2016
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TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD, LAGUANA NIGUEL City		
Job Name	GATEWAY VILLAGE	Permit No.	B15- 2777
Type of Structure	PODIUM	Architect	Humphery's
Material Description (type, grade, source)		Engineer	VCA
		Contractor	ALLIANCE
Inspector's Name	WAHBA ISAAC	Subcontractor	Eli Industrial

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

**** Performed Continuous Welding Inspection @ the Retail-Framing Floor for: -

-3/8" filled weld all around for Treaded ROD per Tie Down over Steel Beams

- 1/4" Filled weld all around for Stiffener plate

between Grid -line "A" from "1" to "4".

All Welding has been done by certified welders Names: Miguel Angel Gonzalez and Jose Luis Rosales.

Visual Inspection of weld and no discrepancies noted

CERTIFICATION OF COMPLIANCE

CONTINUED ON NEXT PAGE PAGE ___ OF ___

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Wahba Isaac

SIGNATURE OF REGISTERED INSPECTOR

R.Concrete, Masonry, Welding 8252142 I.C.C.
SPECIALTY NO. AGENCY

TIME IN	TIME OUT	SAMPLES
07:00	03:00 PM	
Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



Gateway Village

Structural Observation Report #26

Job #: C1135
Date of Observation: 03/10/16

Date: 03/10/16
Page 1 of 2

Structural Observation Requested by: Sri Harsha Bommu	Structural Observation performed by: Shawn Afshar , PE	Area Observed: Area "B" (portion), Fitness & Club Slab on grade hardware placement, See Attached for the area observed, 1 st Observation
--	---	--

Observed Structural Elements and their connections

<input checked="" type="checkbox"/> Foundation <input checked="" type="checkbox"/> Footing & Slab <input type="checkbox"/> Holdown, Anchor bolts & <input checked="" type="checkbox"/> Associated Rebars	<input type="checkbox"/> Floor Sheathing <input type="checkbox"/> 2 nd Floor <input type="checkbox"/> 3 rd Floor <input type="checkbox"/> 4 th Floor	<input type="checkbox"/> Roof Sheathing	<input type="checkbox"/> Exterior <input type="checkbox"/> 1 st Level <input type="checkbox"/> 2 nd Level <input type="checkbox"/> 3 rd Level <input type="checkbox"/> 4 th Level	<input type="checkbox"/> Framing <input type="checkbox"/> 1 st Level <input type="checkbox"/> 2 nd Level <input type="checkbox"/> 3 rd Level <input type="checkbox"/> 4 th Level	<input type="checkbox"/> Others
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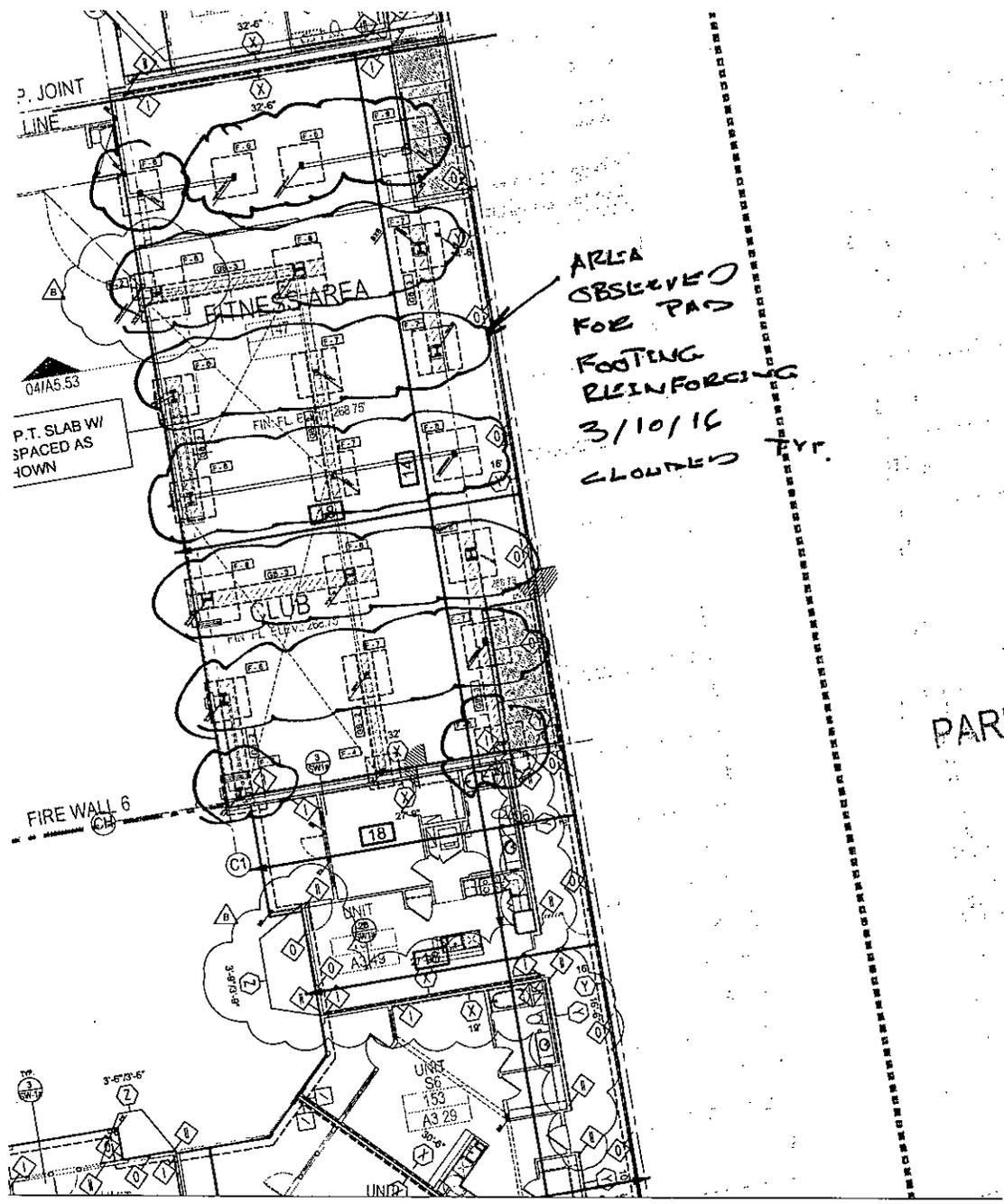
Status of Construction

<input type="checkbox"/> Roof Trusses	<input type="checkbox"/> Stair Installed	<input type="checkbox"/> Bathtub Installed
<input type="checkbox"/> Roof Sheathing	<input type="checkbox"/> Window Installed	<input type="checkbox"/> Preliminary Drywall Installed
<input type="checkbox"/> Roof Loaded	<input type="checkbox"/> Flashing Installed	<input type="checkbox"/> Drywall Stacked in Units
<input type="checkbox"/> Second Floor wall	<input type="checkbox"/> Building Wrapped	<input type="checkbox"/> Drywall on Wall
<input type="checkbox"/> Third Floor Wall	<input type="checkbox"/> Building Stuccoed	<input type="checkbox"/> Drywall on Ceiling
<input type="checkbox"/> Fourth Floor Wall	<input type="checkbox"/> MEP installation on going	<input type="checkbox"/> Sheathing one side Party Wall

Pursuant to your request, a visit to the project site was made on the above date to perform a structural observation in conformance with 2013CBC Sec. 1702 & 1704.5.

Please note, not all symmetric or repetitive areas were observed, therefore please have your field personnel verify the correction items in all similar areas. Where repair recommendations are given, verify if additional coordination may be necessary with other trades or design professionals. RFIs where requested must go to the Architect for distribution.

The structural observations do not constitute an approval of the work nor do they relieve the contractor or inspection agencies from complying with project and code requirements. All observations were conducted from the ground or floor level and no testing or inspection was performed. Our observations do not include a review of the contractors means or methods of construction, shoring, erection, bracing, nor any associated safety precautions.



01 SLAB HARDWARE PLACEMENT PLAN AREA "B" ST. 113.4
 SCALE: 3/32" = 1'-0"

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 03/11/2016
------------------------	--------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD ,LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15- 2244	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Concrete 5000 PSI /CEMEX	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor ETIVISTA		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
3 cylinders 4x8	4 1/2"	3	Load #1 Ticket # 26396580

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 70 yards of Concrete 5000 PSI

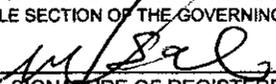
Mix design #1418373 for columns footing @ Club Room Area

All Concrete Mechanically Vibrated

All Appears as per plans and no discrepancies noted

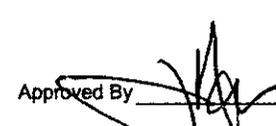
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.


 SIGNATURE OF REGISTERED INSPECTOR

R.Concrete ,Masonry ,Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
07:00	03:00 Pm	3
 Approved By _____ Project Superintendent		



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INPSECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:
B15-2448

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC:

BUSINESS NAME:

ISSUED: 5/6/2016

DESCRIPTION OF WORK:

Foundation Only for Podium parking Structure. This Foundation Only has been divided into the following permits (for reference) B15-2777, & B15-2778.

Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298	
APPLICANT:	Architects Orange 144 N Orange Orange, CA 92866	PHONE: (714) 639-9860
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2016
ARCH/ENG:	Architects Orange 144 N Orange Orange, CA 92866	PHONE: (714) 639-9860
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$25,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$270.55	\$386.50	\$27.27	\$684.32
ELECTRICAL				
MECHANICAL				
PLUMBING	\$0.00			
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$500.00
			TOTAL PERMIT FEES:	\$1,184.32
			TOTAL FEES PAID	\$1,184.32

Comments:

Planning Approval: JO
Building Permit Issued By: [Signature]

Date: 5-6-16
Date: 5/6/16

Issued Receipt#: 116-1509

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form
**requires separate authorization form

Signature [Signature] Date 5/6/16



CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undergmd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Undergroud & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verifv Setbacks			418. P/S Final Backwash Receptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade	11-28-16	JAW	424. P/S Approved for Plastering		
21. Post Tension	11-28-16	JAW	428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Roof Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2	11-28-16	JAW
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCFA SPRINKLER SYSTEMS - Name _____		#id _____
59. OCFA Fire Sprinkler - Rough			932. FINAL - OCFA PROJECT FINAL - Name _____		#id _____
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY	11-28-16	JAW
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.
WORKERS' COMPENSATION DECLARATION
 I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
 Carrier: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRUUA4245B1.87 Expiration Date 9/15/2016
 I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation law of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

#28 OWNER BUILDER DECLARATION
 I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
 I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-BUILDER will have the burden of proving that it was not built or improved for the purpose of sale).
 I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)
 I am exempt from licensure under the Contractors' State License Law for the following reason:
 By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.
 Property Owner or Authorized Agent signature: _____ Date _____

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
 Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G INC
 Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
 License Class and No. 897318
 Expiration Date: 5/31/2017
 Signature: _____ Date: 5/6/16



City of Laguna Niguel
 Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES ROAD **Suite/Unit:** _____
Applicant/Agent: ARCHITECTS ORANGE **Tract Lot:** _____
Address: 144 N. ORANGE ST **Phone No.:** (714) 639-9800
City: ORANGE **State:** CA **Zip:** 92860 **Email:** _____

Property Owner: ALLIANCE RESIDENTIAL **Phone No.:** (858) 576-9380
Address: 915 CAMILLO ST #100
City: DEL MAR **State:** CA **Zip:** 92014 **Email:** _____

Contractor: _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____
State License No.: _____ **Class:** _____ **Expiration:** _____
Workman's Comp. Policy No.: _____ **Expiration:** _____
Insurance Company (if applicable): _____

Architect: R.C. ALLEY **Reg No.:** C22598 **Phone No.:** (714) 639-9800
Address: 144 N. ORANGE ST **Email:** _____
City: ORANGE **State:** CA **Zip:** 92860

Engineer: DUK BONDY **Reg. No.:** 3921 **Phone No.:** (949) 595-8182
Address: 23275 SOUTH POINT DR **Email:** _____
City: LAGUNA HILLS **State:** CA **Zip:** 92653

Description of Work to be Performed (please be specific):
FOUNDATION ONLY FOR portion portion
Main Building

Valuation: \$ _____ **Type of Const:** 11A **Occupancy Type:** 02 **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.
 Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>BIS-2448</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/21/15</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
Permitting Division:					
<input type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning <u>JO</u>	<input checked="" type="checkbox"/> CAA <u>N Chung</u>	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R16-1524

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,184.32
B15-2448 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Foundation only for Alliance project			
			\$1,184.32
BUILDING			\$913.77
PLAN CHECK			\$270.55
TOTAL FEES PAID BY RECEIPT:R16-1524			\$1,184.32

Date Paid: Friday, May 06, 2016

Paid By: MICHAEL MCCANN

Payee Address: ,

Cashier: AK

Pay Method: CREDIT CARD 0206



Rough Grading Release *Foundation Only*

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT _____

LOCATION 27742 Ferber Rd.

~~LOTS~~ APPROVED Foundation only - See Grids below

OWNER Alliance Residential

Owner's Address _____

Special requirements Basement Excavation within limits of

Foundation Grids 5.1 - 15.5 by B-N

Grading
Inspector AD

Grading
Supervisor _____



City of Laguna Niguel
 Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES ROAD Suite/Unit: _____
 Applicant/Agent: ARCHITECTS ORANGE Tract Lot: _____
 Address: 144 N. ORANGE ST Phone No.: (114) 639-9860
 City: ORANGE State: CA Zip: 92860 Email: _____

Property Owner: ALLIANCE RESIDENTIAL Phone No.: (858) 876-9380
 Address: 915 CAMINO ST #100
 City: DEL MAR State: CA Zip: 92014 Email: _____

Contractor: _____ Phone No.: () - _____
 Address: _____
 City: _____ State: _____ Zip: _____ Email: _____
 State License No.: _____ Class: _____ Expiration: _____
 Workman's Comp. Policy No.: _____ Expiration: _____
 Insurance Company (If applicable): _____

Architect: Humphreys Reg No.: _____ Phone No. 7360
 Address: _____
 City: _____ State: CA Zip: _____ Email: _____

Engineer: VCA Reg. No.: _____ Phone No.: (49) 595 8182
 Address: _____
 City: _____ State: _____ Zip: _____ Email: _____

Description of Work to be Performed (please be specific):
FOUNDATION ONLY FOR podium portion
Main Building

Valuation: \$ _____ Type of Const: 11A Occupancy Type: 52 Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.
 Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] Payment: Cash or Check # _____ or Visa/MC

Activity Number:	<u>BIS-2448</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/21/05</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning <u>JO</u>	<input checked="" type="checkbox"/> CAA <u>N Chung</u>	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

No Pic Taken
 3 sets
 Check # 5311



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381

REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY

Inspection Cancellation or Rescheduling: (949) 362-4334

Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: B15-2449

TRACT: 6081

PROJECT ADDRESS: 27742 FORBES RD

Lot/PARCEL: 1

27742 FORBES RD

ELEC:

BUSINESS NAME:

PLANNING:

ISSUED: 9/8/2015

DESCRIPTION OF WORK:

Permit for soldier piles only (without tie backs) for retaining wall at southern most portion of property (@ Crown Valley Parkway). Alliance Group. (Reference B15-1661 p/c with the tie backs.)

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298
APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
BUSINESS:
ADDRESS:
ARCH/ENG:
ADDRESS:
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS:
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
TRJUB4245B187.



PHONE: (949) 706-8460
PHONE:
PHONE:
PHONE: (949) 706-8460
EXPIRES: 5/31/2017
EXPIRES: 9/15/2015

CODE YEAR: 2013 OCCUPANCY TYPE: R2 Residential Multiple CONSTR. TYPE: VB
Family

TOTAL VALUATION: \$140,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$635.95			\$635.95
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				\$175.00
MISC				\$0.00
			TOTAL PERMIT FEES:	\$810.95
			TOTAL FEES PAID	\$810.95

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 9/8/15
Date: 9/8/15

Issued Receipt#: R15_ 2107

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
Signature [Signature] Date 9/9/15
*requires separate verification form
**requires separate authorization form

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 9/9/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2015

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temo Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gutter		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Vent/Stacks			418. P/S Final Backwash Recaptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Tub Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCCA SPRINKLER SYSTEMS -		
59. OCCA Fire Sprinkler - Rough			932. FINAL - OCCA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		

7-6-16 BUC



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd.

Suite/Unit: _____

Applicant/Agent: Eric Spector
Address: 450 Newport Center Dr. Ste. 550
City: Newport Beach **State:** CA **Zip:** _____

act Lot: _____
Phone No.: (249) 508-2791
Email: _____

Property Owner: Broadstone Laguna Niguel, LLC
Address: 450 Newport Center Dr. Ste. 550
City: Newport Beach **State:** CA **Zip:** _____

Phone No.: () - _____
Email: _____

Contractor: Alliance Residential Builders
Address: 450 Newport Center Dr. Ste. 550
City: Newport Beach **State:** CA **Zip:** _____
State License No.: 897318 **Class:** _____
Workman's Comp. Policy No.: _____
Insurance Company (if applicable): _____

Phone No.: (249) 508-2791
Email: ESPECTOR@allresco.com
Expiration: _____
Expiration: _____

Architect: _____ **Reg No.:** _____
Address: _____
City: _____ **State:** _____ **Zip:** _____

Phone No.: () - _____
Email: _____

Engineer: Burnett + Young **Reg. No.:** _____
Address: 650 Sierra Madre Villa Ave Ste. 206
City: Pasadena **State:** CA **Zip:** 91107

Phone No.: (626) 351-3367
Email: Luis@byice.com

Description of Work to be Performed (please be specific): soldier pile only permit for retaining wall at Crown Valley Parkway

Valuation: \$ 140,000 **Type of Const:** shoring **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # 9162 or Visa/MC

Activity Number:	<u>PJ15-2449</u>	Received By:	<u>S. Miller</u>	Date:	<u>8/24/15</u>
HOA or Property Manager Approval Required:		Submitted by: _____			
HOA or Property Manager Approval Letter Provided:		Reviewed By: _____			
OK for Plan Check:		Date: _____			
OK for issuance:		Reviewed By: _____			
Building Divisions:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

PK-635.95
NOT PAID 8/24/15
paid 8/24/15
[Signature]

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Permit No: _____

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Signs	Type	Size	Res. or	Foundation	Illumination
Sign	(Circle One)	(Sq. Ft.)	Comm. (Circle One)	Valuation (if freestanding and over 6 feet in height)	(# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-1985

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$635.95
B15-2449 Address: 27742 FORBES RD Apn: 63603410 Type: COMMERCIAL Subtype: CNEW Description: Soldier Piles for Retaining Wall @ Crown Valley			\$635.95
PLAN CHECK			\$635.95
TOTAL FEES PAID BY RECEIPT:R15-1985			\$635.95

Date Paid: Wednesday, August 26, 2015

Paid By: N/A

Payee Address: ,

Cashier: IV

Pay Method: CREDIT CARD 9162





Cash Register Receipt

City of Laguna Niguel

Receipt Number
R15-2107

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$175.00
B15-2449 Address: 27742 FORBES RD Apn: 63603410			
Type: COMMERCIAL Subtype: COTH			
Description: Soldier Piles for Retaining Wall @ Crown Valley			\$175.00
GEO REVIEW FEE			\$175.00
TOTAL FEES PAID BY RECEIPT:R15-2107			\$175.00

Date Paid: Tuesday, September 08, 2015

Paid By: MICHAEL MCCANN

Payee Address: ,

Cashier: AK

Pay Method: CREDIT CARD 8211



Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 05/16/2016
------------------------	--------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Structural Steel Assembly <input type="checkbox"/> Fire Proofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> Quality Control <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 FORBES RD, LAGUANA NIGUEL		City	
Job Name GATEWAY VILLAGE	Permit No. B15-2449	Issued By Laguna Niguel	
Type of Structure PARK STRUCTURE	Architect Humphery's		
Material Description (type, grade, source)	Engineer SENECA		
Concrete 4500 PSI /CEMEX	Contractor ALLIANCE		
Inspector's Name WAHBA ISAAC	Subcontractor ETIVISTA		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
4x8	4 1/2"	4	Load #1 Ticket # 26512882

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

****Observed Placement and Consolidation of Approximately 20 yards of Concrete 4500PSI

Mix # 1418514 for The Retaining Wall Footing Type "4"

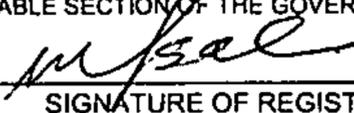
Verified the Water Tolerances and Slump are acceptable in site

All Concrete has been Mechanically Vibrated

All Appears as per plans and no discrepancies noted

CERTIFICATION OF COMPLIANCE

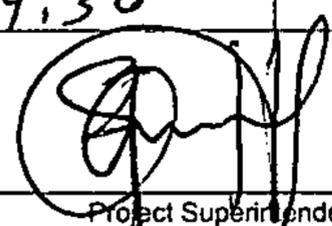
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



SIGNATURE OF REGISTERED INSPECTOR

R.Concrete, Masonry, Welding 8252142 I.C.C
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 5

TIME IN	TIME OUT	SAMPLES
07:00	4:30	4
 Approved By _____		05/17/16. Project Superintendent

CUSTOMER

WEIGHMASTER CERTIFICATE

THIS IS TO CERTIFY that the following described commodity was weighed, measured, or counted by a weighmaster, whose signature is on this certificate, who is a recognized authority of accuracy, as prescribed by Chapter 7 (commencing with Section 12700) of Division 5 of the California Business and Professions Code, administered by the Division of Measurement Standards of the California Department of Food and Agriculture.



42409919

Irvine - 16161 Construction Circle - Irvine, CA 92606
Dispatch # (800) 801-7625

NOTE: Excess water is detrimental to concrete quality. Increased water in concrete mix reduces strength and durability and increases shrinkage. Buyer accepts responsibility for water added on job site, which exceeds accepted water/cement ratio and stability specifications.

Plant:	Begin Loading:	To Job:	Arrive Job:	Start Unload:	Finish Unload:	Leave Job:	Return Plant:
448EA	14:48	1508	1570	1593			

Total Amount for This Ticket Not Including Standby Charges:

<input type="checkbox"/> Cash	Check # / Auth Code:	Signature of Driver Receiving Cash:	Cash Received:	Total COD Order Amount to Collect Without Standby Charges:
<input type="checkbox"/> Check				
<input type="checkbox"/> Charge				

Customer Code: 3140734 Customer Name: ETIVISTA CONCRETE INC Customer Job Number: E422 Order Code / Date: 3473
 Project Code: 4102882B Project Name: GATEWAY VILLAGE Deputy Weighmaster: MARIO ZAMORA Order P.O. Number: F422
 Ticket Date: 03/16/16 Delivery Address: 26042 CAPE DR., LAGUNA NIGUEL Map Page: 092207

Delivery Instructions: X-FORBES RD. Ticket Number: 26512882

Due On Job: 15:32	Slump: 4.00	Load: 2	Truck Number: 10036966	Driver Number: 448802	Driver Name: A* GEHFELD, JAN B	End Use: OTHER
-------------------	-------------	---------	------------------------	-----------------------	--------------------------------	----------------

LOAD QUANTITY	CUMULATIVE QUANTITY	ORDERED QUANTITY	MATERIAL CODE	PRODUCTION DESCRIPTION	UOM	UNIT PRICE	AMOUNT
9.50	19.00	19.00	1418514	4500 1" P/P .45WC	cyd		
1.00		0.00	1247817	FUEL SURCHARGE	EA		
1.00		0.00	1202749	ENVIRONMENTAL CH	EA		

CYLINDER SLUMP TEST

Drum Counter: 1, 2, 4
Previous Truck: 36922

Water Added IN GALLONS: <u>4</u>	Curb Line Crossed At Owner's Agent's Request: <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> AUTHORIZED SIGNATURE	SUB TOTAL
<input checked="" type="checkbox"/> INITIALS	<input checked="" type="checkbox"/> INITIALS	Print Name: _____ Date: _____	TAX
Signature above signifies receipt and acceptance of the listed materials and acknowledgment of and agreement to the CEMEX terms and conditions.			TOTAL

BATCH DATA:	Truck #: 10036966	Mix: 1418514	Time: 14:48	42409919	
	Ticket #: 26512882	Qty: 9.50 CYDS			
Material	Batched	% Moisture	Actual Wat	Tot. Wat	Trim
1/4 GRAVL	13500.00 lb	0.50% K	8.11 gl	8.11	
3/8 SAND	2500.00 lb	0.50% K	1.55 gl	1.55	
NSCOK	12940.00 lb	2.37% A	35.96 gl	35.96	
CEMENT	6205.00 lb				
WRDASA	220.00 oz				100.00 %
WATER	251.17 gal +		251.17 gl	251.17	-5.00 gl
Actual	Nus Batches: 1				Manual 14:48:22
Load Total:	37555 lb	Actual 296.8 gl	To Add: 45.2 gl		
Slump: 4.00 in	# Trim Water: -5.0 gl / CYD				

This Delivery Ticket incorporates herein by reference Buyer's previously executed Credit Application, if any, Seller's Standard Terms and Conditions, Seller's Quotation, if any, and Seller's Order Confirmation (including limitations of warranties), as if fully set forth on this Delivery Ticket ("Agreement"). Seller will provide the Standard Terms and Conditions upon request. Buyer agrees that, unless otherwise noted on the front hereof, all quantities and items were delivered as indicated and further expressly agrees to pay in accordance with the Agreement.

AGGREGATE / CEMENT / CONCRETE PRODUCTS / FLY ASH

Aggregate products are naturally occurring materials including limestone, dolomite, granite, volcanic rock, sand, gravel, and other siliceous materials. Cement products include Portland cement, masonry, pozzolan (Type IP), roof tile, and stucco. Concrete products include Portland cement and aggregate products including limestone, dolomite, granite, volcanic rock, sand, gravel, and other siliceous materials. These products, including fly ash, may contain more than 0.025% crystalline silica.

CAUTION!

Hazards: Freshly mixed wet cement and/or fly ash can cause eye irritation, skin and eye burns and allergic skin reactions. Dry concrete and aggregate dust may cause irritation to eyes, skin, and/or respiratory tract. Dust from handling, crushing, grinding, cutting and/or drilling may contain silica, which may cause silicosis and cancer if inhaled. If ingested, keep warm, at rest, and drink large amounts of water. Fly Ash may contain trace amounts of ammonia. Moisture can cause the ammonia to be released. Inhalation of ammonia can cause coughing and irritation or burns of the nose, throat and lungs. See physician. Health risk depends on duration and level of exposure.

Safety: Avoid contact with eyes and prolonged contact with skin. Wear gloves, eye protection, and appropriate protective clothing. Wash hands thoroughly with mild soap and water after handling. Avoid breathing dust. If exposed to dust above recommended limits (see MSDS), wear suitable NIOSH-approved respiratory protection.

First Aid: In case of eye contact, immediately flush eyes with flowing water for 15 minutes. If dust is inhaled, move to fresh air. If wet cement contacts skin, rinse thoroughly with water. Get proper medical attention if irritation persists.

CEMEX, Memorial Hermann Tower

929 Gessner, Suite 1900

Houston, Texas 77024

For more information please visit www.cemexusa.com.

V7 combined

02/12

Este ticket de entrega incluye como referencia al comprador (ya previamente ejecutada en su aplicación de crédito): cualquier término estándar, condiciones del vendedor, propuestas del vendedor y orden de confirmación del vendedor (con limitaciones y garantías), como acuerdo total del ticket de entrega ("Contrato"). El vendedor proveerá los términos estándares y condiciones detallados en caso de así ser requeridos. Con este documento, el comprador acepta los mismos ya antes mencionados y que las cantidades y materiales fueron entregados como se expresa en el mismo. Acepta pagar el monto de acuerdo al contrato; al menos que se identifique con una nota al frente de este documento.

AGREGADOS / CEMENTO / PRODUCTOS DE CONCRETO / CENIZAS VOLANTES

Los productos de agregados son materiales naturales como piedra caliza, dolomita, granito, roca volcánica, arena, grava y otros materiales silíceos. Los productos de cemento incluyen Cemento de tipo Portland, de albañilería, pozzolan (tipo IP), azulejo de azotea y estuco. Los productos de concreto incluyen cemento Portland y productos de agregados como piedra caliza, dolomita, granito, roca volcánica, arena, grava, y otros materiales silíceos. Estos productos incluyen cenizas volantes (fly ash) la cual puede contener más de 0.025% de silicio cristalino.

¡CUIDADO!

Peligros: Mezcla de cemento fresco y/o cenizas volantes pueden causar irritación en los ojos, quemaduras en piel y ojos, y reacciones alérgicas en la piel. Concreto seco y polvo de agregados, pueden causar irritación en los ojos, piel y/o en la zona respiratoria. Polvo del manejo en el trituramiento, pulido, corte y/o perforación puede contener materiales silíceos, los cuales pueden causar silicosis pulmonar y cáncer si son inhalados. En caso de ser ingeridos, mantenerse en temperatura cálida, reposar y tomar grandes cantidades de agua. Las cenizas volantes pueden contener amoníaco. La humedad puede causar la liberación del amoníaco. La inhalación del amoníaco puede causar toser, irritación o quemaduras en la nariz, garganta y pulmones. Acudir inmediatamente al médico. El riesgo en la salud depende en la duración y el nivel de la exposición.

Seguridad: Evite el contacto con ojos y contacto prolongado con la piel. Use guantes, protección en los ojos y ropa adecuada para protección. Lávese las manos con jabón suave y agua después del manejo de materiales. Evite inhalar polvos. Si se expone a polvos más de los límites recomendados, use protección respiratoria.

Primeros auxilios: En caso de contacto en los ojos, inmediatamente fluya agua en la parte afectada por 15 minutos. Si se inhala polvo, expóngase a aire fresco. Si el cemento fresco tiene contacto con sus ojos, lávelos a fondo con agua. Acuda a atención médica inmediatamente si la irritación continúa.

CEMEX, Memorial Hermann Tower

929 Gessner, Suite 1900

Houston, Texas 77024

Para más información visita www.cemexusa.com.

V7 combinado

02/12



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380 • email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-2449

DATE: September 4, 2015

PROJECT DESCRIPTION: Proposed Retaining Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCTURAL FIRM: Burnett & Young, Inc.

THEIR JOB NO.: 14-1400

STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Permanent Pile/Shotcrete Retaining Wall Calculations, Gateway Village Residential and Commercial Development, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date 8/24/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., plans dated 8/17/15.

REFERENCES: Listed on Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
- REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:

Marshall Mead, RCE, SE 5311
Structural Engineer



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

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Rancho Santa Margarita, CA 92688

(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B15-2449

DATE: September 4, 2015

DISTRIBUTION: Antoinette Kulick/Gary Hawken, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015..

FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-2449 (structural)

PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Permanent Pil/Shotcrete Retaining Wall Calculations, Gateway Village Residential and Commercial Development, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date 8/24/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., plans dated 8/17/15.	9/4/15	APPROVED	\$ 175.00

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SHOWING @ CV Pump

SWIT Job No. 150707 Date 7-23-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input checked="" type="checkbox"/> Other
Job Address	<u>27742 FORBES RD.</u>	Tract No.	Lot No.
Job Name	<u>GATEWAY VILLAGE PARKING STR.</u>	Permit No. <u>1315-2230</u>	Issued By <u>LADMANI GUFEL</u>
Type of Structure	<u>RET WALL</u>	Architect	
Material Description (type, grade, source)		Engineer <u>JAMES H KAWAMURA</u>	
		Contractor <u>ALLIANCE</u>	
Inspector's Name <u>FRANK BRGG</u>		Subcontractor <u>DAVE MCMAHON CONST.</u>	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PLACEMENT OF ~~TIE BARS~~ SOLDIER BEAMS @ SOLDIER PILLS. HOLE DEPTH & WIDTH AS PER APPROVED PLANS. ALL WORK PER APPROVED PLANS. LOCATION NO. 1718

NO PROBLEMS NOTED.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Bragg

SIGNATURE OF REGISTERED INSPECTOR

CONC. 0885042 ITC
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE _____ OF _____

TIME IN	TIME OUT	SAMPLES
<u>1:00 pm</u>	<u>3:30 pm</u>	
Approved By <u>Bob Perez</u>		<u>9/23/15</u>
Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy



CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system.

This report includes all construction work through 27th day of April, 2016 Report No. Page No. of

Table with project details: Project Address (27742 Forbes Road), Structural Observer of Record (SOR) (K. Dirk Bondy, S.E.), SOR Phone No. (949-595-8182), Building Permit No., Structural Observation performed by (K. Dirk Bondy, S.E.), Observer Professional Lic./Reg. No. (S3921), Observer Phone No. (949-595-8182)

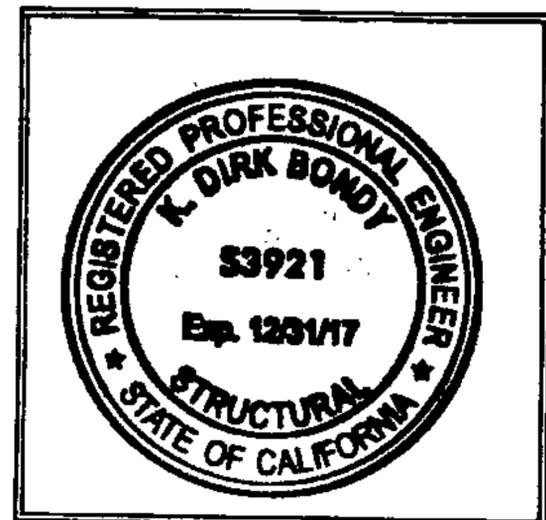
OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat Foundation, etc.

OBSERVED DEFICIENCIES: NONE

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF Orange.
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.



STAMP OF STRUCTURAL OBSERVER OF RECORD

SIGNATURE DATE 4-27-2016



Planning Division - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-2449
Project Address: 27742 FORBES RD
Project Description: Plan Check for soldier piles only for retaining wall at Crown Valley Parkway. Alliance Group.

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	08/26/15	09/02/15			
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: _____

- School Fees Payment or Exemption Letter Received, Date: _____
- HOA Approval Received **N/A**
- Discretionary Application #(s), if applicable _____
- Meets setbacks for Zone

JO
 795 3222

*Sent pty set
 to Grace
 Peter will submit
 3 new set*



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-2449
Project Address: 27742 FORBES RD
Valuation: 140000
Project Description: *Plan Check for soldier piles only for retaining wall at Crown Valley Parkway. Alliance Group. Reference wall plancheck 15-10661*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	08/26/15	09/02/15	8-28-15		SC
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Final Approval By: _____ **Date:** _____

Attached is:

- 1 Set of Plans
- 1 Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List

Gmm



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

GARRY - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B15-2449
Project Address: 27742 FORBES RD
Valuation: 140000
Project Description: *Plan Check for soldier piles only for retaining wall at Crown Valley Parkway. Alliance Group.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	08/26/15	09/02/15		9-2-15	GAH
2nd Check:					
3rd Check:					
4th Check:					

Comments:

→ Pending GMU, CAA & PLANNING

Final Approval By: GAH **Date:** 9-2-15

Attached is:

- 1 Set of Plans
- 1 Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-2104

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$635.95
B15-2449 Address: 27742 FORBES RD Apn: 63603410			
Type: COMMERCIAL Subtype: COTH			
Description: Soldier Piles for Retaining Wall @ Crown Valley			\$635.95
PLAN CHECK			\$635.95
TOTAL FEES PAID BY RECEIPT:R15-2104			\$635.95

Date Paid: Wednesday, August 26, 2015

Paid By: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 9162





CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B15-2449

DATE: September 4, 2015

PROJECT DESCRIPTION: Proposed Retaining Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

STRUCTURAL FIRM: Burnett & Young, Inc.

THEIR JOB NO.: 14-1400

STRUCTURAL ENGINEER: Don Y. Young, RCE 35713

DOCUMENTS REVIEWED: (1) Permanent Pile/Shotcrete Retaining Wall Calculations, Gateway Village Residential and Commercial Development, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date 8/24/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., plans dated 8/17/15.

REFERENCES: Listed on Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
- REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:
Marshall Mead, RCE, SE 5311
Structural Engineer



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

STRUCTURAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
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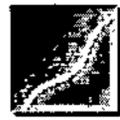
Page 2

REFERENCE NO.: B15-2449

DATE: September 4, 2015

DISTRIBUTION: Antoinette Kulick/Gary Hawken, City of Laguna Niguel
David Albus, Albus-Keefe & Associates, Inc.
Michael McCann, Alliance Residential (owner)

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Structural Calculations, Gateway Village, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated October 17, 2014; (9) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., dated April 27, 2015..



GMU GEOTECHNICAL, INC.

23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET - STRUCTURAL

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B15-2449 (structural)

PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) Permanent Pil/Shotcrete Retaining Wall Calculations, Gateway Village Residential and Commercial Development, 27742 Forbes Road, prepared by Burnett & Young, Inc., stamp date 8/24/15; (2) Gateway Village Retaining Wall Plans, Permanent Soldier Pile/Shotcrete Wall, 27742 Forbes Road, prepared by Burnett & Young, Inc., plans dated 8/17/15.	9/4/15	APPROVED	\$ 175.00



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: **B15-2610**

TRACT: 6081

PROJECT ADDRESS: **27742 FORBES RD**

Lot/PARCEL: 1

27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

PLANNING:

ISSUED: 9/11/2015

DESCRIPTION OF WORK:

Permit for the Geo-Piers related to B14-1549. The Geo-piers will be issued incremental as per Abdullah Sharif's Rough Grade release (Dated 9/9/15)
This permit includes ONLY the following Geo-piers:
Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5 ONLY.

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298
APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
BUSINESS:
ADDRESS:
ARCH/ENG:
ADDRESS:
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS:
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA POLICY#: TRJUB4245B187

PHONE: (949) 706-8460

PHONE:

PHONE:

PHONE: (949) 706-8460

EXPIRES: 5/31/2017

EXPIRES: 9/15/2015

CODE YEAR: 2013

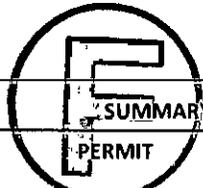
OCCUPANCY TYPE: U Utility Miscellaneous

CONSTR. TYPE: VB

TOTAL VALUATION: \$15,000.00

USE TYPE:

USE DESCRIPTION:



SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$197.05	\$281.50	\$27.27	\$505.82
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$506.82
			TOTAL FEES PAID	\$506.82

Comments:

Planning Approval: CA 50
Building Permit Issued By: [Signature]

Date: 9/11/15
Date: 9/11/15

Issued Receipt#: R15-
2172

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
**requires separate verification form*
***requires separate authorization form*

Signature [Signature] Date 9/11/15

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 9/11/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2015

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS
72. Driveway Nailing/Firewalls		
4. Temp Electrical Service or Pole		
6. Soil Pipe Underground		
8. Water Pipe Underground		
9. Sewer Line & House Connect		
10. Electrical Conduit Underground		
14. Gas Line Underground & Test		
16. Verify Setbacks		
18. Footings & Steel		
19. UFER		
20. Foundation - Slab on Grade		
21. Post Tension		
22. Steel Reinforce - Retain. Walls		
24. Pre Grout Lift 1		
26. Pre Grout Lift 2		
29. Wall Drainage		
30. Floor Plywood Nailing		
32. Sewer Line & House Connect		
34. Roof Drains/Deck Drains		
36. Rough Plumbing/Gas Test		
40. Hot Top Shower		
41. Lath/Interior		
42. Rough Electrical		
44. Rough Mechanical		
46. Fire Dampers		
48. Roof Sheathing		
50. Roof Framing		
51. Approval to Cover Exterior		
52. Shear Walls Interior		
53. Preliminary Shear		
54. Shear Walls Exterior		
55. Preliminary Insulation		
56. Rough Frame & Flashing		
59. OCFA Fire Sprinkler - Rough		
932. FINAL - OCFA PROJECT FINAL - Name		
933. Anti-Entrapment Device		
934. FINAL - BUILDING & SAFETY		
935. FINAL - WATER QUALITY INSPECTION		
938. P/S FINAL - SOLAR SYSTEM		
939. P/S FINAL - POOL/SPA		
942. P/S Approved for Plastering		
943. P/S FINAL - HEATER & VENT		
944. P/S FINAL - PLUMBING		
945. P/S FINAL - ELECTRICAL		
946. P/S FINAL - POOL COVER		
947. P/S FINAL - SOLAR SYSTEM		
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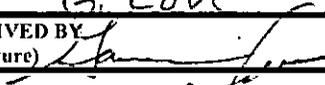
Premise # 614-0015

K

ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

285

MEMO NO.		DAILY FIELD REPORT/MEMO			GRADING			
					POST-GRADING <input checked="" type="checkbox"/>			
JOB NO.	2176.01	CLIENT/PROJECT	Alliance Residential	DAY	Tue.	DATE	9/22/15	
LOCATION/TRACT	27742 Embury Road	PROJECT ENG./GEOL	Leanna Niswold	YARDAGE TODAY	N/A			
CONTRACTOR	Farell	FOREMAN	Jack	WEATHER	Cloudy		YARDAGE TO DATE	N/A
EQUIPMENT								
2 - Tracked loaders 2 - Excavators (auger + ram attachment)								
<p><u>Geopier/RAP:</u> On site per client request for observation during stabilization operations at geopiers # 507, 494, 236, 230, 224, 496, 505, 238, 37, 744, 36, 508, 484, 506, 483, 235, 229, 223, 485, 233, 232, 227, 226, 221, 495, 234, 237, 228, 231, 222, 225, 197, 189, 181, 196, 188, 180, 195, 199, 193, 187, 191, 185, 179, 183, 177, 200, 194, 198, 192.</p> <p>Farell Construction performed the following drilling/ram operations:</p> <ol style="list-style-type: none"> 1) 24" auger drills piers to within +/- 3" design depth or deeper depending on material at design depth. Did not observe clean sand at pier bottoms. 2) #2 aggregate is placed at bottom of all piers. One or more lifts are placed to establish bottom. Aggregate is compacted with ram attachment. 3) From top of #2 aggregate to bottom of proposed pier cap, Class II 3/4" AB is placed in lifts and compacted with ram bit. 4) DCP and BST tests are performed by contractor. 5) Due to wet and or sloshing conditions, 15' steel casing was used at piers # 37, 744, 36. <p>Pier # 177 needs to be redone using casing due to sand case in.</p> <p>See: RAP Quality Control Log for additional drilling information related to drill depths, lifts, material type, etc.</p>								
					ACTIVITY CODE	HOURS		
					540	10		
TECHNICIAN (Print) CHRIS WRIGHT					RECEIVED BY (Print) G. LOVE			
TECHNICIAN (Signature) Chris Wright					RECEIVED BY (Signature) 			
DISTRIBUTION					TOTAL			

107
 Permit # 614-0015 **K**

ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

SHC 1103 85
 CV Proj

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential	DAY Mon.	DATE 9/21/15		
LOCATION/TRACT 27742 Forbes Road Laguna Niguel	PROJECT ENG/GEOL DA/PR	YARDAGE TODAY N/A			
CONTRACTOR Farrell	FOREMAN Jack	WEATHER Cloudy	YARDAGE TO DATE N/A		
EQUIPMENT 2 - Excavators (auger + ram attachments) 2 - Tracked Loaders					
<p>Geopier: On site per request to observe and record drilling data during stabilization operations at piers # 296, 302, 300, 120, 115, 119, 40, 116, 117, 118, 34, 734, 733, 28, 731, 24, 729, 33.</p> <p>Observed the following operations:</p> <ol style="list-style-type: none"> 1) Summary staked geopiers are drilled to within 3" design depth or deeper using 24" auger. Various piers drilled beyond design depth due to clean sand @ design depth. 2) For piers # 120, 115, 119, 40, 116, 118, 34, 734, 733, 28, 731, 24, 729, 33 (15 casing used) 3) All piers receive one or more lifts of 1/2 aggregate at bottom of each pier. Aggregate was compacted with ram hit attachment. 4) Class II AB placed in multiple lifts and compacted by ram hit each lift. 5) Sections of clean sand were observed at every pier drilling. No piers terminate in clean sand. See note 1. 6) Per note # 2, casings were used due to slumping/cave in from either sections of clean sand or water table penetration within drilling. <p>See: RAP Quality Control log for additional pier drilling information.</p>					
				ACTIVITY CODE	HOURS
				540	10
TECHNICIAN (Print) CHRIS WRIGHT		RECEIVED BY (Print) GARY LOVE			
TECHNICIAN (Signature) Chris Wright		RECEIVED BY (Signature) [Signature]			
DISTRIBUTION				TOTAL	

Permit # 614-0015 **K**

ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

GRADING
 POST-GRADING

DAILY FIELD REPORT/MEMO

MEMO NO.	JOB NO. 2176.01			CLIENT/PROJECT Alliance Residential	DAY Sat.	DATE 9/19/15
LOCATION/TRACT 27742 Forbes Road	PROJECT ENG/GEOL DA/PR		YARDAGE TODAY N/A			
CONTRACTOR Farell	FOREMAN Jack	WEATHER Clear	YARDAGE TO DATE N/A			

EQUIPMENT **2 - Tracked loaders 2 - Excavator w/ auger + ram lift**

Geopier: On site per clients request to observe and record drilling data during stabilization operations at Geopiers # 38, 735, 35, 41, 736, 208, 201, 121, 114, 39, 202, 207, 473, 474, 472, 737, 204-206, 299, 301, 297, 298.

Farell Construction drills piers to within $\pm 3"$ of design depth or deeper depending on soil type at design depth. Drilling cannot terminate in any type of clean sand. If clean sand is encountered at design depth, drilling is to continue until clayey material has been reached. 24" auger used to drill piers. All pier bottoms observed upon drilled into various silty, clayey sand materials. No clean sand was observed at pier bottoms.

Once drilled, $1\frac{1}{2}"$ aggregate is placed in 1 or more lifts at pier bottom and compacted by ram lift. Class II AB is also placed in lifts of $\frac{1}{4}$ - $12"$ with each lift compacted by ram lift. AB was placed from above. $1\frac{1}{2}"$ aggregate up to bottom of proposed cap. Due to ground water at depth, a 15" steel casing was used at piers #

* See: RAP Quality Control log for additional drilling data related to drill depth, lifts, material type, etc.

		ACTIVITY CODE	HOURS
		540	8
TECHNICIAN (Print) CHRIS WRIGHT	RECEIVED BY (Print) C. Love		
TECHNICIAN (Signature) Chris Wright	RECEIVED BY (Signature) [Signature]		
DISTRIBUTION		TOTAL	

Permit # 614-0015



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	
				POST-GRADING <input checked="" type="checkbox"/>	
JOB NO.	2176.01	CLIENT/PROJECT	Alliance Residential	DAY	Fri.
				DATE	9/18/15
LOCATION/TRACT	27742 Forbes Road Laguna Niguel	PROJECT ENG./GEOL.	DA/PK	YARDAGE TODAY	N/A
CONTRACTOR	Farell	FOREMAN	Jack	WEATHER	Clear
				YARDAGE TO DATE	N/A
EQUIPMENT	2 - Excavators (auger + ram lift)		2 - Tracked loaders		

Geopier: On site as requested to observe and record drilling data during stabilization operations at piers # 490, 540, 501, 523, 478, 500, 531, 539, 527, 489, 512, 535, 394, 707, 390, 709, 393, 708, 389, 710, 392, 388. See Below.*

Operations continue with piers drilled to within +/- 3" design depth using 24" auger attachment. Some signs of case in some observed in pier borings during compaction efforts. Lift thickness increased in sandy case in locations. Observed pier bottoms do not terminate in clean sandy material. Observations include inspection of tailings from bottom of piers. Material varied from silty sandy clay, silty clay and sandy silt/sandy clay. Several drilled piers have penetrated ground water table.

Stabilization operations include one or more lifts of 1 1/2" aggregate at bottom of pier drillings. Aggregate compacted by ram attachment. Multiple lifts of Class II AB are placed by loader and each lift compacted by ram from above 1 1/2" agg. to bottom of proposed cap.

See: RAP Quality Control log for additional Geopier information.

* Additional Piers drilled #	391, 387, 353, 348, 347,	ACTIVITY CODE	HOURS
	341, 351, 352, 342, 346, 349, 350, 345, 344, 343, 203, 475-477, 486-488, 509-511.	540	9.5
TECHNICIAN (Print)	CHRIS WRIGHT	RECEIVED BY (Print)	Harsha Bonny
TECHNICIAN (Signature)	Chris Wright	RECEIVED BY (Signature)	
DISTRIBUTION		TOTAL	

Permit # 614-0015



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO.	CLIENT/PROJECT	DAY	DATE		
2176.01	Alliance Residential	Thur.	9/17/15		
LOCATION/TRACT	PROJECT ENG./GEOL.	YARDAGE TODAY			
27742 Forbes Road Laguna Niguel	DA/PR	N/A			
CONTRACTOR	FOREMAN	WEATHER	YARDAGE TO DATE		
Farell	Jack	Partly Cloudy	N/A		
EQUIPMENT	2 - Tracked Loaders 2 - Excavators (Auger + ram bits)				
<p><u>Geopier:</u> On site as requested to observe drilling/stabilization operations per # 42, 44, 122, 123, 125, 127, 128, 518, 519, 520, 524, 525, 528, 529, 49, 480, 491, 492, 502, 503, 513, 516, 532, 533, 534, 537, 538, 541, 542, 738.</p> <p>Piers drilled w/ 24" auger bit to within 4'-3" design depth. Observed tailings at pier excavation bottom to be clayey silt, clayey sand. Some signs of cave in were observed within pier basement sections with relatively clean sand. Contractor increased lift thickness in these areas. 1 1/2" aggregate placed at bottom of pier and compacted by ram bit. Class II AB placed from top of 1 1/2" agg. to bottom of proposed cap. Each lift compacted w/ ram bit. DCP and BST tests performed by contractor.</p> <p>See: RAP Quality Control Log for drill depths, lifts, material type, etc.</p>					
				ACTIVITY CODE	HOURS
				540	10
TECHNICIAN (Print)	CHRIS WRIGHT	RECEIVED BY (Print)	09/18/2015		
TECHNICIAN (Signature)	Chris Wright	RECEIVED BY (Signature)			
DISTRIBUTION				TOTAL	

Permit # 614-0015 **K**

ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	<input type="checkbox"/>
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential	DAY Wed.	DATE 9/16/15		
LOCATION/TRACT 27742 Fashion Road Laguna Niguel	PROJECT ENG./GEOL. DA/PK	YARDAGE TODAY N/A			
CONTRACTOR Farell	FOREMAN Tach	WEATHER Rain Showers	YARDAGE TO DATE N/A		
EQUIPMENT					
<p><i>On site as requested to observe geosion drilling operations.</i></p> <p><i>Per discussion with Alliance Super Intendant, Farell Construction will be working past rain event. Upon scheduled arrival, contractor has elected not to continue with drilling operations today. Work to resume 9/17/15.</i></p>					
				ACTIVITY CODE	HOURS
				540	2
TECHNICIAN (Print) CHRIS WRIGHT		RECEIVED BY (Print) Harsha Samra			
TECHNICIAN (Signature) <i>Chris Wright</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	

Permit # 614-0015

K

ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING
				POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential	DAY Mon.	DATE 9/14/15	
LOCATION/TRACT 27742 Forbes Road Laguna Niguel	PROJECT ENG./GEOL. DATPK	YARDAGE TODAY	N/A	
CONTRACTOR Farrell	FOREMAN Jack	WEATHER Cloudy	YARDAGE TO DATE	N/A
EQUIPMENT 2 - Excavators 2 - Tracked loaders Skytrak				
<p>Geopier RAP: On site as requested to observe drilling and stabilization operations at gridlines # 1 and H.3, 7 and A, 11.2 and A-H.5, 717 14 and C, 14 and H.3. Piers # 24, 43, 126, 129, 481, 482, 504, 517, 521, 522, 526, 530, 534, 543, 545 and 493.</p> <p>AKA Engineer AJ Atry was on site to observe load testing at test pier # 1 and briefly observe RAP operations. See Mr. Atry's daily field report dated 9/14/15 for further details.</p> <p>482, 504, 517, 521, 526, 530, 534, 543, 545, 493.</p> <p>At piers # 24, 43, 126, 129, 481, 24" auger drills to within 3" or deeper of design depth. Several piers were drilled beyond design depth due to sandy material present at design depth. Material observed at bottom of borings raised from clayey silt - clayey sand - silty clayey sand. 1 1/2" crushed aggregate is placed at bottom of excavated piers and compacted by excavator with ram bit. Class II AB is placed and compacted in lifts by excavator from top of rock (1 1/2") to bottom of prepared cap. Minimal signs of case or wear observed in areas of clean sand. Additional AB is placed in areas of case in</p> <p>A similar operation was performed at piers # 717. Adding the following due to portions of pier drilling penetrating into ground water 15' steel casing pounded around pier. Additional lifts of 1 1/2" aggregate placed at bottom to help stabilize saturated drill bottom. Casing is removed as ram continues pounding 1 1/2" agg / AB.</p> <p>DCP and BST tests were performed by contractor.</p>				
			ACTIVITY CODE	HOURS
			540	10
See: RAP Quality Control log for specific data dated 9/14/15.				
TECHNICIAN (Print) CHRIS WRIGHT	RECEIVED BY (Print) HARSHITA BOMMU.			
TECHNICIAN (Signature) Chris Wright	RECEIVED BY (Signature) [Signature]			
DISTRIBUTION			TOTAL	

Permit # 614-0015



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO			GRADING		
					POST-GRADING	<input checked="" type="checkbox"/>	
JOB NO.	2176.01	CLIENT/PROJECT	Alliance Residential	DAY	Sat.	DATE	9/12/15
LOCATION/TRACT	27742 Farber Road Laguna Niguel		PROJECT ENG./GEOL	DA/PK		YARDAGE TODAY	N/A
CONTRACTOR	Farell	FOREMAN	Jack	WEATHER	Cloudy	YARDAGE TO DATE	N/A
EQUIPMENT	2 - Excavators w/ drill and ram bits						2 - tracked loaders
<p><u>Geopiers:</u> On site per clients request to observe drilling and stabilization operations at gridlines # 6 - 7.7 and 1 - 5.2. Piers # 598-633.</p> <p>Summary staked geopiers were drilled using 24" auger bit to within +/- 3" of design depth. Tailings from bottom of proposed pier ran from silty clayey sand to clayey silt. Observed no signs of significant cone in or sloughing of material in sidewalls.</p> <p>1 1/2" aggregate is placed at bottom of pier. 24" ram bit compacts aggregate. Class II AB is placed above 1 1/2" aggregate in lifts and compacted just bottom of proposed pier cap. DCP and BST tests were performed by contractor.</p> <p>See: RAP Quality Control log for specific data dated 9/12/15.</p>							
					ACTIVITY CODE	HOURS	
					540	8	
TECHNICIAN (Print)	CHRIS WRIGHT		RECEIVED BY (Print)	Harsha Bonmu			
TECHNICIAN (Signature)	Chris Wright		RECEIVED BY (Signature)				
DISTRIBUTION						TOTAL	

Permit #674-0015 **K**

ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO			GRADING POST-GRADING <input checked="" type="checkbox"/>	
JOB NO.	CLIENT/PROJECT	DAY	DATE			
2176.01	Alliance Residential	Fri.	9/11/15			
LOCATION/TRACT	PROJECT ENG/GEOL	YARDAGE TODAY				
27742 Fisher Road Laguna Niguel	DAIPK	N/A				
CONTRACTOR	FOREMAN	WEATHER	YARDAGE TO DATE			
Facrell	Jack	Partly Cloudy	N/A			
EQUIPMENT						
Skid loader 2 - Excavators (auger/ram bits) Tracked loader						

Gespier: On site as requested to observe drilling/stabilization operations at gespier guidelines # 10-11.3 and L-5.2. Including pier # 634-669.

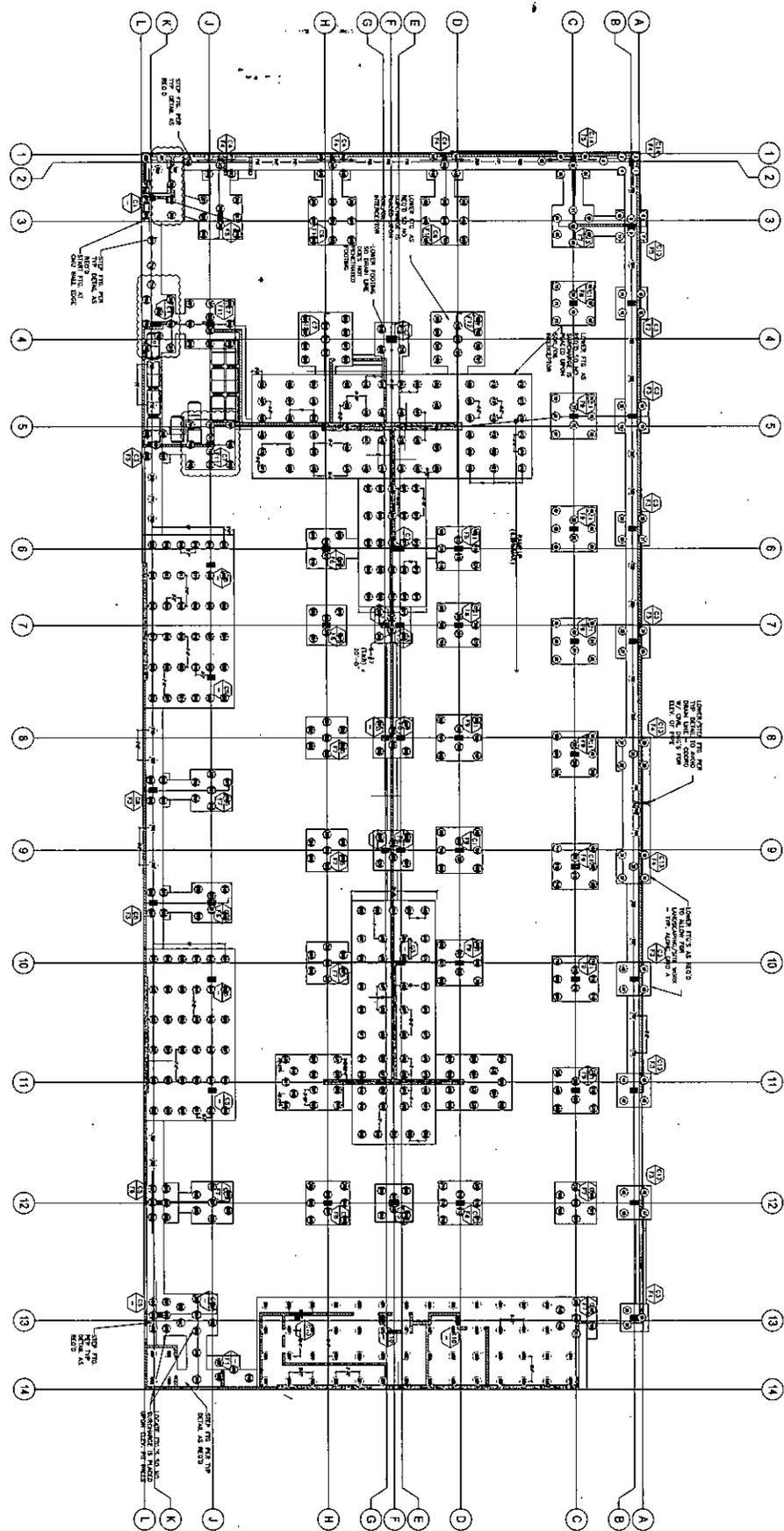
Observed Facrell Construction use a 24" auger to drill pier to within +/- 3" design depth for each pier listed. No visual signs of cave in or sloughing were observed. Material at bottom of drill excavation varied from a silty/clayey sand to a silty sand.

1 1/2" aggregate placed at drill bottom and compacted in place by 24" ram bit. Class II aggregate base is placed in lifts and compacted by ram bit upto bottom of proposed cap. DCP test is performed by contractor results provided to this firm. Pier staking is provided by survey. See data sheet for additional observations made and recorded.

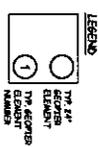
AKA Engineer A.J. Atry was on site to verify recorded observations and operations. Mr. Atry will make periodic visits

		ACTIVITY CODE	HOURS
		540	10
TECHNICIAN (Print) CHRIS WRIGHT		RECEIVED BY (Print) Maisha Bommu	
TECHNICIAN (Signature) Chris Wright		RECEIVED BY (Signature) [Signature]	
DISTRIBUTION		TOTAL	

Geopier Foundation Company, Inc. is a registered professional engineering firm in the State of California. The company is licensed under the Professional Engineering Act of 1967, No. 10000. The company is also a member of the American Society of Civil Engineers (ASCE) and the California Society of Professional Engineers (CSPE). The company is located at 130 Harbour Place Drive, Suite 200, Davisson, North Carolina 28734. The company is also a member of the International Geopier Foundation (IGF).



GEOPIER LOCATION PLAN
 SIZE = 1/8" = 1'-0"



- GEOPIER ADDITIONAL DATA NOTES:**
1. FOOTING CONCRETE SHALL BE PLACED DIRECTLY ON TOP OF EXPOSED GEOPIER ELEMENTS.
 2. ELEMENTS AND PROPOSED UNITS, WITH AND ADJACENT TO THE PROPOSED BUILDING FOOTPRINT SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND COMPARED TO THE GEOPIER MANUFACTURER BEFORE GEOPIER ELEMENT PLAN FOR GEOPIER LOCATION ONLY. PLEASE REFER TO SPECIFICATION SUBSECTION 05100 FOR ADDITIONAL INFORMATION.
 3. GEOPIER ELEMENTS UNDER WALL FOOTINGS AND/OR MISCELLANEOUS FOUNDATION ELEMENTS SHALL BE LOCATED IN THE FIELD AS SPANNING OVER DIMENSIONED FROM CORNER POINTS ESTABLISHED FROM FINISH FLOOR AND/OR ARCHITECTURAL PLANS.

BIS-2610 Signed Copies

PROJECT NUMBER: GOC-196
 DRAWN BY: SMC
 CHECK BY: BCL
 DATE: 12/15/14
 SHEET NUMBER: GP1.1

GEOPIER
 GEOPIER FOUNDATION COMPANY
 130 HARBOUR PLACE DRIVE, SUITE 200
 DAVISSON, NORTH CAROLINA 28734
 FAX: 704/439-1799

CROSSING AT LAGUNA NIGUEL
 LAGUNA NIGUEL, CALIFORNIA



NO.	REV.	DESCRIPTION	DATE	APPROVED

GEOPIER® LOCATION PLAN

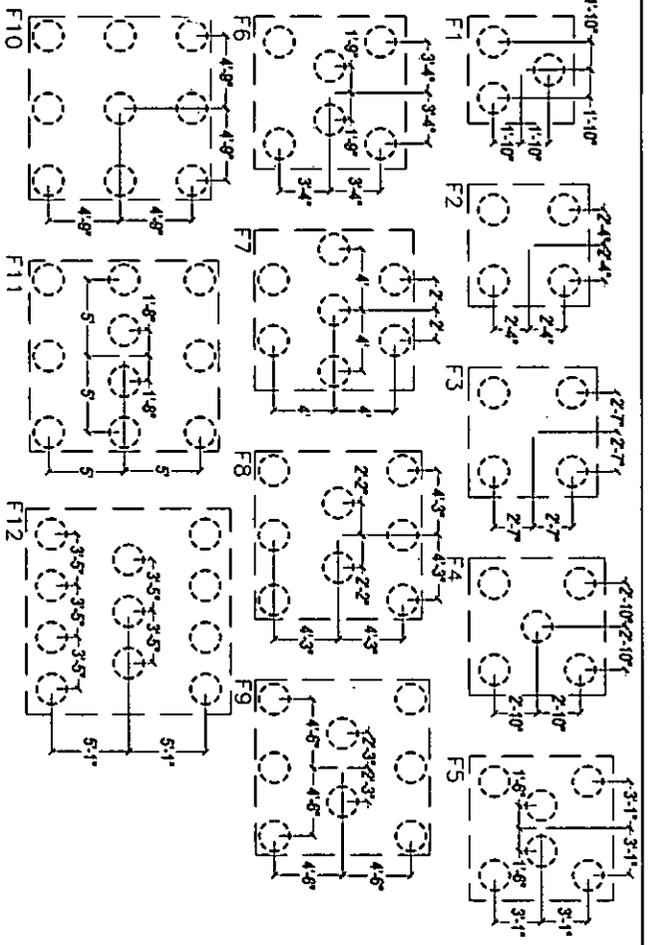
NO.	DATE	BY	REVISION



CROSSING AT LAGUNA NIGUEL
LAGUNA NIGUEL, CALIFORNIA

GEOPIER®
GEOPIER FOUNDATION COMPANY
131 HUNTER CREEK PLACE, DUBLIN, CALIFORNIA 94568
DARLETON, NORTH CAROLINA 28039

PROJECT NAME: GDC-196
OWNER BY: SAUC
DATE: 12/15/14
SHEET NUMBER: GP0.2



① FOOTING DETAILS
See notes on sheet

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	1.00	CU YD	120.00	120.00	1	REINFORCEMENT	1.00	TON	100.00	100.00
2	FORMWORK	1.00	SQ YD	10.00	10.00	2	REINFORCEMENT	1.00	TON	100.00	100.00
3	LABOR	1.00	HOUR	15.00	15.00	3	REINFORCEMENT	1.00	TON	100.00	100.00
4	...	...	...	...	...	4	...	...	...	...	...

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
5	5	...	...	...	...	...
6	6	...	...	...	...	...
7	7	...	...	...	...	...



July 8, 2015

Mr. Dearld Chaffin
Alliance Residential Company
450 Newport Center Drive, Suite 550
Newport Beach, CA 92660

Re: Alliance – Gateway Village, Laguna Niguel

Dear Mr. Chaffin:

We have reviewed a letter from Western Ground Improvement dated 7-8-2015 which lists the estimated static and seismic settlement for the parking structure at the Gateway Village project. Western Ground Improvement is providing the geopiers that are supporting the structure and also provided the soil parameters we used to design the foundation. Based upon their analysis, we understand the geopier supported structure to have a static differential settlement of $\frac{3}{4}$ " and a seismic differential settlement of $\frac{1}{2}$ ", both over a span of 30 feet. The combination of these two values results in a total differential settlement of $1\text{-}\frac{1}{4}$ " which was incorporated into the structural design of the parking structure as described below.

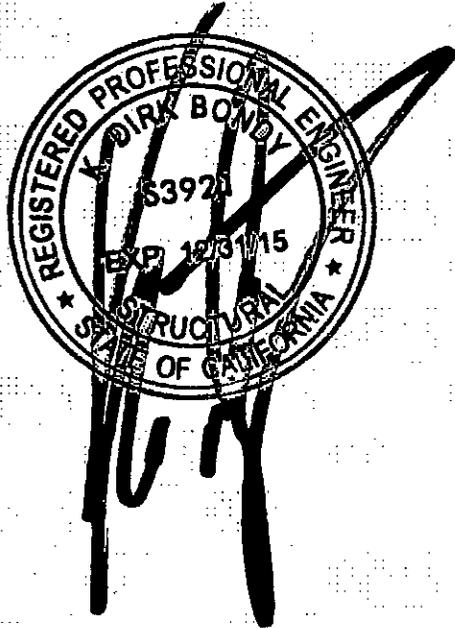
The Gateway Village parking structure is a post-tensioned two way flat plate that utilizes reinforced concrete shear walls as the lateral system. The differential settlement was incorporated into the design with the use of integrity tendons, shear studs and high strength concrete. ACI 318-11 section 18.12.6 requires a minimum of 4 strands to pass through the column core to act as integrity reinforcing during a seismic event. If a punching shear over stress were to occur, the tendons embedded in the column core will provide a catenary type support to maintain life safety of the slab. Our drawings (detail 6/GS1.3) require a minimum of 6 tendons (50% more than required by code) to resist the differential settlement at the project site.

The interaction of the slab and columns will be reinforced with shear studs per sheet GS1.5. The shear studs were designed for the punching shear demands generated by the slab and the potential seismic movement of the structure. The majority of the exterior columns do not require shear studs to resist vertical loads, however, shear studs will be used at all columns to resist the differential settlement. This requirement can be seen on plan note #6 on the "A" structural sheets (GS2.2A, GS2.3A, etc.). The shear studs also have an inherent ductility and energy dissipation which aids in resisting the forces generated from differential settlement.

The post-tensioned slab can resist the vertical load of the building with 4,000 psi concrete. Per sheet GS1.1, the slabs will use 5,000 psi concrete. The higher strength concrete is specified to increase the punching shear resistance and flexural strength due to the potential demands of the differential settlements.

Please feel free to contact me with any other questions.

Sincerely,
SENECA STRUCTURAL ENGINEERING, INC.



K. Dirk Bondy, S.E.
President

KDB/me



July 2, 2015

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, CA 92660

Subject: Gateway Village
27742 Forbes Road
Laguna Niguel, CA 92677

Dear Michael,

We have received and reviewed the Response to City of Laguna Niguel's Review Sheet prepared by Albus-Keefe & Associates, Inc. dated March 12, 2015. In accordance with the request noted in Item #6 of the response, we are providing this letter to confirm that the current design of the residential structures (basement and at-grade portions) has considered the total and differential settlements as stated in Item #6 response of the response letter.

Please contact Peter Le of our office if you have any questions.

Sincerely,

VCA STRUCTURAL:

Tom VanDorpe, S.E.
Senior Principal





August 14, 2015

Mr. Dave Albus, P.E., G.E.

Albus Keefe

Re: Crossing at Laguna Niguel, CA
Static Differential Potential at Parking
Geopier Job No. P13-GDC-00196

Dear Mr. Keefe:

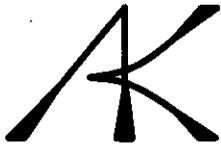
The ground improvement will provide a maximum static differential settlement of $\frac{3}{4}$ inch over 30 feet, as detailed in our submittal calculations. This is based on the design bearing pressures and the structural loads provided by Seneca. The settlements are detailed in our calculations.

Sincerely,

Western Ground Improvement



Ken Hoevelkamp, P.E.
Principal Engineer



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

August 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Geopier Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: *Supplemental Geotechnical Investigation for Garage Structure, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated July 23, 2015 (J.N. 2176.00)*

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Geotechnical Review Sheet, City of Laguna Niguel, dated August 10, 2015.

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Geopier Plans prepared by Geopier Foundation Company, dated August 25, 2015. Our work is based on the referenced reports by this firm.

Based on our review, the Geopier plans conform to our recommendations as presented in the referenced reports as well as the conditions of approval required in the referenced Geotechnical Review Sheet. A representative of this firm should be present during the construction of the Geopiers to confirm the anticipated subsurface conditions conform to the anticipated conditions and that the Geopiers are constructed in accordance with the plans we reviewed.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

August 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Foundation Plans for Residential Structures, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: *Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California*, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Foundation Plans for the residential structures prepared by VCA dated July 16, 2015. Our work is based on the referenced report by this firm.

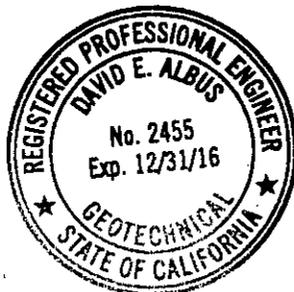
Based on our review, the foundation plans conform to our recommendations as presented in the referenced report. A representative of this firm should be present during the excavation for the foundation system to confirm the anticipated subsurface conditions conform to the anticipated conditions.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-2172

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$506.82
B15-2610 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Geo-Piers related to parking garage			
BUILDING			\$308.77
CBSC FEE			\$1.00
PLAN CHECK			\$197.05
TOTAL FEES PAID BY RECEIPT:R15-2172			\$506.82

Date Paid: Friday, September 11, 2015

Paid By: MICHAEL MCCANN

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 8211





City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD **Suite/Unit:** _____
Applicant/Agent: MARK WILSON **Tract Lot:** _____
Address: _____ **Phone No.:** 949 201-0404
City: _____ **State:** _____ **Zip:** _____ **Email:** MWILSON@ALLRESID.COM

Property Owner: ALLIANCE RESIDENTIAL **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Broadstone Laguna Niguel **Phone No.:** () - _____
Address: 430 Newport City Dr Ste 280
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** B **Expiration:** _____
Workman's Comp. Policy No.: TRUB4245B18713 **Expiration:** _____
Insurance Company (If applicable): TRAVELERS

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Description of Work to be Performed (please be specific):
RD-1549 & RD-2244 - RESPONSE TO HORIZONTAL
COMMENTS FROM GMD REGARDING GEOTECHS
EARTHWORK FOR LIQUIFIABLE ZONE

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B15-2610 Geo Plier</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/4/10</u>
Planning Division:		<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required: _____					
HOA or Property Manager Approval Letter Provided: _____					
OK for Plan Check: _____			Reviewed By:	Date:	
OK for issuance: _____			Reviewed By:	Date:	
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA <u>Nancy</u>	<input checked="" type="checkbox"/> GMU <u>Sent 9/4/15</u>		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
			>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Sign	Type (Circle One)	Size (Sq. Ft.)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				

Antoinette Kulick

From: Nasser Abbaszadeh
Sent: Thursday, September 10, 2015 1:23 PM
To: Antoinette Kulick; Jonathan Orduna
Cc: Gary Hawken; Rick Baar
Subject: RE: Waiver of Encroachment Permit

Hi Everyone,

The encroachment permit requirement is waived for now (given the condition that Rick had stated previously).

Nasser Abbaszadeh, PE
Public Works Director/City Engineer
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949/362-4377

From: Antoinette Kulick
Sent: Thursday, September 10, 2015 1:05 PM
To: Jonathan Orduna
Cc: Nasser Abbaszadeh; Gary Hawken
Subject: RE: Waiver of Encroachment Permit

ok, but he will want an email from Nasser that he saw the emails and he is ok with issuing ☺

Nasser please respond. Thank You.

*Antoinette Kulick, Sr. Permit Technician
Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4329*

From: Jonathan Orduna
Sent: Thursday, September 10, 2015 12:59 PM
To: Antoinette Kulick; Gary Hawken
Cc: Michael McCann; Nasser Abbaszadeh; Rick Baar
Subject: RE: Waiver of Encroachment Permit

Antoinette-

Please verify with Gary that the email chain included below is adequate documentation that an encroachment permit is not required at this time. Thank you.

JONATHAN ORDUNA

Senior Planner
949.362.4357
jorduna@cityoflagunaniguel.org

City of Laguna Niguel | Community Development Department
30111 Crown Valley Parkway | Laguna Niguel, CA 92677

From: Michael McCann [<mailto:mmccann@allresco.com>]
Sent: Thursday, September 10, 2015 12:50 PM
To: Jonathan Orduna; Nasser Abbaszadeh
Cc: Antoinette Kulick
Subject: RE: Waiver of Encroachment Permit

The permits we seek to pull for the geopiers and foundation only permit for the garage are for work that is 100% on site. In other words, there is **no** work/excavation/trenching that will take place in the public right of way related to these permits.

From: Jonathan Orduna [<mailto:JOrduna@cityoflagunaniguel.org>]
Sent: Thursday, September 10, 2015 12:29 PM
To: Michael McCann; Nasser Abbaszadeh
Cc: Antoinette Kulick
Subject: RE: Waiver of Encroachment Permit

Michael-

I have spoken with Rick Baar and he informed me that an encroachment permit is needed if (and only if) any work/excavation/trenching is to take place in the public right of way. Please confirm whether or not such is the case. Thank you.

JONATHAN ORDUNA

Senior Planner
949.362.4357
jorduna@cityoflagunaniguel.org

City of Laguna Niguel | Community Development Department
30111 Crown Valley Parkway | Laguna Niguel, CA 92677

From: Michael McCann [<mailto:mmccann@allresco.com>]
Sent: Thursday, September 10, 2015 12:19 PM
To: Nasser Abbaszadeh
Cc: Jonathan Orduna; Antoinette Kulick
Subject: Waiver of Encroachment Permit

Nasser,

Alliance Residential is working with the City of Laguna Niguel to come in today and pull a permit that will allow us to start the construction of the geopiers that act as part of the foundation for the Broadstone Laguna Niguel project's parking garage. The final requirement indicated in the City's system is an encroachment permit.

During our meeting at the City on July 1st that included Alliance's development and construction teams, Jonathan Orduna, Rick Barr and you, the concept of encroachment permits for onsite work was discussed and ultimately determined as unnecessary. Rick stated that he was comfortable waiving such encroachment permits with the warning that his position would change and such permits would be required if Alliance failed in any of its obligations to keep the streets of Laguna Niguel safe and clean. Alliance has worked very hard to heed Rick's warning.

Given Rick's and your positions at the July 1st meeting, Alliance is respectfully requesting that you sign off or waive the encroachment permit requirement for all onsite work including the geopiers permit we hope to secure at the City this afternoon.

Can you please provide such a waiver at this time?

Regards,

Michael McCann
Alliance Residential
mmccann@allresco.com
949.370.8155

Antoinette Kulick

From: Lisa Bates <lbates@gmugeo.com>
Sent: Friday, September 04, 2015 4:36 PM
To: Antoinette.Kulick
Subject: B14-1549

*Plc changed
to BIS-
2610*

Hello Antoinette,

Per our conversation, the letters sent to us today in regards to this project do address the conditional comments made by GMU in our review sheet dated August 10, 2015. No further review on our part is needed.

Thank you,

Lisa Bates | Associate Geologist, PG, CEG



GMU Geotechnical, Inc.
45 Years of Dedicated Service

O 949.888.6513 | gmugeo.com
F 949.888.1380 | lbates@gmugeo.com

23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
[Linkedin](#) | [map](#)

Rough Grading Release *Geopiers only*

PERMIT NUMBER B14-15

DATE 9/9/15

TRACT _____

LOCATION 27742 Forbes Rd - Alliance

LOTS APPROVED Geopiers Only -

OWNER Alliance Residential Company

Owner's Address 450 Newport Center Dr, Newport Beach, CA

Special requirements Foundation Grids 5.8 - 11.4 by H.S. - L
and 10.5 - 11.4 by G.6 - H.S.

Grading Inspector [Signature]

Grading Supervisor _____



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

Nancy

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B14-1549

DATE: August 10, 2015

COMMENTS

1. Prior to issuance of the building permit, the following plans must be reviewed and signed/review stamped by the geotechnical consultant:
 - a. Foundation and structural;
 - b. Retaining wall; and,
 - c. Geopier.

A portion of the proposed garage will be located at or just above the upper liquefiable zone and may be subject to foundation bearing failure during a significant seismic event. Therefore, as part of the review of the Geopier plans, the Geotechnical Consultant should confirm that the Geopiers will extend below the upper liquefiable layers and will transfer the foundation loads beyond the liquefiable layers and into underlying suitable clay materials.

2. Prior to issuance of the building permit, the structural engineer should submit a letter referencing the geotechnical documents and state that all of the settlements (both static and seismic) have been incorporated into the design of the structure or considered in the design of the structure.

REVIEWED BY:

David Hansen
David Hansen, M.Sc., PE, GE 2336
Senior Geotechnical Engineer

Lisa Bates
Lisa Bates, PG, CEG 2293
Associate Geologist

9/4/15 B15-2010
Sent Geopier
Plan & letter from
Atbus-Koefe
to GMU



July 8, 2015

Mr. Dearld Chaffin
Alliance Residential Company
450 Newport Center Drive, Suite 550
Newport Beach, CA 92660

Re: Alliance – Gateway Village, Laguna Niguel

Dear Mr. Chaffin:

We have reviewed a letter from Western Ground Improvement dated 7-8-2015 which lists the estimated static and seismic settlement for the parking structure at the Gateway Village project. Western Ground Improvement is providing the geopiers that are supporting the structure and also provided the soil parameters we used to design the foundation. Based upon their analysis, we understand the geopier supported structure to have a static differential settlement of $\frac{3}{4}$ " and a seismic differential settlement of $\frac{1}{2}$ ", both over a span of 30 feet. The combination of these two values results in a total differential settlement of $1\text{-}\frac{1}{4}$ " which was incorporated into the structural design of the parking structure as described below.

The Gateway Village parking structure is a post-tensioned two way flat plate that utilizes reinforced concrete shear walls as the lateral system. The differential settlement was incorporated into the design with the use of integrity tendons, shear studs and high strength concrete. ACI 318-11 section 18.12.6 requires a minimum of 4 strands to pass through the column core to act as integrity reinforcing during a seismic event. If a punching shear over stress were to occur, the tendons embedded in the column core will provide a catenary type support to maintain life safety of the slab. Our drawings (detail 6/GS1.3) require a minimum of 6 tendons (50% more than required by code) to resist the differential settlement at the project site.

The interaction of the slab and columns will be reinforced with shear studs per sheet GS1.5. The shear studs were designed for the punching shear demands generated by the slab and the potential seismic movement of the structure. The majority of the exterior columns do not require shear studs to resist vertical loads, however, shear studs will be used at all columns to resist the differential settlement. This requirement can be seen on plan note #6 on the "A" structural sheets (GS2.2A, GS2.3A, etc.). The shear studs also have an inherent ductility and energy dissipation which aids in resisting the forces generated from differential settlement.

The post-tensioned slab can resist the vertical load of the building with 4,000 psi concrete. Per sheet GS1.1, the slabs will use 5,000 psi concrete. The higher strength concrete is specified to increase the punching shear resistance and flexural strength due to the potential demands of the differential settlements.

Please feel free to contact me with any other questions.

Sincerely,
SENECA STRUCTURAL ENGINEERING, INC.



K. Dirk Bondy, S.E.
President

KDB/me



July 2, 2015

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, CA 92660

Subject: Gateway Village
27742 Forbes Road
Laguna Niguel, CA 92677

Dear Michael,

We have received and reviewed the Response to City of Laguna Niguel's Review Sheet prepared by Albus-Keefe & Associates, Inc. dated March 12, 2015. In accordance with the request noted in Item #6 of the response, we are providing this letter to confirm that the current design of the residential structures (basement and at-grade portions) has considered the total and differential settlements as stated in Item #6 response of the response letter.

Please contact Peter Le of our office if you have any questions.

Sincerely,

VCA STRUCTURAL:



Tom VanDorpe, S.E.
Senior Principal



August 14, 2015

Mr. Dave Albus, P.E., G.E.

Albus Keefe

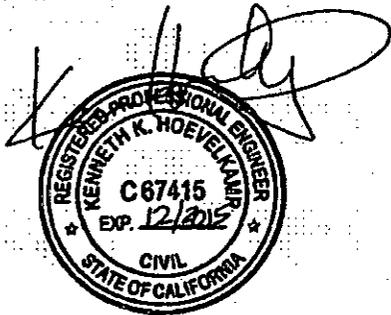
Re: Crossing at Laguna Niguel, CA
Static Differential Potential at Parking
Geopier Job No. P13-GDC-00196

Dear Mr. Keefe:

The ground improvement will provide a maximum static differential settlement of $\frac{3}{4}$ inch over 30 feet, as detailed in our submittal calculations. This is based on the design bearing pressures and the structural loads provided by Seneca. The settlements are detailed in our calculations.

Sincerely,

Western Ground Improvement



Ken Hoevelkamp, P.E.
Principal Engineer

Western Ground Improvement

250 Goddard, Irvine, Ca. 92656

949 218 7032



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

August 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Foundation Plans for Residential Structures, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: *Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California*, by Albus-Keeffe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Dear Mr. McCann,

Albus-Keeffe & Associates, Inc. is pleased to present to you our review of the Foundation Plans for the residential structures prepared by VCA dated July 16, 2015. Our work is based on the referenced report by this firm.

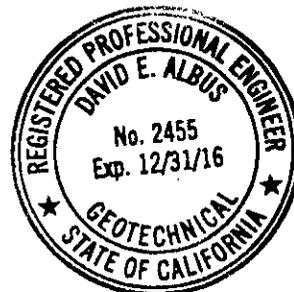
Based on our review, the foundation plans conform to our recommendations as presented in the referenced report. A representative of this firm should be present during the excavation for the foundation system to confirm the anticipated subsurface conditions conform to the anticipated conditions.

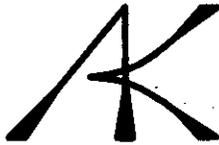
We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

August 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Geopier Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: *Supplemental Geotechnical Investigation for Garage Structure, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated July 23, 2015 (J.N. 2176.00)*

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Geotechnical Review Sheet, City of Laguna Niguel, dated August 10, 2015.

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Geopier Plans prepared by Geopier Foundation Company, dated August 25, 2015. Our work is based on the referenced reports by this firm.

Based on our review, the Geopier plans conform to our recommendations as presented in the referenced reports as well as the conditions of approval required in the referenced Geotechnical Review Sheet. A representative of this firm should be present during the construction of the Geopiers to confirm the anticipated subsurface conditions conform to the anticipated conditions and that the Geopiers are constructed in accordance with the plans we reviewed.

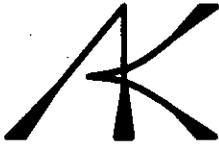
We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

September 8, 2015
J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California

Reference: Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Dear Mr. McCann,

This correspondence is intended to notify you that rough grading for a portion of the proposed parking structure has been completed. The limits under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work generally involved the removal of the upper 2 feet of existing artificial fill materials and fill placement to achieve the desired pad grade. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad area as identified on the attached Plate 1 is deemed suitable for commencement of construction of the Geopiers. Recommendations provided in our referenced report remain applicable to design and construction of the project.

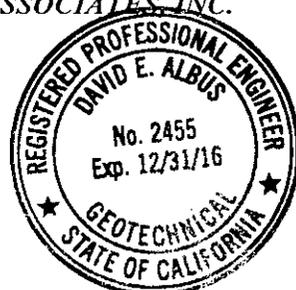
The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455



Enclosure:

Plate 1 - Limits of Approval

BIS-2610
ref
BIS-1549 (garage)

NO.	DATE	BY	REVISION



CROSSING AT LAGUNA NIGUEL
LAGUNA NIGUEL, CALIFORNIA

GEOPIER®
GEOPIER FOUNDATION COMPANY
130 HARBOUR PLACE DRIVE, SUITE 250
DAYTON, NORTH CAROLINA 27526 PH: 704/425-1790
FAX: 704/425-1790

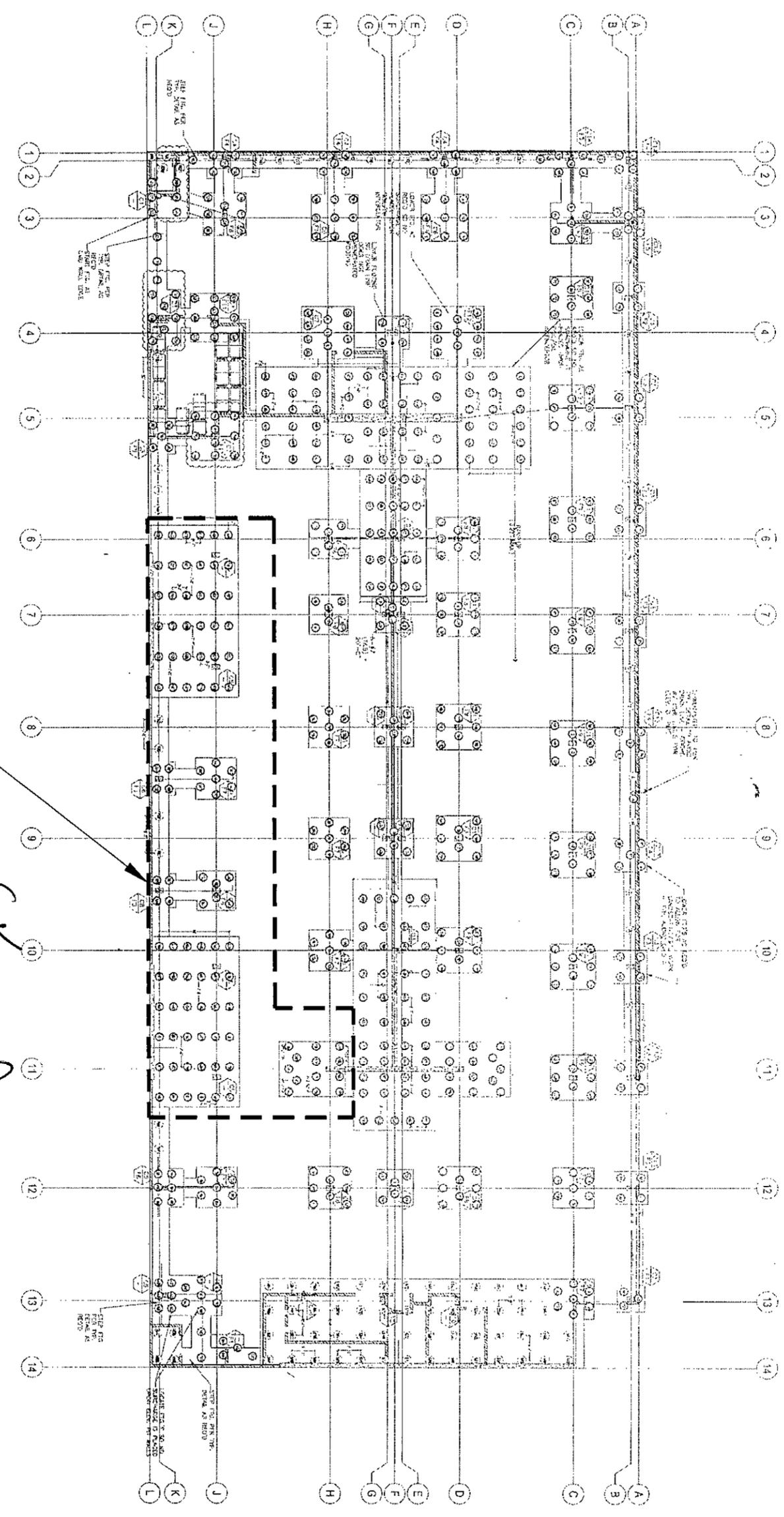
AK
ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

LIMITS OF APPROVAL

Job No: 2176.01 Date: 09/08/15 Plate: 1

See West Stamp Plan

LIMITS OF APPROVAL



NORTH

1 GEOPIER LOCATION PLAN

GEOPIER®

Geopier Foundation Company is a registered provider of continuing education for geotechnical engineers in California. This program has been approved for 1.0 CEU credit. For more information, please contact the American Society of Civil Engineers (ASCE) at 180 Alexander Bell Drive, Reston, VA 20191-4400, USA. Phone: 703/295-6199. Fax: 703/295-6198. Website: www.asce.org. © 2015 Geopier Foundation Company. All rights reserved.

LEGEND

○ 24" DIA. GEOPIER
○ 18" DIA. GEOPIER
○ 12" DIA. GEOPIER

- REVISIONS**
1. APPROVED FOR CONSTRUCTION BY THE CITY OF LAGUNA NIGUEL.
 2. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
 3. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
 4. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
 5. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
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 11. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
 12. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
 13. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.
 14. REVISED TO SHOW THE LOCATION OF THE GEOPIER PIERS.

PROJECT NUMBER: GTC-156
DRAWN BY: SAK
CHECK BY: JCV
DATE: 8/25/15
SHEET NUMBER: GP.1.1



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: **B15-2616**

TRACT: 6081

PROJECT ADDRESS: **27742 FORBES RD**

Lot/PARCEL: 1

27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

PLANNING:

ISSUED: 9/11/2015

DESCRIPTION OF WORK:

Permit for the Geo-Piers related to the parking garage (B14-1549) The Geo-piers will be issued incremental as per Abdullah Sharif's Rough Grade release (dated 9/11/15) The portion of the foundation grids approved by this permit are as follows: 1-3.5 by A-L and 3.5-11.4 by A-D.5 ONLY no other portions of the foundation grids are approved under this permit.

See B15-2610 for construction drawings

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298
APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
BUSINESS: ADDRESS:
ARCH/ENG: ADDRESS:
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS:
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
TRJUB4245B187

PHONE: (949) 706-8460

PHONE:

PHONE:

PHONE: (949) 706-8460

EXPIRES: 5/31/2017

EXPIRES: 9/15/2015



CODE YEAR: 2013

OCCUPANCY TYPE: U Utility Miscellaneous

CONSTR. TYPE: VB

TOTAL VALUATION \$15,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$197.05	\$281.50	\$27.27	\$505.82
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$506.82
			TOTAL FEES PAID	\$506.82

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 9/11/15
Date: 9/11/15

Issued Receipt#: R15-
2173

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form

**requires separate authorization form

Signature: [Signature]

Date: 9/11/15

#2 IDENTIFY WHO WILL PERFORM THE WORK (Con either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 9/11/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that i have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2015
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
72. Drywall Nailing/Firewalls			935. FINAL - WATER QUALITY INSPECTION		
4. Tampo Electrical Service or Pole			934. FINAL - BUILDING & SAFETY		
6. Soil Pipe Underaround			933. Anti-Entrapment Device		
8. Water Pipe Underaround			932. FINAL - OCPA PROJECT FINAL - Name		
9. Sewer Line & House Connect			930. FINAL - OCPA SPRINKLER SYSTEMS - Name		
10. Electrical Conduit Underaround			928. FINAL - GRADING		
14. Gas Line Underaround & Test			927. FINAL - SMOKE DETECTOR/ CO2		
16. Verity Setbacks			926. FINAL - WATER DISTRICT		
18. Footings & Steel			924. FINAL - O.C. HEALTH		
19. UFER			922. FINAL - ENGINEERING/P.W.		
20. Foundation - Slab on Grade			920. FINAL - PLANNING		
21. Post Tension			918. FINAL - RE-ROOF		
22. Steel Reinforce - Retain. Walls			916. FINAL - ACCESSIBILITY REGULATIONS		
24. Pre GROUT Lift 1			914. FINAL - GAS TEST		
26. Pre GROUT Lift 2			912. FINAL - WATER SERVICE		
29. Wall Drainage			910. FINAL - PLUMBING		
30. Floor Plywood Nailing			908. FINAL - MECHANICAL		
32. Sewer Line & House Connect			906. FINAL - SIGN		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test					
40. Hot Mop Shower					
41. Lathine Interior					
42. Lathine Electrical					
44. Rough Mechanical					
46. Fire Dampers					
48. Roof Sheathing					
50. Roof Framing					
51. Approval to Cover Exterior					
52. Shear Walls Interior					
53. Preliminary Shear					
54. Shear Walls Exterior					
55. Preliminary Insulation					
56. Rough Frame & Flashing					
59. OCPA Fire Sprinkler - Rough					
60. T-Bar Calline					
64. Lathine Exterior					
70. Insulation					

Inspections by Dave Mitchell

[Handwritten initials]

2



City of Laguna Niguel
Building Division
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
(949) 362-4360
FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD **Suite/Unit:** _____
Applicant/Agent: MARK WILSON **Tract Lot:** _____
Address: _____ **Phone No.:** 949 201-0404
City: _____ **State:** _____ **Zip:** _____ **Email:** MWILSON@CALDES.CO.COM

Property Owner: ALLANCE RESORTS **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Broadstone Laguna Niguel **Phone No.:** () - _____
Address: 430 Newport City Ave Ste 550
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** B **Expiration:** _____
Workman's Comp. Policy No.: TRUB4245B18713 **Expiration:** _____
Insurance Company (if applicable): Travelers

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Description of Work to be Performed (please be specific):
RD-1549 & RD-2244 - RESPONSE TO ADDITIONAL COMMENTS FROM GMU REGARDING GEOTECHS EARTHQUAKE RESISTIBLE ZONE

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B15-2610 Geo Pier</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/4/15</u>
Planning Division:	YES <input type="checkbox"/> NO <input type="checkbox"/>	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:			Reviewed By:	Date:	
OK for issuance:			Reviewed By:	Date:	
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA <u>Nancy</u>	<input checked="" type="checkbox"/> GMU <u>Sent 9/4/15</u>		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-2173

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$506.82
B15-2616 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Geo-Piers related to parking garage			
			\$506.82
BUILDING			\$308.77
CBSC FEE			\$1.00
PLAN CHECK			\$197.05
TOTAL FEES PAID BY RECEIPT:R15-2173			\$506.82

Date Paid: Friday, September 11, 2015

Paid By: MICHAEL MCCANN

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 8211



Rough Grading Release *Geopiers Only*

PERMIT NUMBER B/4-15

DATE 9/11/15

TRACT _____

LOCATION 27742 Erben Rd - Alliance Residential

LOTS APPROVED Geopiers Only - See Grids below

OWNER Alliance Residential

Owner's Address 450 Newport Center Dr, Ste 550

Special requirements Grids 1-3.5 by A-L and
3.5-11.4 by A-D.5

Grading Inspector [Signature]

Grading Supervisor _____



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO	GRADING	x
		POST-GRADING	

JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# G14 - 0015	DAY: Monday	DATE: 1/11/16
-----------------	--	-------------	---------------

LOCATION/TRACT: 27742 Forbes Road/Laguna Niguel	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A
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CONTRACTOR: Farrell	FOREMAN Jack	WEATHER: Cloudy	YARDAGE TO DATE: N/A
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EQUIPMENT
 2 - Excavators(drill and ram attachments) 2 - Tracked loaders Grade all

Geopier RAP: On site as requested to observe drilling efforts and record drilling data during stabilization operations at piers # 567,563,559,555,551,592,593,588,589,584,580,576,572,568,564,560,556,552,585,581,577 and 573.

The following stabilization operations were performed by Farrell Construction:

- 1) Piers are drilled to within +/- 3" design depth using a 24" auger. Some cave in was observed. See note #5 below.
- 2) #2 stone placed in one or more lifts at RAP bottom with each lift ram compacted
- 3) Material at RAP bottoms consists of sandy clay varying to stiffer silty sandy clay. Piers do not terminate in clean sand. As observed, water table was reached at all locations piers drilled today.
- 4) Steel casing used on all piers drilled today.
- 5) Class II AB placed in several lifts with each lift ram compacted. Various piers with wet material at RAP bottom received additional #2 stone to assist with pier stabilization. Some slight cave in was observed in pockets of clean sand within various pier borings. In these areas, ram time, AB volume, and or lift thickness was increased.
- 6) DCP and BST tests are completed by contractor.
- 6) Any slough generated at RAP bottom during drilling operations was redrilled and measured to within design depth tolerances.
- 7) Ram times average 10+ seconds minimum.

See: RAP Quality Control Log for additional drilling data pertaining to drill depths, material types, # of lifts, etc.

Technician print: Chris Wright.

Received by print: *Harsha Bonner*

Technician signature: *Chris Wright*

Received by signature: *[Signature]*

ACTIVITY CODE	HOURS
540	6



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING X
				POST-GRADING
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# G14 - 0015	DAY: Saturday	DATE: 1/9/16	
LOCATION/TRACT: 27742 Forbes Road/Laguna Niguel	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A		
CONTRACTOR: Farrell	FOREMAN: Jack	WEATHER: Cloudy	YARDAGE TO DATE: N/A	

EQUIPMENT
 2 - Excavators(drill and ram attachments) 2 - Tracked loaders Grade all

Geopier RAP: On site as requested to observe drilling efforts and record drilling data during stabilization operations at piers # 597,590,586,582,578,574,570,566,562,558,554,550,546,591,587,583,579,575 and 571.

- The following stabilization operations were performed by Farrell Construction:
- 1) Piers are drilled to within +/- 3" design depth using a 24" auger. Some cave in was observed. See note #5 below.
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See: RAP Quality Control Log for additional drilling data pertaining to drill depths, material types, # of lifts, etc.

Technician print: Chris Wright.	Received by print: <i>Harsha Bommu</i>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:50%;">ACTIVITY CODE</th> <th style="width:50%;">HOURS</th> </tr> <tr> <td align="center">540</td> <td align="center">8</td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	ACTIVITY CODE	HOURS	540	8		
ACTIVITY CODE	HOURS							
540	8							
Technician signature: <i>Chris Wright</i>	Received by signature:							



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO	GRADING X
		POST-GRADING

JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# G14 - 0015	DAY: Friday	DATE: 1/8/16
-----------------	--	-------------	--------------

LOCATION/TRACT: 27742 Forbes Road/Laguna Niguel	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A
---	----------------------------	--------------------

CONTRACTOR: Farrell	FOREMAN Jack	WEATHER: Clear	YARDAGE TO DATE: N/A
---------------------	--------------	----------------	----------------------

EQUIPMENT
 2 - Excavators(drill and ram attachments) 2 - Tracked loaders Grade all

Geopier RAP: On site as requested to observe drilling efforts and record drilling data during stabilization operations at piers # 46 - 49, 130 - 136, 209 -216, 239 - 244, 303 - 309, (33 piers total).

The following stabilization operations were performed by Farrell Construction:

- 1) Piers are drilled to within +/- 3" design depth using a 24" auger. Some cave in was observed. See note #4 below.
- 2) Material at RAP bottoms consists of sandy clay. Piers do not terminate in clean sand.
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ACTIVITY CODE	HOURS							
540	8.5							
Technician signature: <i>Chris Wright</i>	Received by signature:							



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: **B15-2617**

TRACT: 6081

PROJECT ADDRESS: **27742 FORBES RD**

Lot/PARCEL: 1

27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

PLANNING:

ISSUED: 9/24/2015

DESCRIPTION OF WORK:

Permit for the Geo-Piers related to B14-1549. This permit covers the portion of proposed parking structure, foundation grids, in accordance with Albus-Keefe letter dated September 21, 2015: (and Abdullah's Rough Grade Release)The Geo pier grids approved at this time are as follows: 3.5-5.8 by D.5-L and 5.8 - 11.5 by D.5-G.6

See B15-2610 for construction drawings Other Geo-pier Permits : B15-2610, & B15-2616

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298
APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
BUSINESS: ADDRESS:
ARCH/ENG: ADDRESS:
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS: B
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
TRJUB4245B187

PHONE: (949) 706-8460

PHONE:

PHONE:

PHONE: (949) 706-8460

EXPIRES: 5/31/2017

EXPIRES: 9/15/2016



POLICY#:

CODE YEAR: 2013

OCCUPANCY TYPE: U Utility Miscellaneous

CONSTR. TYPE: VB

TOTAL VALUATION:\$15,000.00

USE TYPE:

USE DESCRIPTION:

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POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$506.82
			TOTAL FEES PAID	\$506.82

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 9/24/15
Date: 9/24/15

Issued Receipt#: R15-
2318

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form

**requires separate authorization form

Signature [Signature]

Date 9/24/15

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

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- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).
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By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

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Policy No. _____
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Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016
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18. Footings & Steel			924. FINAL - O.C. HEALTH		
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32. Sewer Line & House Connect			906. FINAL - SIGN		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			902. FINAL - ELECTRICAL METER RELEASE		
40. Hot Mop Shower			438. P/S FINAL - POOL/SPA		
41. Lathing Interior			436. P/S FINAL - SOLAR SYSTEM		
42. Rough Electrical			434. P/S FINAL - POOL COVER		
44. Rough Mechanical			432. P/S FINAL - ELECTRICAL		
45. Fire Dampers			430. P/S FINAL - PLUMBING		
46. Roof Sheathing			428. P/S FINAL - HEATER & VENT		
48. Roof Framing			424. P/S Approved for Plastering		
50. Roof Framing			422. P/S Pre Deck		
51. Approval to Cover Exterior			420. P/S Fencing & Access Gates		
52. Shear Walls Interior			418. P/S Final Backwash Receptor		
53. Preliminary Shear			416. P/S Backwash Lines, P Trap, Underground		
54. Shear Walls Exterior			414. P/S Gas Pipe Underground Test		
55. Preliminary Insulation			412. P/S Electrical Conduit Underground		
56. Rough Frame & Flashing			410. P/S Approval to Cover - Gunite		
59. OCPA Fire Sprinkler - Rough			402. P/S Pool & Equipment Loc.		
60. T-Bar Ceiling			400. P/S Pre Inspection for Fences		
64. Lathing Exterior					
70. Insulation					

Inspections by David Marshall

1-12-17



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R15-2318

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$506.82
B15-2617 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Geo-Piers related to B14-1549			
BUILDING			\$308.77
CBSC FEE			\$1.00
PLAN CHECK			\$197.05
TOTAL FEES PAID BY RECEIPT:R15-2318			\$506.82

Date Paid: Thursday, September 24, 2015

Paid By: MICHAEL MCCANN

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 2587





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

August 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Foundation Plans for Residential Structures, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: *Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California*, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Foundation Plans for the residential structures prepared by VCA dated July 16, 2015. Our work is based on the referenced report by this firm.

Based on our review, the foundation plans conform to our recommendations as presented in the referenced report. A representative of this firm should be present during the excavation for the foundation system to confirm the anticipated subsurface conditions conform to the anticipated conditions.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455



B15-2610/2616/2617
2618



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

August 28, 2015
J.N.: 2176.00

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Review of Geopier Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: *Supplemental Geotechnical Investigation for Garage Structure, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California*, by Albus-Keefe & Associates, Inc. dated July 23, 2015 (J.N. 2176.00)

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Geotechnical Review Sheet, City of Laguna Niguel, dated August 10, 2015.

Dear Mr. McCann,

Albus-Keefe & Associates, Inc. is pleased to present to you our review of the Geopier Plans prepared by Geopier Foundation Company, dated August 25, 2015. Our work is based on the referenced reports by this firm.

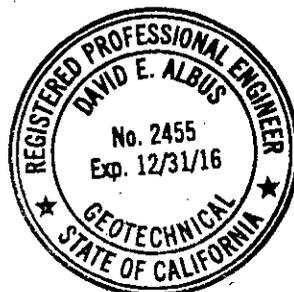
Based on our review, the Geopier plans conform to our recommendations as presented in the referenced reports as well as the conditions of approval required in the referenced Geotechnical Review Sheet. A representative of this firm should be present during the construction of the Geopiers to confirm the anticipated subsurface conditions conform to the anticipated conditions and that the Geopiers are constructed in accordance with the plans we reviewed.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
GE 2455





July 8, 2015

Mr. Dearld Chaffin
Alliance Residential Company
450 Newport Center Drive, Suite 550
Newport Beach, CA 92660

Re: Alliance – Gateway Village, Laguna Niguel

Dear Mr. Chaffin:

We have reviewed a letter from Western Ground Improvement dated 7-8-2015 which lists the estimated static and seismic settlement for the parking structure at the Gateway Village project. Western Ground Improvement is providing the geopiers that are supporting the structure and also provided the soil parameters we used to design the foundation. Based upon their analysis, we understand the geopier supported structure to have a static differential settlement of $\frac{3}{4}$ " and a seismic differential settlement of $\frac{1}{2}$ ", both over a span of 30 feet. The combination of these two values results in a total differential settlement of 1- $\frac{1}{4}$ " which was incorporated into the structural design of the parking structure as described below.

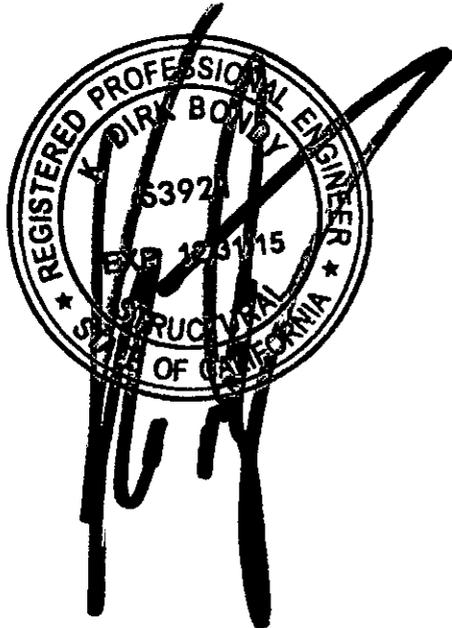
The Gateway Village parking structure is a post-tensioned two way flat plate that utilizes reinforced concrete shear walls as the lateral system. The differential settlement was incorporated into the design with the use of integrity tendons, shear studs and high strength concrete. ACI 318-11 section 18.12.6 requires a minimum of 4 strands to pass through the column core to act as integrity reinforcing during a seismic event. If a punching shear over stress were to occur, the tendons embedded in the column core will provide a catenary type support to maintain life safety of the slab. Our drawings (detail 6/GS1.3) require a minimum of 6 tendons (50% more than required by code) to resist the differential settlement at the project site.

The interaction of the slab and columns will be reinforced with shear studs per sheet GS1.5. The shear studs were designed for the punching shear demands generated by the slab and the potential seismic movement of the structure. The majority of the exterior columns do not require shear studs to resist vertical loads, however, shear studs will be used at all columns to resist the differential settlement. This requirement can be seen on plan note #6 on the "A" structural sheets (GS2.2A, GS2.3A, etc.). The shear studs also have an inherent ductility and energy dissipation which aids in resisting the forces generated from differential settlement.

The post-tensioned slab can resist the vertical load of the building with 4,000 psi concrete. Per sheet GS1.1, the slabs will use 5,000 psi concrete. The higher strength concrete is specified to increase the punching shear resistance and flexural strength due to the potential demands of the differential settlements.

Please feel free to contact me with any other questions.

Sincerely,
SENECA STRUCTURAL ENGINEERING, INC.



K. Dirk Bondy, S.E.
President

KDB/me



July 2, 2015

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, CA 92660

Subject: Gateway Village
27742 Forbes Road
Laguna Niguel, CA 92677

Dear Michael,

We have received and reviewed the Response to City of Laguna Niguel's Review Sheet prepared by Albus-Keefe & Associates, Inc. dated March 12, 2015. In accordance with the request noted in Item #6 of the response, we are providing this letter to confirm that the current design of the residential structures (basement and at-grade portions) has considered the total and differential settlements as stated in Item #6 response of the response letter.

Please contact Peter Le of our office if you have any questions.

Sincerely,

VCA STRUCTURAL:

Tom VanDorpe, S.E.
Senior Principal





August 14, 2015

Mr. Dave Albus, P.E., G.E.

Albus Keefe

Re: Crossing at Laguna Niguel, CA
Static Differential Potential at Parking
Geopier Job No. P13-GDC-00196

Dear Mr. Keefe:

The ground improvement will provide a maximum static differential settlement of $\frac{3}{4}$ inch over 30 feet, as detailed in our submittal calculations. This is based on the design bearing pressures and the structural loads provided by Seneca. The settlements are detailed in our calculations.

Sincerely,

Western Ground Improvement



Ken Hoevelkamp, P.E.
Principal Engineer

PLANNING & ZONE CLEARANCE

This Plan was inspected on 9/24/15 and found to comply with applicable City land-use regulations.

This clearance is only valid for the life of the building permit.

The occupancy of this building shall not be changed from the use stated in the permit application except by issuance of a new Certificate of Use and Occupancy. Deviation from the approved plan shall be cause for stopping construction.

WARNING: This stamp indicates partial review only and does not constitute a building permit.

Laguna Niguel Community Development Department

NOT APPROVED AT THIS TIME

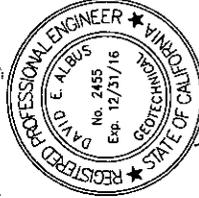
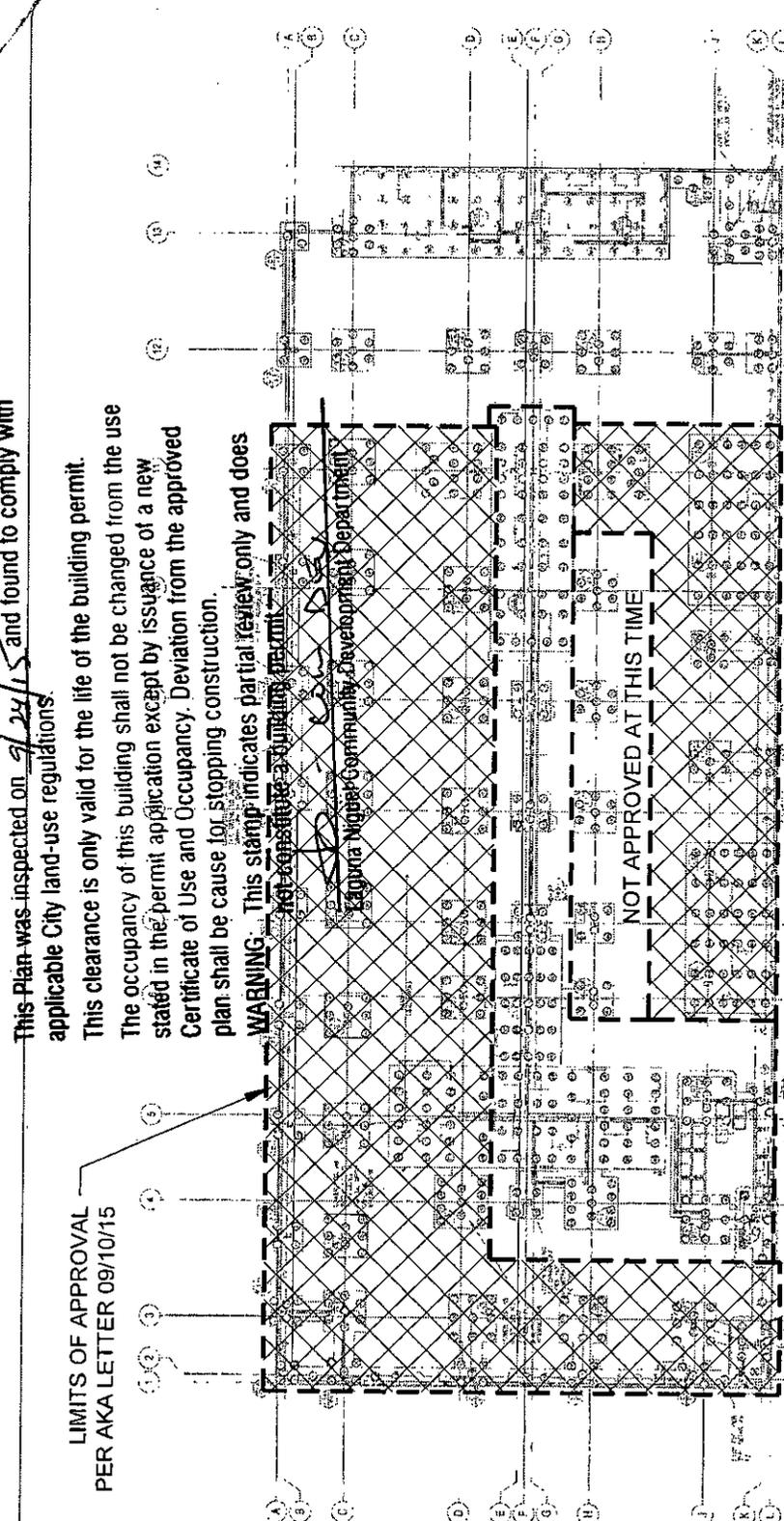
LIMITS OF APPROVAL
PER AKA LETTER 09/10/15

THE CITY OF LAGUNA NIGUEL
APPROVED

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS ON THE PLANS WITHOUT WRITTEN PERMISSION FROM THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF LAGUNA NIGUEL.

THE STAMPING OF THESE PLANS & SPECIFICATIONS PER AKA LETTER 09/08/15 NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VIOLATION OF ANY PROVISION OF ANY CITY ORDINANCE, MANUFACTURES, SPECIFICATIONS OR STATE LAW.

BY AK DATE 9/24/15



AK
ALBUS-KEEFE & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEERS

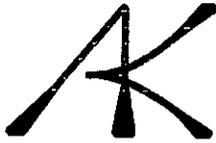
LIMITS OF APPROVAL	
Job No. 2176.01	Date: 09/21/15
Page: 1	

- REVISIONS:
1. CORRECTED: APPROVAL DATE
 2. CORRECTED: APPROVAL DATE
 3. CORRECTED: APPROVAL DATE
 4. CORRECTED: APPROVAL DATE

GEOPHER LOCATION PLAN

GP1.1

B15-2617



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

September 21, 2015
J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California

References: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 10, 2015 (J.N. 2176.01).

Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 8, 2015 (J.N. 2176.01).

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).

Dear Mr. McCann,

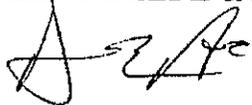
This correspondence is intended to notify you that rough grading for another portion of the proposed parking structure has been completed following some minor restoration work. The limits under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work within the at grade portion of the parking lot structure generally involved the removal of the upper 2 feet of existing artificial fill materials and fill placement to achieve the desired pad grade. Within the below grade level of the parking structure, the parking structure was excavated down to proposed pad grade exposing artificial fill materials and native alluvial soils consistent with the anticipated site conditions presented in our referenced report. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad area as identified on the attached Plate 1 is deemed suitable for commencement of construction of the Geopiers. Recommendations provided in our referenced report remain applicable to design and construction of the project.

The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

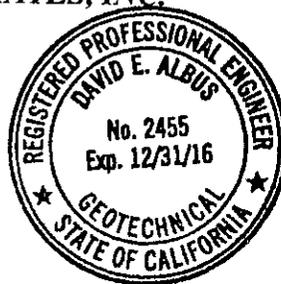
We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
GE 2455



Enclosure:

Plate 1 - Limits of Approval

Rough Grading Release *Geopiers only*

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT _____

LOCATION 27742 Forbes Rd.

~~LOTS APPROVED~~ *For Construction of Geopiers only - See Grids Below*

OWNER Alliance Residential

Owner's Address _____

Special requirements Portion of parking structure - Foundation

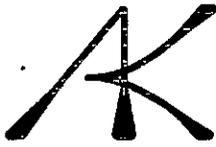
Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6

Grading Inspector *AS*

Grading Supervisor _____

Inspector _____

Supervisor _____



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

September 21, 2015
J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California

References: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 10, 2015 (J.N. 2176.01).

Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 8, 2015 (J.N. 2176.01).

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).

Dear Mr. McCann,

This correspondence is intended to notify you that rough grading for another portion of the proposed parking structure has been completed following some minor restoration work. The limits under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work within the at grade portion of the parking lot structure generally involved the removal of the upper 2 feet of existing artificial fill materials and fill placement to achieve the desired pad grade. Within the below grade level of the parking structure, the parking structure was excavated down to proposed pad grade exposing artificial fill materials and native alluvial soils consistent with the anticipated site conditions presented in our referenced report. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad area as identified on the attached Plate 1 is deemed suitable for commencement of construction of the Geopiers. Recommendations provided in our referenced report remain applicable to design and construction of the project.

The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

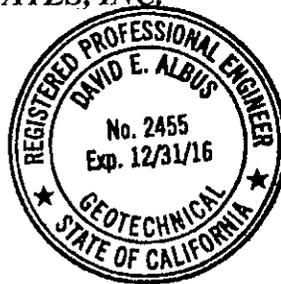
We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
GE 2455



Enclosure:

Plate 1 – Limits of Approval



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: September 22, 2015

PROJECT DESCRIPTION: Parking Structure Partial Rough Grading – GEOPIER PERMIT ONLY

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENT REVIEWED: "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Michael McCann, Alliance Residential



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: G14-015

DATE: September 22, 2015

COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required. As stated in the reviewed letter, the report should include the results of all testing and observation. This report will be required prior to issuance of building permits.

REVIEWED BY: _____


David Hansen, M.Sc., PE, GE 3056
Senior Geotechnical Engineer



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: G14-015

DATE: September 22, 2015

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015, (12) Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD **Suite/Unit:** _____
Applicant/Agent: MARK WILSON **Tract Lot:** _____
Address: _____ **Phone No.:** 949-201-0404
City: _____ **State:** _____ **Zip:** _____ **Email:** MWILSON@ALLRES.CO.COM

Property Owner: ALLIANCE RESIDENTIAL **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Broadstone Laguna Niguel **Phone No.:** () - _____
Address: 430 Newport Ct Vx Ste 530
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** B **Expiration:** _____
Workman's Comp. Policy No.: TGUB4245B18713 **Expiration:** _____
Insurance Company (if applicable): Travelers

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific):
Ed-1549 & Ed-2244 - RESPONSE TO ADDITIONAL COMMENTS FROM GMU REGARDING GEOTECHS EXISTING FRS HAZARDOUS ZONE

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>BIS-2617 Geo Pier</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/15</u>
Planning Division:	YES NO	Submitted does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:			Reviewed By:	Date:	
OK for issuance:			Reviewed By:	Date:	
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA <u>Nancy</u>	<input checked="" type="checkbox"/> GMU <u>sent 9/15</u>		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B15-2618

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1



LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 2/2/2016

DESCRIPTION OF WORK:

Permit for the Geo-Piers related to B14-1549. The Geo-piers will be issued incremental as per Abdullah Sharif's Rough Grade release GEO GRIDS 5.8-10.5 BY G.6-H.5
See B15-2610 for construction drawings

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187 POLICY#:	EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013 CONSTR. TYPE: VB OCCUPANCY TYPE: U Utility Miscellaneous

TOTAL VALUATION: \$15,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$197.05	\$281.50	\$27.27	\$505.82
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$506.82
			TOTAL FEES PAID	\$506.82

Comments:

Planning Approval:
Building Permit Issued By:

Date: 2/2/16
Date: 2/2/16

Issued Receipt#:

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
*requires separate verification form
**requires separate authorization form

Signature: Date: 2/2/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Com either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 2/2/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Driveway Nailing/Firwall		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
5. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Underm.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verify Setbacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S Final - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S Final - PLUMBING		
24. Pre GROUT Lift 1			432. P/S Final - ELECTRICAL		
26. Pre GROUT Lift 2			434. P/S Final - POOL COVER		
29. Wall Drainage			436. P/S Final - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S Final - POOL/SPA		
32. Sewer Line & House Connect			502. Final - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. Final ELECTRICAL		
36. Rough Plumbing/Gas Test			906. Final - SIGN		
40. Hot Tap Shower			908. Final - MECHANICAL		
41. Lathin Interior			910. Final - PLUMBING		
42. Rough Electrical			912. Final - WATER SERVICE		
44. Rough Mechanical			914. Final - GAS TEST		
46. Fire Dampers			916. Final - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. Final - RE-ROOF		
50. Roof Framing			920. Final - PLANNING		
51. Approval to Cover Exterior			922. Final - ENGINEERING/P/W.		
52. Shear Walls Interior			924. Final - O.C. HEALTH		
53. Shear Walls Shear			926. Final - WATER DISTRICT		
54. Shear Walls Exterior			927. Final - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. Final - GRADING		
56. Rough Frame & Flashing			930. Final - OCPA SPRINKLER SYSTEMS -		
59. OCPA Fire Sprinkler - Rough			932. Final - OCPA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. Final - BUILDING & SAFETY		
70. Insulation			935. Final - WATER QUALITY INSPECTION		

7

Rough Grading Release *Geo piers only*

PERMIT NUMBER G14-15 DATE 2/2/16

TRACT Portion of Parking Structure

LOCATION 27742 Forbes Road

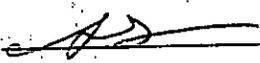
LOTS APPROVED For Construction of Geo piers only

OWNER Alliance Residential

Owner's Address See Grids below

Special requirements Grids 5.8-10.5 by G.6-H.5/11.4-14

by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L

Grading Inspector  Grading Supervisor _____

February 1, 2016

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

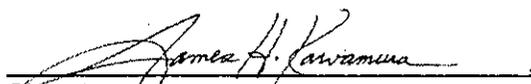
Attention: Abdullah Sharif, City Grading Inspector Subject:

Civil Engineer's (Architects) Certification of Final Grading

Reference Project: Grading Permit No. G14-15
Address: 27742 Forbes Road
Tract No. 2013-141 Lot(s) , inclusive

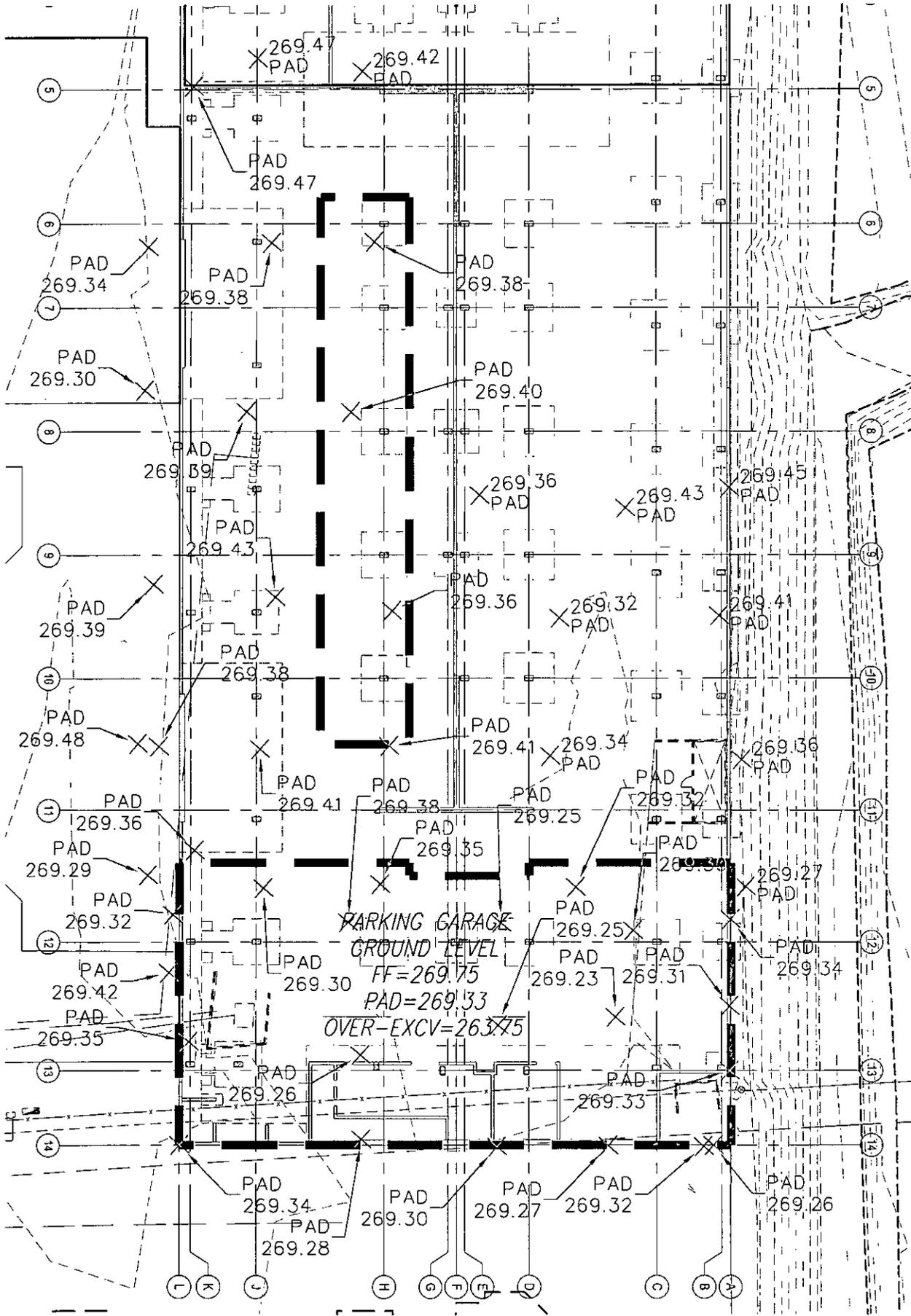
I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading has been completed substantially in conformance with the approved grading plan which includes: grading and ready for paving or construction, staking of property corners for proper building locations, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. The certification of pad is for the inside area created by the perimeter of the following grid line intersection points: Foundation grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L...

The volumes of earth materials moved by cut or fill grading (agrees) with the permitted yardage stated on the approved grading plan.


Signature

(R.C.E # 30560) (AIA #)







ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

January 28, 2016
J.N.: 2176:01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California.

References: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 21, 2015 (J.N. 2176.01).

Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 10, 2015 (J.N. 2176.01).

Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 8, 2015 (J.N. 2176.01).

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).

Dear Mr. McCann,

This correspondence is intended to notify you that rough grading for the remaining portions of the proposed parking structure has been completed following some minor restoration work. The limits of the remaining portions under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work generally involved the removal of the upper 2 feet of existing artificial fill materials, excavation and abandonment of an existing sewer line, and fill placement to achieve the desired pad grade. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad areas, as identified on the attached Plate 1, are deemed suitable for its intended use. Recommendations provided in our

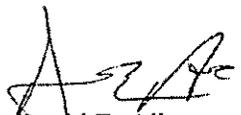
referenced report dated May 15, 2014 remain applicable to design and construction of the project.

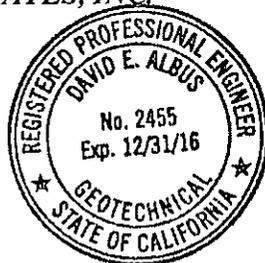
The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.


David E. Albus
Principal Engineer
GE 2455



Enclosure:

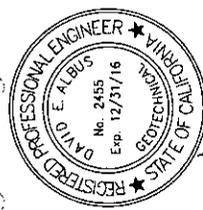
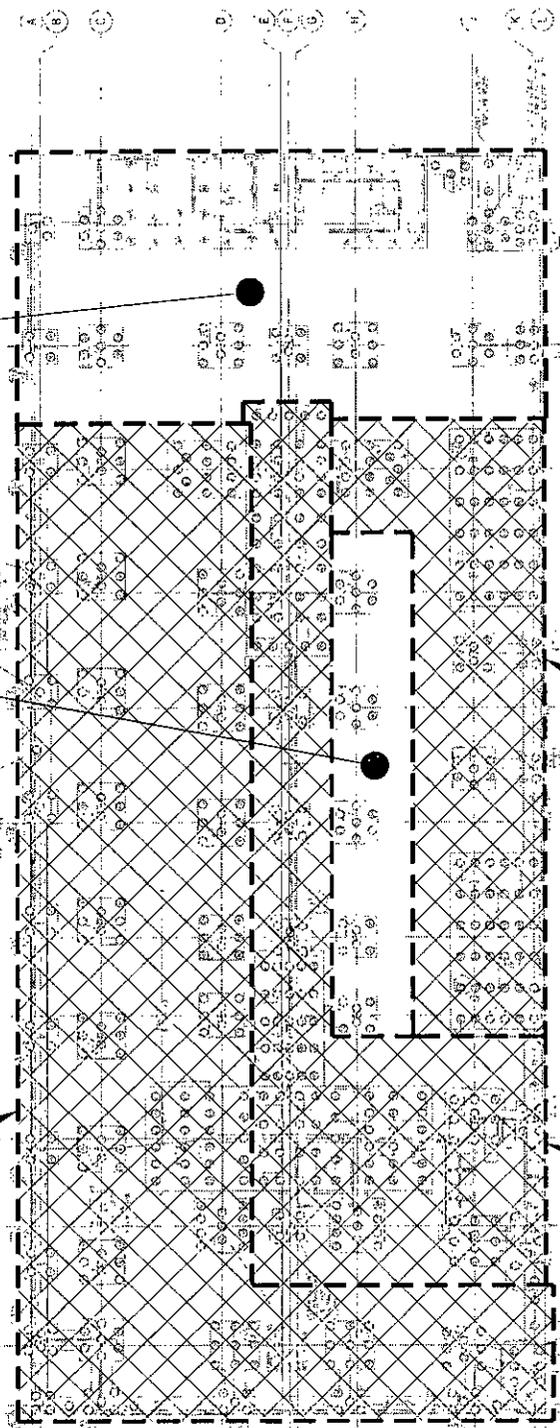
Plate 1 – Limits of Approval

LIMITS OF APPROVAL
PER AKA LETTER 09/10/15

LIMITS OF APPROVAL
PER THIS LETTER

LIMITS OF APPROVAL
PER AKA LETTER 09/14/15

LIMITS OF APPROVAL
PER AKA LETTER 09/08/15



AK
ALBUS-KEEFE & ASSOCIATES, INC.
GEO-TECHNICAL CONSULTANTS

LIMITS OF APPROVAL	
Job No.: 2176.01	Date: 01/28/16
Page: 1	

GEOPIER

MOBILE: (951) 251-1500
GEOPIER LOCATION PLAN

DATE: 01/28/16
BY: [Signature]
CHECKED: [Signature]

GP1.1

CROSSING AT LAGUNA NIQUEL
LAGUNA NIQUEL, CALIFORNIA

GEOPIER
GEOPIER FOUNDATION COMPANY
12100 W. 10TH AVE., SUITE 100
DENVER, CO 80231
PH: 303.751.1500 FAX: 303.751.1501
WWW.GEOPIER.COM

GEOPIER LOCATION PLAN



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD **Suite/Unit:** _____
Applicant/Agent: MARK WILSON **Tract Lot:** _____
Address: _____ **Phone No.:** 949 201-0404
City: _____ **State:** _____ **Zip:** _____ **Email:** MWILSON@CALRES.CO.COM

Property Owner: ALLIANCE RESORTS **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Broadstone Laguna Niguel **Phone No.:** () - _____
Address: 430 Newport City Dr Ste 280
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** B **Expiration:** _____
Workman's Comp. Policy No.: TGUB4245B18713 **Expiration:** _____
Insurance Company (if applicable): Travelers

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Description of Work to be Performed (please be specific):
PH-1549 & PH-2244 - RESPONSE TO ADDITIONAL COMMENTS FROM GMU REGARDING GEOTECHS EATING PEST HOUSIBLE ZONE

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B15-2018 Geo Plier</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/11/15</u>
Planning Division:	YES	NO	Submittal does not constitute Planning Approval		
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:					
OK for issuance:					
Reviewed By: _____ Date: _____					
Reviewed By: _____ Date: _____					
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA <u>Nancy</u>	<input checked="" type="checkbox"/> GMU <u>sent 9/11/15</u>		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Paid Not Issued



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-0137

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$506.82
B15-2618 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Geo-Piers related to B14-1549			
BUILDING			\$308.77
CBSC FEE			\$1.00
PLAN CHECK			\$197.05
TOTAL FEES PAID BY RECEIPT:R16-0137			\$506.82

Date Paid: Tuesday, January 19, 2016

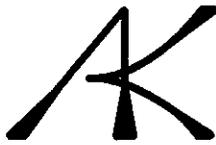
Paid By: MICHAEL MCCANN

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 0206





ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

January 28, 2016
J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California.

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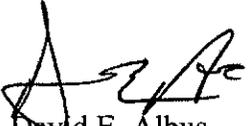
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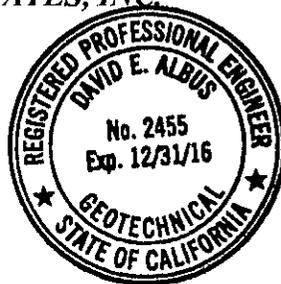
The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

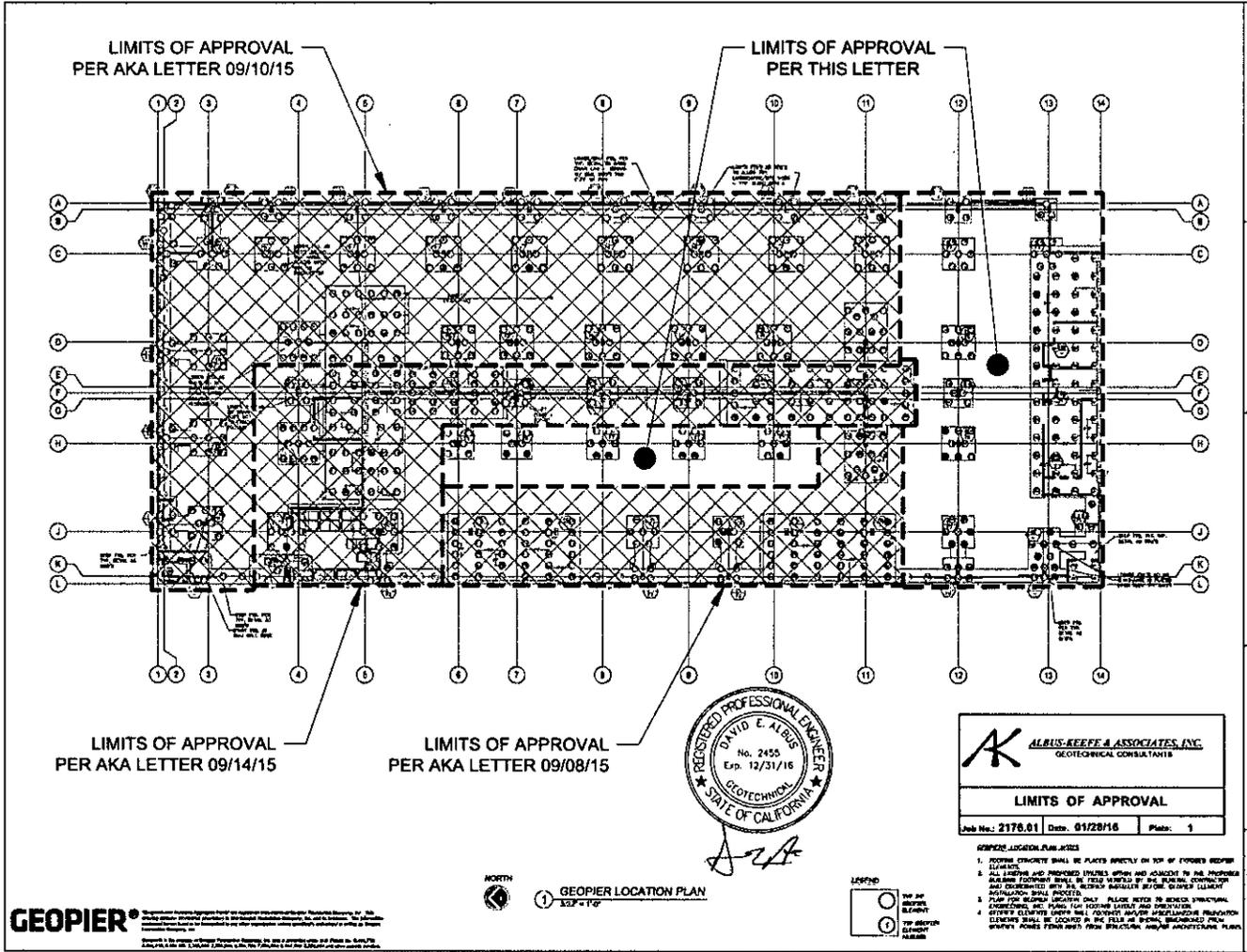
ALBUS-KEEFE & ASSOCIATES, INC.


David E. Albus
Principal Engineer
GE 2455



Enclosure:

Plate 1 – Limits of Approval



LIMITS OF APPROVAL
PER AKA LETTER 09/10/15

LIMITS OF APPROVAL
PER THIS LETTER

LIMITS OF APPROVAL
PER AKA LETTER 09/14/15

LIMITS OF APPROVAL
PER AKA LETTER 09/08/15



ALBUS-KEEFE & ASSOCIATES, INC. GEOTECHNICAL CONSULTANTS		
LIMITS OF APPROVAL		
Job No: 2178.01	Date: 01/28/16	Page: 1

- REVISIONS**
1. FORMS CONCRETE SHALL BE PLACED EXACTLY ON TOP OF FORMED GEOPIER ELEMENTS.
 2. ALL LAYOUT AND PROPOSED SPALLS UPON AND ADJACENT TO THE PROPOSED GEOPIER FOOTINGS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND CORRECTED WITH THE RETAINER ASSEMBLY BEFORE GEOPIER ELEMENT INSTALLATION SHALL PROCEED.
 3. PLAN FOR GEOPIER LOCATIONS ONLY. PLEASE REFER TO SECTORS STRUCTURAL CONSTRUCTION AND FOUNDATION FOR ELEVATION, DEPTH AND DIMENSIONS.
 4. WITH A GEOPIER UNDER THE FOOTING AND/OR SPREADER, PROPOSED ELEMENTS SHALL BE COURED IN THE FIELD AND BEING BRACKETED WITH SPREADER FORMS PERMITTED FROM STRUCTURAL AND FOUNDATION PLANS.

GEOPIER® Registered Service Mark of the International Geopier Institute, Inc. (IGI).
 IGI is a registered trademark of the International Geopier Institute, Inc. (IGI).
 Copyright © 2015 International Geopier Institute, Inc. All rights reserved. IGI and the IGI logo are trademarks of the International Geopier Institute, Inc. (IGI).
 All other trademarks are the property of their respective owners.

NORTH
 1 GEOPIER LOCATION PLAN
 1/2" = 1'-0"



GEOPIER LOCATION PLAN

CROSSING AT LAGUNA NIGUEL
LAGUNA NIGUEL, CALIFORNIA

GEOPIER®
INTERNATIONAL GEOPIER INSTITUTE, INC.

PROJECT NUMBER: 000-198
 DRAWN BY: SMC
 DATE: 01/28/16
 SHEET NUMBER: GP1.1

February 1, 2016

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

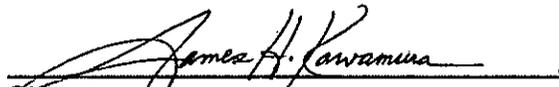
Attention: Abdullah Sharif, City Grading Inspector Subject:

Civil Engineer's (Architects) Certification of Final Grading

Reference Project: Grading Permit No. G14-15
Address: 27742 Forbes Road
Tract No. 2013-141 Lot(s) , inclusive

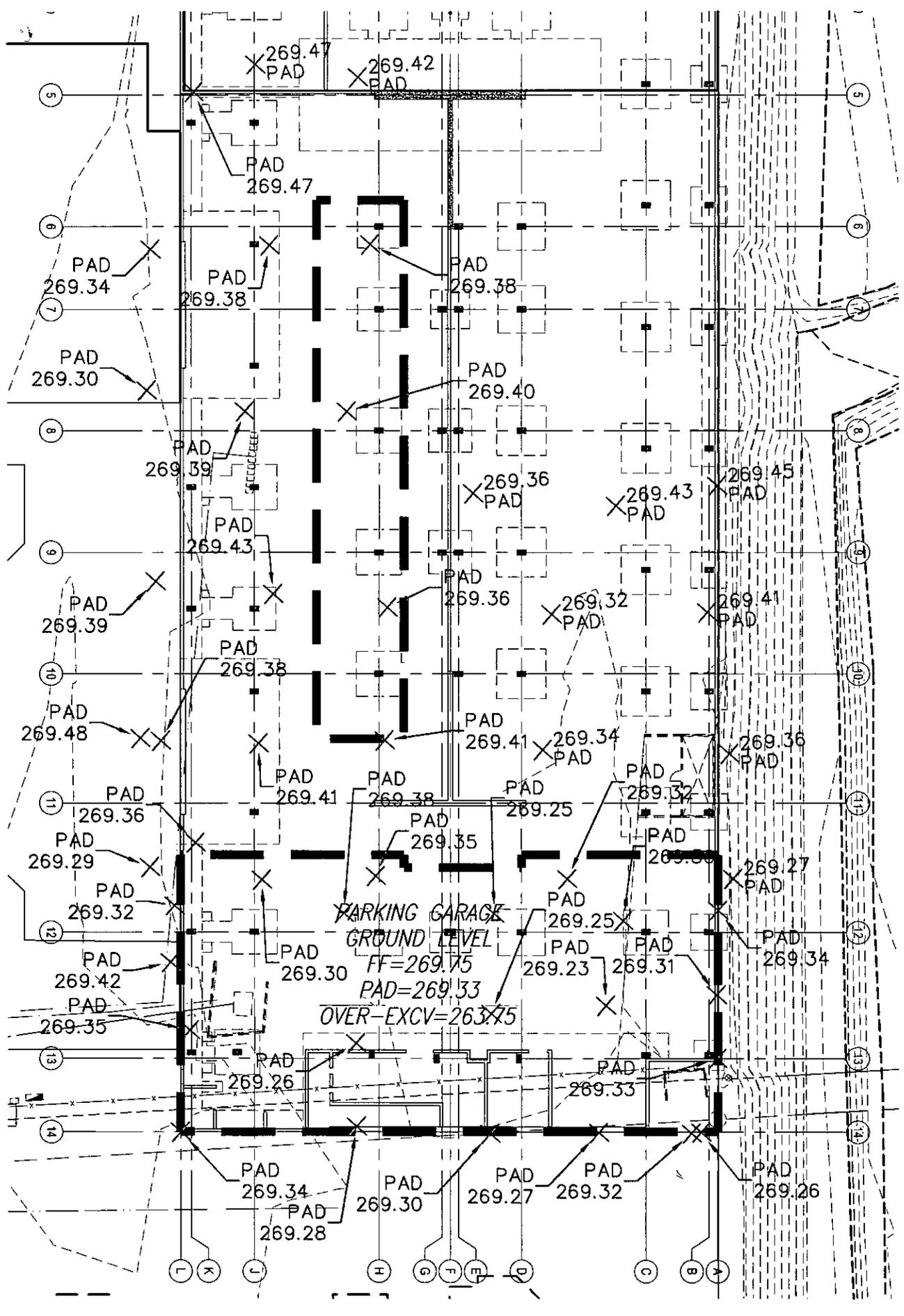
I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading has been completed substantially in conformance with the approved grading plan which includes: grading and ready for paving or construction, staking of property corners for proper building locations, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. The certification of pad is for the inside area created by the perimeter of the following grid line intersection points: Foundation grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L..

The volumes of earth materials moved by cut or fill grading (agrees) with the permitted yardage stated on the approved grading plan.


Signature



(R.C.E # 30560) (AIA #)



PARKING GARAGE
GROUND LEVEL
FF=269.75
PAD=269.33
OVER-EXCV=263.75

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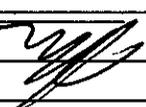
Q

R

S

CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undergrmd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verify Setbacks			418. P/S Final Backwash Receptor		
18. Footings & Steel	1-27-17	DM	420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailin			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCFA SPRINKLER SYSTEMS - Name _____	Id# _____	
59. OCFA Fire Sprinkler - Rough			932. FINAL - OCFA PROJECT FINAL - Name _____	Id# _____	
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY	1-27-17	DM
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC
Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
License Class and No. 897318
Expiration Date: 5/31/2017
Signature:  Date: 2/2/17

#2B OWNER BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) [Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code] or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
 I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)
 I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)
 I am exempt from licensure under the Contractors' State License Law for the following reason:
 By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.
 Property Owner or Authorized Agent signature: _____ Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:
 WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.
 I hereby affirm under penalty of perjury one of the following declarations:
 I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRU482458187 Expiration Date 9/15/2016
 I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

Rough Grading Release *Geo piers only*

PERMIT NUMBER G-14-15 DATE 2/2/16

TRACT Portion of Parking Structure

LOCATION 27742 Forbes Road

LOTS APPROVED For Construction of Geo piers only

OWNER Alliance Residential

Owner's Address See Grids below

Special requirements Grids 5.8-10.5 by G.6-H.5/11.4-14

by A-D.5, 11.53-14 by D.5-G.6, and 11.4-14 by G.6-L

Grading Inspector [Signature]

Grading Supervisor _____

February 1, 2016

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector Subject

Civil Engineer's (Architects) Certification of Final Grading

Reference Project: Grading Permit No. G14-15
Address: 27742 Forbes Road
Tract No. 2013-141 Lot(s) , inclusive

I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading has been completed substantially in conformance with the approved grading plan which includes: grading and ready for paving or construction, staking of property corners for proper building locations, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. The certification of pad is for the inside area created by the perimeter of the following grid line intersection points: Foundation grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L.

The volumes of earth materials moved by cut or fill grading (agrees) with the permitted yardage stated on the approved grading plan.

James H. Kawamura
Signature



(R.C.E # 30560) (AIA #)

20411 SW Birch - Suite 310
Newport Beach, California 92660

(949) 756-6440
Fax (949) 756-6444



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD **Suite/Unit:** _____
Applicant/Agent: MARK WILSON **Tract Lot:** _____
Address: _____ **Phone No.:** (714) 201-0404
City: _____ **State:** _____ **Zip:** _____ **Email:** MWILSON@CALDESIGN.COM

Property Owner: ALLIANCE RESORTS **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Broadstone Laguna Niguel **Phone No.:** () - _____
Address: 430 Newport Ct Apt 5880
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** B **Expiration:** _____
Workman's Comp. Policy No.: TGUB4245B18713 **Expiration:** _____
Insurance Company (if applicable): Travelers

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Description of Work to be Performed (please be specific):
Ed-1549 & Ed-2244 - RESPONSE TO ADDITIONAL COMMENTS FROM GMU REGARDING GEOTIERS EXTENDING INTO LIQUIFIABLE ZONE

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B15-2619</u>	<u>Geo Pier</u>	Received By:	<u>[Signature]</u>	Date:	_____
Planning Division:		<input type="checkbox"/> YES	<input type="checkbox"/> NO	Submittal does not constitute Planning Approval		
HOA or Property Manager Approval Required:						
HOA or Property Manager Approval Letter Provided:						
OK for Plan Check:			Reviewed By:	Date:		
OK for issuance:			Reviewed By:	Date:		
Building Division:						
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<u>Nancy</u>	<input checked="" type="checkbox"/> GMU	<u>Sent 9/15</u>	
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health		<input type="checkbox"/> Grading		

Paid Not Issued



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-0138

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$506.82
B15-2619 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Geo-Piers related to B14-1549			
			\$506.82
BUILDING			\$308.77
CBSC FEE			\$1.00
PLAN CHECK			\$197.05
TOTAL FEES PAID BY RECEIPT:R16-0138			\$506.82

Date Paid: Tuesday, January 19, 2016

Paid By: MICHAEL MCCANN

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 0206





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

September 10, 2015

J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California

References: Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated September 8, 2015 (J.N. 2176.01).

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).

Dear Mr. McCann,

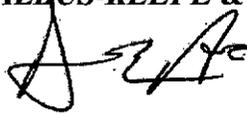
This correspondence is intended to notify you that rough grading for another portion of the proposed parking structure has been completed. The limits under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work within the at grade portion of the parking lot structure generally involved the removal of the upper 2 feet of existing artificial fill materials and fill placement to achieve the desired pad grade. Within the below grade level of the parking structure, the parking structure was excavated down to proposed pad grade exposing artificial fill materials and native alluvial soils consistent with the anticipated site conditions presented in our referenced report. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad area as identified on the attached Plate 1 is deemed suitable for commencement of construction of the Geopiers. Recommendations provided in our referenced report remain applicable to design and construction of the project.

The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



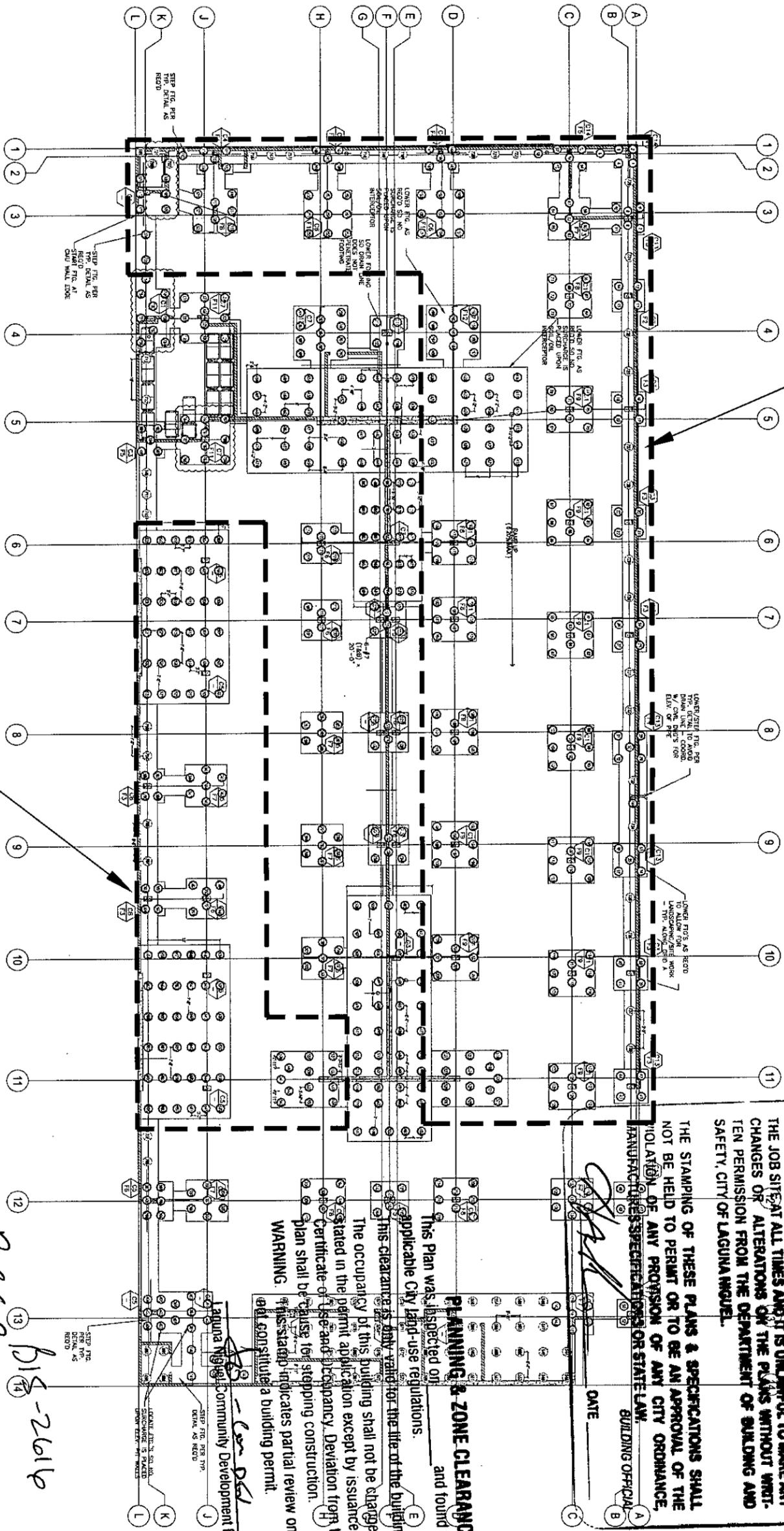
David E. Albus
Principal Engineer
GE 2455



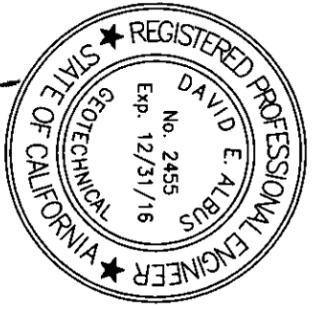
Enclosure:

Plate 1 -- Limits of Approval

LIMITS OF APPROVAL
PER THIS LETTER



LIMITS OF APPROVAL
PER AKA LETTER 09/08/15



NORTH

1 3/32" = 1'-0"
GEOPIER LOCATION PLAN

THE CITY OF LAGUNA NIGUEL
APPROVED

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS ON THE PLANS WITHOUT WRITTEN PERMISSION FROM THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF LAGUNA NIGUEL.

THE STAMPING OF THESE PLANS & SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VIOLATION OF ANY PROVISION OF ANY CITY ORDINANCE, MANUFACTURER'S SPECIFICATIONS OR STATE LAW.

DATE _____
BUILDING OFFICIAL _____

PLANNING & ZONE CLEARANCE
and found to comply with applicable City land-use regulations.

This Plan was inspected on _____ and found to comply with applicable City land-use regulations.

The occupancy of this building shall not be changed from the use stated in the permit application except by issuance of a new Certificate of Use and Occupancy. Deviation from the approved plan shall be cause for stopping construction. This stamp indicates partial review only and does not constitute a building permit.

Laguna Niguel Community Development Department

Ref B15-2610
B15-2616

ALBUS-KEEFE & ASSOCIATES, INC.
GEO-TECHNICAL CONSULTANTS

LIMITS OF APPROVAL

Job No. 2176.01 Date: 09/10/15 Plate: 1

GEOPIER LOCATION PLAN NOTES

1. FOOTING CONCRETE SHALL BE PLACED DIRECTLY ON TOP OF EXPOSED GEOPIER ELEMENTS.
2. ALL EXISTING AND PROPOSED UTILITIES WITHIN AND ADJACENT TO THE PROPOSED BUILDING FOOTPRINT SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES.
3. PLAN FOR GEOPIER LOCATION ONLY. PLEASE REFER TO SEWAGE STRUCTURAL ENGINEERING, INC. PLANS FOR FOOTING LAYOUT AND ORIENTATION.
4. GEOPIER ELEMENTS UNDER WALL FOOTINGS AND/OR MISCELLANEOUS FOUNDATION ELEMENTS SHALL BE LOCKED IN THE FIELD AS SHOWN DIMENSIONED FROM CONTROL POINTS ESTABLISHED FROM STRUCTURAL AND/OR ARCHITECTURAL PLANS.

ZONE	REV	DESCRIPTION	DATE	APPROVED



8/25/15

CROSSING AT LAGUNA NIGUEL
LAGUNA NIGUEL, CALIFORNIA

GEOPIER
GEOPIER FOUNDATION COMPANY
130 HARBOUR PLACE DRIVE, SUITE 280 PH: 704/439-1799
DAVIDSON, NORTH CAROLINA 28036 FAX: 704/439-1799

PROJECT NUMBER
COC-196

DRAWN BY: SKG
CHECKED BY: BCM
DATE: 8/28/15
SHEET NUMBER
GP11.1

GEOPIER

Geopier and Reinforced Aggregate Pier® are registered trademarks of Geopier Foundation Company, Inc. The Geopier Foundation Company, Inc. is a registered trademark of Geopier Foundation Company, Inc. The information contained herein is not to be construed in any other jurisdiction unless specifically authorized in writing by Geopier Foundation Company, Inc.
Geopier® is the property of Geopier Foundation Company, Inc. and is protected under U.S. Patent Nos. 6,425,713; 6,528,813; 6,580,025; 6,580,026; 7,225,545; 7,225,546; 7,225,547; 7,225,548; 7,225,549; 7,225,550; 7,225,551; 7,225,552; 7,225,553; 7,225,554; 7,225,555; 7,225,556; 7,225,557; 7,225,558; 7,225,559; 7,225,560; 7,225,561; 7,225,562; 7,225,563; 7,225,564; 7,225,565; 7,225,566; 7,225,567; 7,225,568; 7,225,569; 7,225,570; 7,225,571; 7,225,572; 7,225,573; 7,225,574; 7,225,575; 7,225,576; 7,225,577; 7,225,578; 7,225,579; 7,225,580; 7,225,581; 7,225,582; 7,225,583; 7,225,584; 7,225,585; 7,225,586; 7,225,587; 7,225,588; 7,225,589; 7,225,590; 7,225,591; 7,225,592; 7,225,593; 7,225,594; 7,225,595; 7,225,596; 7,225,597; 7,225,598; 7,225,599; 7,225,600; 7,225,601; 7,225,602; 7,225,603; 7,225,604; 7,225,605; 7,225,606; 7,225,607; 7,225,608; 7,225,609; 7,225,610; 7,225,611; 7,225,612; 7,225,613; 7,225,614; 7,225,615; 7,225,616; 7,225,617; 7,225,618; 7,225,619; 7,225,620; 7,225,621; 7,225,622; 7,225,623; 7,225,624; 7,225,625; 7,225,626; 7,225,627; 7,225,628; 7,225,629; 7,225,630; 7,225,631; 7,225,632; 7,225,633; 7,225,634; 7,225,635; 7,225,636; 7,225,637; 7,225,638; 7,225,639; 7,225,640; 7,225,641; 7,225,642; 7,225,643; 7,225,644; 7,225,645; 7,225,646; 7,225,647; 7,225,648; 7,225,649; 7,225,650; 7,225,651; 7,225,652; 7,225,653; 7,225,654; 7,225,655; 7,225,656; 7,225,657; 7,225,658; 7,225,659; 7,225,660; 7,225,661; 7,225,662; 7,225,663; 7,225,664; 7,225,665; 7,225,666; 7,225,667; 7,225,668; 7,225,669; 7,225,670; 7,225,671; 7,225,672; 7,225,673; 7,225,674; 7,225,675; 7,225,676; 7,225,677; 7,225,678; 7,225,679; 7,225,680; 7,225,681; 7,225,682; 7,225,683; 7,225,684; 7,225,685; 7,225,686; 7,225,687; 7,225,688; 7,225,689; 7,225,690; 7,225,691; 7,225,692; 7,225,693; 7,225,694; 7,225,695; 7,225,696; 7,225,697; 7,225,698; 7,225,699; 7,225,700; 7,225,701; 7,225,702; 7,225,703; 7,225,704; 7,225,705; 7,225,706; 7,225,707; 7,225,708; 7,225,709; 7,225,710; 7,225,711; 7,225,712; 7,225,713; 7,225,714; 7,225,715; 7,225,716; 7,225,717; 7,225,718; 7,225,719; 7,225,720; 7,225,721; 7,225,722; 7,225,723; 7,225,724; 7,225,725; 7,225,726; 7,225,727; 7,225,728; 7,225,729; 7,225,730; 7,225,731; 7,225,732; 7,225,733; 7,225,734; 7,225,735; 7,225,736; 7,225,737; 7,225,738; 7,225,739; 7,225,740; 7,225,741; 7,225,742; 7,225,743; 7,225,744; 7,225,745; 7,225,746; 7,225,747; 7,225,748; 7,225,749; 7,225,750; 7,225,751; 7,225,752; 7,225,753; 7,225,754; 7,225,755; 7,225,756; 7,225,757; 7,225,758; 7,225,759; 7,225,760; 7,225,761; 7,225,762; 7,225,763; 7,225,764; 7,225,765; 7,225,766; 7,225,767; 7,225,768; 7,225,769; 7,225,770; 7,225,771; 7,225,772; 7,225,773; 7,225,774; 7,225,775; 7,225,776; 7,225,777; 7,225,778; 7,225,779; 7,225,780; 7,225,781; 7,225,782; 7,225,783; 7,225,784; 7,225,785; 7,225,786; 7,225,787; 7,225,788; 7,225,789; 7,225,790; 7,225,791; 7,225,792; 7,225,793; 7,225,794; 7,225,795; 7,225,796; 7,225,797; 7,225,798; 7,225,799; 7,225,800; 7,225,801; 7,225,802; 7,225,803; 7,225,804; 7,225,805; 7,225,806; 7,225,807; 7,225,808; 7,225,809; 7,225,810; 7,225,811; 7,225,812; 7,225,813; 7,225,814; 7,225,815; 7,225,816; 7,225,817; 7,225,818; 7,225,819; 7,225,820; 7,225,821; 7,225,822; 7,225,823; 7,225,824; 7,225,825; 7,225,826; 7,225,827; 7,225,828; 7,225,829; 7,225,830; 7,225,831; 7,225,832; 7,225,833; 7,225,834; 7,225,835; 7,225,836; 7,225,837; 7,225,838; 7,225,839; 7,225,840; 7,225,841; 7,225,842; 7,225,843; 7,225,844; 7,225,845; 7,225,846; 7,225,847; 7,225,848; 7,225,849; 7,225,850; 7,225,851; 7,225,852; 7,225,853; 7,225,854; 7,225,855; 7,225,856; 7,225,857; 7,225,858; 7,225,859; 7,225,860; 7,225,861; 7,225,862; 7,225,863; 7,225,864; 7,225,865; 7,225,866; 7,225,867; 7,225,868; 7,225,869; 7,225,870; 7,225,871; 7,225,872; 7,225,873; 7,225,874; 7,225,875; 7,225,876; 7,225,877; 7,225,878; 7,225,879; 7,225,880; 7,225,881; 7,225,882; 7,225,883; 7,225,884; 7,225,885; 7,225,886; 7,225,887; 7,225,888; 7,225,889; 7,225,890; 7,225,891; 7,225,892; 7,225,893; 7,225,894; 7,225,895; 7,225,896; 7,225,897; 7,225,898; 7,225,899; 7,225,900; 7,225,901; 7,225,902; 7,225,903; 7,225,904; 7,225,905; 7,225,906; 7,225,907; 7,225,908; 7,225,909; 7,225,910; 7,225,911; 7,225,912; 7,225,913; 7,225,914; 7,225,915; 7,225,916; 7,225,917; 7,225,918; 7,225,919; 7,225,920; 7,225,921; 7,225,922; 7,225,923; 7,225,924; 7,225,925; 7,225,926; 7,225,927; 7,225,928; 7,225,929; 7,225,930; 7,225,931; 7,225,932; 7,225,933; 7,225,934; 7,225,935; 7,225,936; 7,225,937; 7,225,938; 7,225,939; 7,225,940; 7,225,941; 7,225,942; 7,225,943; 7,225,944; 7,225,945; 7,225,946; 7,225,947; 7,225,948; 7,225,949; 7,225,950; 7,225,951; 7,225,952; 7,225,953; 7,225,954; 7,225,955; 7,225,956; 7,225,957; 7,225,958; 7,225,959; 7,225,960; 7,225,961; 7,225,962; 7,225,963; 7,225,964; 7,225,965; 7,225,966; 7,225,967; 7,225,968; 7,225,969; 7,225,970; 7,225,971; 7,225,972; 7,225,973; 7,225,974; 7,225,975; 7,225,976; 7,225,977; 7,225,978; 7,225,979; 7,225,980; 7,225,981; 7,225,982; 7,225,983; 7,225,984; 7,225,985; 7,225,986; 7,225,987; 7,225,988; 7,225,989; 7,225,990; 7,225,991; 7,225,992; 7,225,993; 7,225,994; 7,225,995; 7,225,996; 7,225,997; 7,225,998; 7,225,999; 7,226,000.



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381

REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY

Inspection Cancellation or Rescheduling: (949) 362-4334

Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

Approval of this permit does not relieve the property owner of any responsibility to obtain permission from their property management (HOA) before construction.

CITY OF LAGUNA NIGUEL

Community Development

Department

30111 Crown Valley Pkwy

Laguna Niguel, CA 92677

Tel. (949) 362-4360

Fax. (949) 362-4369

www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: B15-2775

TRACT: 6081

PROJECT ADDRESS: 27742 FORBES RD

Lot/PARCEL: 1

27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

PLANNING:

ISSUED: 9/30/2015

DESCRIPTION OF WORK:

Permit for a retaining wall in reference to lower level parking structure. Needed to complete grading/geo piers. Field verify for code compliance.

OWNER: BROADSTONE LAGUNA NIGUEL LLC

ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298

APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC

PHONE: (949) 706-8460

ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC

ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

PHONE: (949) 706-8460

LICENSE #: 897318 CLASS:

EXPIRES: 5/31/2017

WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA

POLICY#:

EXPIRES: 9/15/2016

ARCH/ENG: TRJUB4245B187

PHONE:

ADDRESS:

BUSINESS:

PHONE:

CODE YEAR: 2013

OCCUPANCY TYPE: R2 Residential Multiple Family

CONSTR. TYPE: IB

TOTAL VALUATION: \$5,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$90.30	\$129.00	\$27.27	\$246.57
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$247.57
			TOTAL FEES PAID	\$247.57

Comments:

Planning Approval:

Building Permit Issued By:

Date: 9/30/15

Date: 9/30/15

Issued Receipt#: R15

2399

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form

**requires separate authorization form

Signature:

Date: 9/30/15



#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

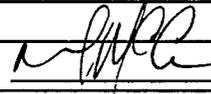
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 9/30/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undernd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verify Setbacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - O.C.FA SPRINKLER SYSTEMS -		
59. O.C.FA Fire Sprinkler - Rough			932. FINAL - O.C.FA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd. **Suite/Unit:** _____
Applicant/Agent: Michael McCann **Tract Lot:** _____
Address: _____ **Phone No.:** (949) 370 8155
City: _____ **State:** _____ **Zip:** _____ **Email:** m.mccann@allresco.com

Property Owner: Alliance **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____
State License No.: _____ **Class:** _____ **Expiration:** _____
Workman's Comp. Policy No.: _____ **Expiration:** _____
Insurance Company (If applicable): _____

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific): Retaining wall in reference to lower level parking structure. Needed to complete grading/geopiers

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>1315-2775</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/28/15</u>
Planning Division:		<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:				Reviewed By:	Date:
OK for issuance:				Reviewed By:	Date:
Building Division:					
<input checked="" type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Permit No: _____

Signs	Type (Circle One)	Size (Sq. Ft.)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

STRUCTURAL CALCULATIONS

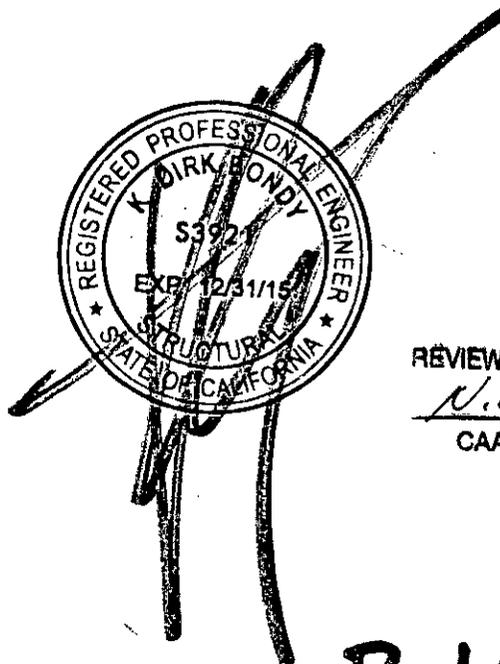
for

Gateway Village Apartments
Parking Structure

prepared by:

SENECA STRUCTURAL ENGINEERING, INC.
23276 South Pointe Drive, Suite 209
Laguna Hills, CA 92653

Submitted June 24, 2014



STRUCTURAL
REVIEWED FOR CODE COMPLIANCE
N. Chy 8/2/15
CAA DATE

B14-1540



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-2399

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$247.57
B15-2775 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Retaining wall in reference to parking garage grading			\$247.57
BUILDING			\$156.27
CBSC FEE			\$1.00
PLAN CHECK			\$90.30
TOTAL FEES PAID BY RECEIPT:R15-2399			\$247.57

Date Paid: Wednesday, September 30, 2015

Paid By: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 2587





City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
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 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd. **Suite/Unit:** _____
Applicant/Agent: Michael McLann **Tract Lot:** _____
Address: _____ **Phone No.:** (949) 370.8155
City: _____ **State:** _____ **Zip:** _____ **Email:** mmecann@allresco.com

Property Owner: Alliance **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____
State License No.: _____ **Class:** _____ **Expiration:** _____
Workman's Comp. Policy No.: _____ **Expiration:** _____
Insurance Company (if applicable): _____

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific): Retaining wall in reference to lower level parking structure. Needed to complete grading/geopiers

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>1315-2775</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/28/15</u>
Planning Division:	HOA or Property Manager Approval Required:	YES	NO	Submittal does not constitute Planning Approval	
	HOA or Property Manager Approval Letter Provided:				
	OK for Plan Check:			Reviewed By:	Date:
	OK for issuance:			Reviewed By:	Date:
Building Division:	<input checked="" type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU	
	<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading	

no PIC taken



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	x						
				POST-GRADING							
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# B15-2775	DAY: Monday	DATE: 1/11/16								
LOCATION/TRACT: 27742 Forbes Road Laguna Niguel		PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A								
CONTRACTOR: RC Grading	FOREMAN: Ryan	WEATHER: Cloudy	YARDAGE TO DATE: N/A								
Skid loader. Steel drum vibratory compactor Wacker											
<p><u>Retaining Wall B/F:</u> On site per clients request for observation and dry density testing of backfill placed north of podium retaining wall along Getty Drive.</p> <p>Waterproofing was applied to wall surface. Drain board is attached to wall. Collector cell runs +/- 3' - 4' above bottom of wall(per structural engineer design). No additional drainage at bottom of wall. Collector cell ties into localized 4" storm drain pipes.</p> <p>Contractor placed 2' - 2.5' of 3/4" aggregate at bottom of wall due to limited access. Per discussion with Alliance Super Intendant Gary Love and AKA Engineer Dave Albus, Mifafi fabric is not required between 3/4" aggregate and soil in this area. Aggregate was previously consolidated by mechanical vibration. Above aggregate, false slope to the north is benched roughly 8' off wall into native and previously placed fill. Limits marked on plans. On site material covers aggregate. Fill is placed in lifts. Material does not appear to need moisture conditioning as insitu moisture content is currently above OMC. Skid loader spreads and grades fill. Wacker compacts against wall. Steel vibratory roller compacts fill.</p> <p>Due to mechanical problems, loader was unable to place sufficient fill depth for testing purposes. Operations to resume 1/12/16. Testing and observations will resume 1/12/16.aq</p>											
Technician print: Chris Wright.	Received by print: <i>Hanra Bauer</i>		<table border="1"><thead><tr><th>ACTIVITY CODE</th><th>HOURS</th></tr></thead><tbody><tr><td>579.1</td><td>3</td></tr><tr><td></td><td></td></tr></tbody></table>			ACTIVITY CODE	HOURS	579.1	3		
ACTIVITY CODE	HOURS										
579.1	3										
Technician signature: <i>Chris Wright</i>	Received by signature: <i>[Signature]</i>										



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	X
JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential	Permit# B15-2775	DAY Tuesday	DATE 1-12-16	
LOCATION/TRACT 27742 Forbes Road, Laguna Niguel		PROJECT ENG/GEOL DA/PK	YARDAGE TODAY N/A		
CONTRACTOR	FOREMAN	WEATHER Clear	YARDAGE TO DATE N/A		
EQUIPMENT Paver, 2-vibratory Rollers, Skip Loader					
<p><u>Aggregate Base:</u> On site per request to provide density test results for existing AB at off site parking area north of Cape Drive(adjacent business). See plans for limits.</p> <p>Prior to AKA's arrival, contractor has removed existing AC and exposed CAB below. Subgrade was not exposed nor is depth of AB structural section known. Observations indicate 3" - 5" AB section localized. AB was grade by skip loader and compacted by vibratory roller. One AB sample was collected and taken to AKA lab for further testing. Density tests performed are pending lab results and review by this firm's Engineering department.</p> <p><u>Asphalt Lay down:</u> Briefly observed placement and compaction efforts of AC above CAB within AB limits mentioned in the previous text. 4" AC is spread by paver and compacted by 2 - vibratory rollers. Tack emulsion applied to AC/AC contact points. Currently, many edges of pavement terminate into soil. No borders. AC Plant max. was provided by contractor. Using provided plant max., density tests at 95% RC or higher.</p>					
				ACTIVITY CODE	HOURS
				578.1	1
				585	1
TECHNICIAN (Print) Chris Wright		RECEIVED BY (Print) <i>Harsha Ponnuru</i>			
TECHNICIAN (Signature) <i>Chris Wright</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	2



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	<input checked="" type="checkbox"/>
				POST-GRADING	<input type="checkbox"/>
JOB NO. 217601	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 1/27/10		
LOCATION/TRACT 20742 FORBE'S RD	LABORER LORAINA NEQUIEL	PROJECT ENG./GEOL DA PK	YARDAGE TODAY		
CONTRACTOR	FOREMAN	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT					
<p>MEET WITH MR DAVE ALBUS TO GET RECOMMENDATIONS FOR RETAINING WALL BACKFILL ADJACENT NORTH SIDE OF CLUB HOUSE. MR ALBUS OK'D USING 3/4 ROCK TO BACKFILL ALONG WALL IN (2) LOCATIONS. 3/4 ROCK PLACED IN 2 FOOT LIFT THEN COMPACTED UNTIL SUB CONTRACTOR REACHES ELEVATION THATS 3 FEET BELOW PAD GRADE. UPPER (3) FEET OF PAD GRADE TO BE BACK FILLED WITH ON SITE NATIVE MATERIALS. ALSO ALL LOOSE YIELDING SOILS TO BE REMOVED TO FIRM & UNYIELDING CONDITIONS. SUPERINTENDANT SAID GRADING CONTRACTOR WILL START TOMORROW.</p>					
				ACTIVITY CODE	HOURS
				571	2
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Haisha Brown			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	2



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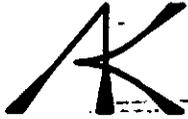
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				POST-GRADING <input type="checkbox"/>	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RES.		DAY WED	
LOCATION/TRACT 27742 FRANCES RD		PROJECT ENG./GEOL D.A.		DATE 11/27/14	
CONTRACTOR LOUISIANA NICHOL		FOREMAN J		WEATHER	
EQUIPMENT		YARDAGE TODAY		YARDAGE TO DATE	
<p>ON-SITE AS REQUESTED TO OBSERVE FOOTING EXCAVATIONS FOR PROPOSED PARKING STRUCTURE OF GRID LINE H 6-10 AND GRID LINE 12-14 AND FROM GRID LINE B.6 - H.6 THE SUBJECT FOOTING EXCAVATIONS EXPOSED COMPACTED FILL MATERIALS AND THE NEPTER ELEMENTS AS INDICATED ON THE GEOPRINT PLANS DATED AUGUST 25, 2015. THE SUBJECT FOOTING EXCAVATIONS FROM A GEOTECHNICAL STANDPOINT ARE SUITABLE FOR ITS INTENDED USE.</p>					
				ACTIVITY CODE	HOURS
				530	8
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Hansha Bomanu			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	8



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GEOTECHNICAL CONSULTANTS

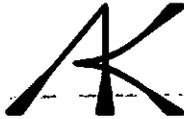
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JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 1/25/16		
LOCATION/TRACT 27742 FORBES RD	LAUNA NIQUEL	PROJECT ENG./GEOL DA PK	YARDAGE TODAY		
CONTRACTOR	FOREMAN AUGIE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① SKIDLOADER ① WHACKER					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STRUCTURE BACKFILL OPERATIONS AT COLUMN FOOTING GRIDLINE (3.6) + GRID LINE (C) INTERSECTION. ALSO 3/4 ROCK PLACED IN BOTTOM OF EXCAVATION ALONG SIDE ELEVATOR FOOTING TO STABILIZE BOTTOM PER RECOMMENDATION OF MR. ALBUS OF A.K.A. NATIVE MATERIALS PLACED APPROX 12 INCHES ABOVE ROCK AND FABRIC PLACED. APPROX 1 1/2 FEET PLACED AT COLUMN MATERIALS USED ARE RANGING FROM 2-4% OVER OPTIMUM FILL MATERIALS PLACED IN APPROX 4-6 INCH LIFTS AND MECHANICALLY COMPACTED BY WHACKER. AT ELEVATOR PIT AREA STILL APPROX 4' OF FILL TO BE PLACED BUT FOREMAN SAID THAT WILL BE NEXT WEEK. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST TAKEN MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION</p>					
				ACTIVITY CODE	HOURS
				571	6.5
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Hansha Bannan			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	6.5



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

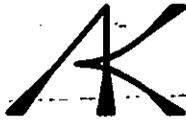
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				POST-GRADING <input type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 1/29/16	
LOCATION/TRACT 27742 FORBES RD.	LAQUINA NICHOLI	PROJECT ENG./GEOL. D.A. PK.	YARDAGE TODAY	
CONTRACTOR	FOREMAN	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT				
<p style="text-align:center;">ON SITE AS REQUESTED TO OBSERVE THE FOOTING EXCAVATIONS FOR THE PROPOSED PARKING STRUCTURE LOCATED AT THE INTERSECTION OF GRID LINES 8.6 TO 11.4 BETWEEN GRID LINES H.8 TO GRID LINE L. THE SUBJECT FOOTING EXCAVATIONS EXPOSED COMPETENT COMPACTED FILL MATERIALS AND THE GEOPIER ELEMENTS AS INDICATED ON THE GEOPIER PLANS DATED AUGUST 25, 2015. THE SUBJECT FOOTING EXCAVATIONS FROM A GEOTECHNICAL STAND POINT ARE SUSTAINABLE FOR IT'S INTENDED USE.</p>				
			ACTIVITY CODE	HOURS
			550	3
TECHNICIAN (Print) FRED SMITH			RECEIVED BY (Print) Hansha Tsoumis	
TECHNICIAN (Signature)			RECEIVED BY (Signature)	
DISTRIBUTION			TOTAL	3



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	
				POST-GRADING	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 1/29/16		
LOCATION/TRACT 27742 FORBES RD	LAJUNA WHEEL	PROJECT ENG./GEOL. DA PK	YARDAGE TODAY		
CONTRACTOR D.C. CRODINI	FOREMAN RYAN	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① BACK HOE w/ 24" COMPACTATION WHEEL 24" ① WHACKER					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR RETAINING WALL BACKFILL OPERATIONS. BACK HOE USED TO REMOVE LOOSE YIELDING MATERIAL INTO FIRM + UNYIELDING CONDITIONS. WHACKER USED TO COMPACT ALONG FOOTING OF WALL AND ANY SPOTS GENERATED BY BACKHOE. 3/4 ROCK BEING PLACED IN APPROX 2 FOOT LIFTS AND COMPACTED ALONG THE WALL BY WHACKER AND BACKHOE WITH COMPACTATION WHEEL. LOCATIONS AND ELEVATION FOR ROCK PLACEMENT PLOTTED ON FIELD PLANS. ROCK ELEVATION LEFT 3 1/2 - 5 1/2 BELOW PAD GRADE. NATIVE ON SITE MATERIAL TO BE PLACED IN UPPER 3 FEET MINIMUM. THIS OPERATION TO START MONDAY. 2/1/16</p>					
				ACTIVITY CODE	HOURS
				57A1	5
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Anisha Brown			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	5



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO	GRADING <input checked="" type="checkbox"/>
		POST-GRADING <input type="checkbox"/>

JOB NO. 2196.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 1/21/16
LOCATION/TRACT 27742 FORBES RD LAGUNA NIGUEL	PROJECT ENG./GEOL DA PK	YARDAGE TODAY	
CONTRACTOR	FOREMAN	WEATHER OVERCAST	YARDAGE TO DATE

EQUIPMENT
 ① SKIDLOADER ① WHACKER

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STRUCTURE BACK FILL OPERATION IN NORTHEAST CORNER OF THE UNDERGROUND GARAGE. SUPERINTENDANT SAID STAND BY UNTIL SUB CONTRACTOR STARTS BACKFILL OPERATIONS. FOREMAN SAID ABOUT AN HOUR. AREA TO BE BACKFILLED CLEARED OF ALL TRASH AND DEBRIS. ABOUT 10:30 CONTRACTOR SAID HE WOULD NOT DO ANY FILL PLACEMENT UNTIL TOMORROW. MEET WITH SUPERINTENDANT LET HIM KNOW I WAS GOING OFF SITE TO RETURN TOMORROW.

		ACTIVITY CODE	HOURS
		571	4
TECHNICIAN (Print) FRED SMITH,	RECEIVED BY (Print) Hansha Bommu		
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>		
DISTRIBUTION		TOTAL	4



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	✓
				POST-GRADING	
JOB NO. 2176.01	CLIENT/PROJECT ALLTANCE RES	DAY FRI	DATE 1/22/16		
LOCATION/TRACT 27742 FORBES RD / AQUINA NIGUEL	PROJECT ENG./GEOL DA PK	YARDAGE TODAY			
CONTRACTOR	FOREMAN AUGTE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① MINI EXCAVATOR ① SKIDLOADER ① WHACKER					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STRUCTURE BACKFILL IN NORTHEAST CORNER OF UNDER GROUND GARAGE AREA TO BE BACKFILLED HAD A SUMPUMP REMOVED AND GROUND WATER STARTED PERKING UP ALONG SIDE COLUMN PER MY PHONE CONVERSATION WITH MR ALBUS OF AKA. HE RECOMMENDED PLACING 3/4 CRUSH ROCK IN BOTTOM COMPACT WITH WHACKER UP TO THE TOP OF THE CONCRETE COLUMN FOOTING TO STABILISE THE OVER OPTIMUM MATERIALS PRIOR TO FILL PLACEMENT. FILL MATERIALS PLACED IN APPROX 4-6 INCH LIFT BY SKIDLOADER FEEDING EXCAVATOR TO SPREAD, WHACKER USED TO MECHANICALLY COMPACT. EXCAVATOR ALSO USED TO BUST UP CHUCK OF CLAY. CONTRACTOR INFORMED OF LOW DENSITY TEST RESULTS AREA OF CONCERN WAS REWORKED AND RETESTED BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST TAKEN MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 98% OR GREATER RELATIVE COMPACTION.</p> <p>WATER PERKING THROUGH BOTTOM OF EXCAVATION WHICH WAS FOR A DRAIN PIPE GOING TO OIL SAND SEPARATOR ELEVATION 25⁴⁵ TOP OF FOOTING FOR COLUMN 254 IEL WITH APPROX 4 FEET OF FILL TO BE PLACED ABOVE TOP OF COLUMN FOOTING.</p>					
				ACTIVITY CODE	HOURS
				571	8
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Hansha Bommali			
TECHNICIAN (Signature)		RECEIVED BY (Signature)			
DISTRIBUTION				TOTAL	8



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING <input checked="" type="checkbox"/>	
				POST-GRADING <input type="checkbox"/>	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RES		DAY THUR	
LOCATION/TRACT 27747 FORBES RD		PROJECT ENG./GEOL DA PK		DATE 1/28/16	
CONTRACTOR		FOREMAN LAQUA NIQUEL		WEATHER CLEAR	
EQUIPMENT		YARDAGE TODAY		YARDAGE TO DATE	
<p>ON SITE AS REQUESTED TO OBSERVE THE FOOTING EXCAVATION FOR THE PROPOSED PARKING STRUCTURE LOCATED BETWEEN GRIDLINE H.8 TO GRIDLINE L INTERSECTING WITH GRID LINES 5.2 TO 8.6</p> <p>GEOPIERS NO'S 711, 745 + 746 CAN NOT BE FOUND PER MY PHONE CONVERSATION WITH MR ALBUS THEY NEED TO BE EXPOSED MR ALBUS AND SUPERINTENDANT WILL HAVE A MEETING DISCUSSING THIS LOCATION BETWEEN GRID LINES 5.4 TO 5.8. FROM GRIDLINE 5.8 TO 8.6 AND BETWEEN GRID LINES H.8 TO GRIDLINE L THE SUBJECT FOOTING EXCAVATIONS EXPOSED COMPETENT COMPACTED FILL MATERIALS AND THE GEOPIER ELEMENTS AS INDICATED ON THE GEOPIER PLANS DATED AUGUST 25 2015 THE SUBJECT FOOTING EXCAVATIONS FROM A GEOTECHNICAL STANDPOINT ARE SUITABLE FOR ITS INTENDED USE.</p>					
				ACTIVITY CODE	HOURS
				550	8
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) HANCHA FERNANDEZ			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	8



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	<input checked="" type="checkbox"/>
				POST-GRADING	<input type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 2/11/16		
LOCATION/TRACT 27742 FORBES RD	LAQUINA NIEQUEL	PROJECT ENG./GEOL DA PK	YARDAGE TODAY		
CONTRACTOR	FOREMAN	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT					
<p>ON SITE AS REQUESTED FOR EXCAVATION OF FOOTINGS BETWEEN GRID LINE H.6 TO GRID LINE L AND FROM GRID LINE 11.4 TO 12.5 FOR THE PROPOSED PARKING STRUCTURE. OBSERVED THE EXCAVATION OF THE FOOTING EXCAVATION THAT EXPOSED COMPETENT COMPACTED FILL MATERIALS AND THE GEOPIER ELEMENTS AS INDICATED ON THE GEOPIER PLANS DATED AUGUST 25, 2015. THE SUBJECT FOOTING EXCAVATIONS FROM A GEOTECHNICAL STAND POINT ARE SUITABLE FOR ITS INTENDED USE</p>					
<p>MR ALBUS FROM A.K.A. ON SITE FOR MEETING. MR ALBUS SAID IN MEETING GEOPIER NO. 746, 745 + 711 WERE DE CUSS. THE NEXT TIME DRILL RIG IS ON SITE THESE GEOPIER TO BE RE DRILL AND FILLED WITH CONCRETE</p>					
				ACTIVITY CODE	HOURS
				550	6.5
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print) Haisha Bommw	
TECHNICIAN (Signature) <i>[Signature]</i>				RECEIVED BY (Signature) <i>[Signature]</i>	
DISTRIBUTION				TOTAL	6.5



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING	X
			POST-GRADING	

JOB NO. 2176.01	CLIENT/PROJECT Alliance Residential Permit# B15-2775	DAY Wednesday	DATE 1-27-16
LOCATION/TRACT 27742 Forbes Road, Laguna Niguel	PROJECT ENG/GEOL DA/PK	YARDAGE TODAY N/A	
CONTRACTOR	FOREMAN	WEATHER Clear	YARDAGE TO DATE N/A

EQUIPMENT

Footing: On site to provide AKA Engineering department with details pertaining to 3/4" aggregate within excavated footings at southeast corner of parking structure. AKA Engineer Mike Spira was on site to discuss details. Aggregate was placed during the abandonment of water main in this area. AKA's presence was not requested during water main backfill operations. Limits for waterline abandonment are unknown by AKA.

		ACTIVITY CODE	HOURS
		505	1
TECHNICIAN (Print) Chris Wright	RECEIVED BY (Print) <i>Amelia Bonner</i>		
TECHNICIAN (Signature) <i>Chris Wright</i>	RECEIVED BY (Signature) <i>[Signature]</i>		
DISTRIBUTION		TOTAL	1



CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 3rd day of February, 2016 Report No. Page No. of

Table with 4 columns: Project Address, Structural Observer of Record (SOR), SOR Phone No., Building Permit No., Structural Observation performed by, Observer Professional Lic./Reg. No., Observer Phone No.

OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with 5 columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat Foundation, Calsson, Retaining Foundation, etc.

OBSERVED DEFICIENCIES: None.

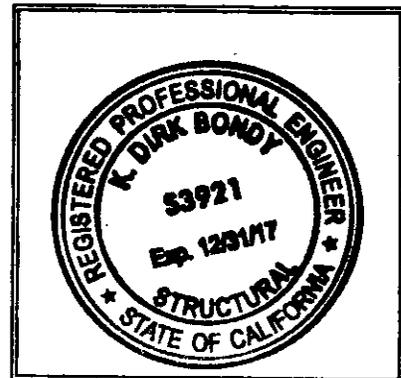
I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION...
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS...
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.

SIGNATURE

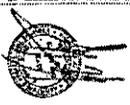
2-3-2016

DATE



STAMP OF STRUCTURAL OBSERVER OF RECORD

STRENGTH & PERFORMANCE
 GATEWAY VILLAGE
 LAKEN WHEEL, CA



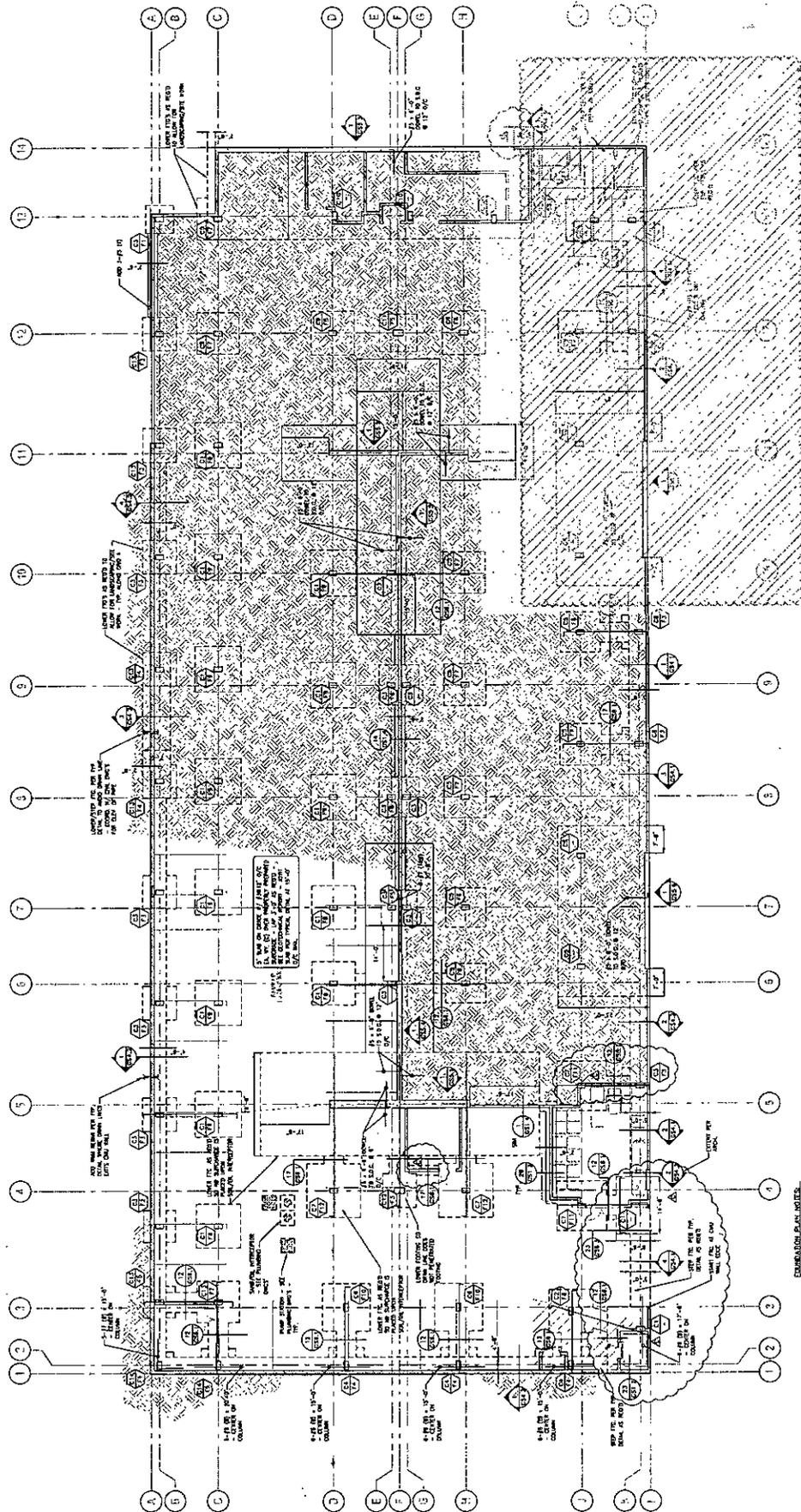
GATEWAY VILLAGE
 LAKEN WHEEL, CA

ALANCO
 ARCHITECTURAL CO.
 1500 UNIVERSITY AVENUE
 SAN DIEGO, CA 92108
 (619) 594-1100

PC
 RESUMITTAL
 07/17/2015

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 12/23/15
 12/24/15
 12/25/15
 12/26/15
 12/27/15
 12/28/15
 12/29/15
 12/30/15
 12/31/15

SHEET
 GS2.0



Structural observation request
 for Wednesday afternoon

MARK	ISSUING DATE	REQUEST	RESPONSE	REMARKS
1	7-17-15	17	7-17-15 (R)	
2	7-17-15	17	7-17-15 (R)	
3	7-17-15	17	7-17-15 (R)	
4	7-17-15	17	7-17-15 (R)	
5	7-17-15	17	7-17-15 (R)	
6	7-17-15	17	7-17-15 (R)	
7	7-17-15	17	7-17-15 (R)	
8	7-17-15	17	7-17-15 (R)	
9	7-17-15	17	7-17-15 (R)	
10	7-17-15	17	7-17-15 (R)	
11	7-17-15	17	7-17-15 (R)	
12	7-17-15	17	7-17-15 (R)	
13	7-17-15	17	7-17-15 (R)	
14	7-17-15	17	7-17-15 (R)	
15	7-17-15	17	7-17-15 (R)	
16	7-17-15	17	7-17-15 (R)	

- CONSTRUCTION OF ALL NOTES:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL CONCRETE CODE (ACI 308) AND THE CALIFORNIA STRUCTURAL CONCRETE CODE (CBC).
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL STEEL CODE (AISC 360) AND THE CALIFORNIA STRUCTURAL STEEL CODE (CBC).
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL WOOD CODE (NDS) AND THE CALIFORNIA STRUCTURAL WOOD CODE (CBC).
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL MASONRY CODE (TMS 604) AND THE CALIFORNIA STRUCTURAL MASONRY CODE (CBC).
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL ALUMINUM DESIGN MANUAL (AISC 608) AND THE CALIFORNIA STRUCTURAL ALUMINUM DESIGN MANUAL (CBC).
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL GLASS AND GLAZING CODE (FGI 289) AND THE CALIFORNIA STRUCTURAL GLASS AND GLAZING CODE (CBC).
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL PLASTER AND GYP-SO-CRETE CODE (ACI 906) AND THE CALIFORNIA STRUCTURAL PLASTER AND GYP-SO-CRETE CODE (CBC).
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL PAINT AND COATINGS CODE (SSPC 11) AND THE CALIFORNIA STRUCTURAL PAINT AND COATINGS CODE (CBC).
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL FLOORING CODE (ICC 309) AND THE CALIFORNIA STRUCTURAL FLOORING CODE (CBC).
 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STRUCTURAL ROOFING CODE (ICC 308) AND THE CALIFORNIA STRUCTURAL ROOFING CODE (CBC).

FOUNDATION PLAN
 PAGE 214 OF 216



CITY of LAGUNA NIGUEL

CITY COUNCIL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 1st day of February, 2016, Report No. Page No. of

Table with project details: Project Address (27742 Forbes Road), Structural Observer of Record (K. Dirk Bondy, S.E.), SOR Phone No. (949-595-8182), Building Permit No., Structural Observation performed by (K. Dirk Bondy, S.E.), Observer Professional Lic./Reg. No. (S3921), Observer Phone No. (949-595-8182)

OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat Foundation, Calsson, Retaining Foundation, etc.

OBSERVED DEFICIENCIES: None.

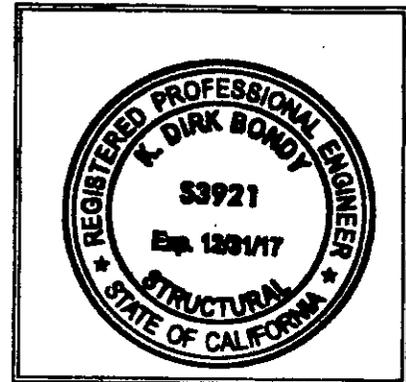
I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF LAGUNA NIGUEL.
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF LAGUNA NIGUEL BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.

SIGNATURE

2-1-2016

DATE



STAMP OF STRUCTURAL OBSERVER OF RECORD



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

APN: 63603410

PERMIT #: **B15-2777**

TRACT: 6081

PROJECT ADDRESS: **27742 FORBES RD**

Lot/PARCEL: 1

27742 FORBES RD

ELEC:

BUSINESS NAME:

PLANNING:

ISSUED: 9/28/2015

DESCRIPTION OF WORK:

Permit for a foundation only for podium portion of main building. Foundation to be sectioned by foundation grids. This permit only covers Geo-Grids 1-15.5 & A-N Per Abdullah's rough grade release(s) dated 9/24/15.

OWNER: BROADSTONE LAGUNA NIGUEL LLC
ADDRESS: 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298
APPLICANT: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
BUSINESS:
ADDRESS:
ARCH/ENG: HUMPHRYS & PARTNERS
ADDRESS: 2350 SE BRISTOL NEWPORT BEACH, CA 92660
CONTRACTOR: ALLIANCE RESIDENTIAL BUILDERS II G P INC
ADDRESS: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660
LICENSE #: 897318 CLASS: B
WORKERS COMP: TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA
TRJUB4245B187

PHONE: (949) 706-8460
PHONE:
PHONE: (949) 955-9400
PHONE: (949) 706-8460
EXPIRES: 5/31/2017
EXPIRES: 9/15/2016

CODE YEAR: 2013 OCCUPANCY TYPE: R2 Residential Multiple CONSTR. TYPE: VB
Family

TOTAL VALUATION: \$10,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$160.30	\$229.00	\$27.27	\$416.57
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$416.57
			TOTAL FEES PAID	\$416.57

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 9/28/15
Date: 9/28/15

Issued Receipt#: R15-
2346

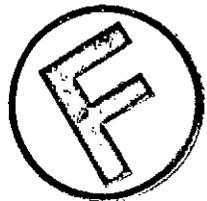
CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
*requires separate verification form
**requires separate authorization form

Signature [Signature] Date 9/28/15



#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 9/28/15

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Trench Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunit		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Vent/Stacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S Final - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S Final - PLUMBING		
24. Pre Gout Lift 1			432. P/S Final - ELECTRICAL		
26. Pre Gout Lift 2			434. P/S Final - POOL COVER		
29. Wall Drainage			436. P/S Final - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S Final - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Root Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Top Shower			908. FINAL - MECHANICAL		
41. Lath/Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCEA SPRINKLER SYSTEMS -		
59. OCEA Fire Sprinkler - Rough			932. FINAL - OCEA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES ROAD **Suite/Unit:** _____
Applicant/Agent: Michael McLann **Tract Lot:** _____
Address: 144 N. ORANGE ST **Phone No.:** 320-8155
City: ORANGE **State:** CA **Zip:** 92846 **Email:** _____

Property Owner: ALLIANCE RESIDENTIAL **Phone No.:** (858) 676-9380
Address: 915 CAMILLO ST #100
City: DEL MAR **State:** CA **Zip:** 92014 **Email:** _____

Contractor: _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____
State License No.: _____ **Class:** _____ **Expiration:** _____
Workman's Comp. Policy No.: _____ **Expiration:** _____
Insurance Company (if applicable): _____

Architect: Humphrey **Reg No.:** _____ **Phone No.:** (714) _____
Address: _____ **Email:** _____
City: LA JOLLA **State:** CA **Zip:** 92037

Engineer: VCA **Reg. #:** _____ **Phone No.:** _____
Address: Private Dr
City: LA JOLLA **State:** CA **Email:** _____

Description of Work to be Performed (please be specific):
FOUNDATION ONLY FOR podium portion
Main Building

Valuation: \$ _____ **Type of Const:** 11A **Occupancy Type:** 52 **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.
 Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>BIS-2777</u>	Received By:	<u>[Signature]</u>	Date:	<u>9/28/15</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
Department/Division:					
<input type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning <u>JO</u>	<input checked="" type="checkbox"/> CAA <u>N Chung</u>	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-2346

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$416.57
B15-2777 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Foundation only for Alliance project			
			\$416.57
BUILDING			\$256.27
PLAN CHECK			\$160.30
TOTAL FEES PAID BY RECEIPT:R15-2346			\$416.57

Date Paid: Monday, September 28, 2015

Paid By: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CREDIT CARD 2587



Rough Grading Release *Foundation Only*

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT _____

LOCATION 27747 Ferber Rd

LOTS APPROVED Foundation only - See Grids below

OWNER Alliance Residential

Owner's Address _____

Special requirements Basement excavation within limits of

Foundation Grids S.1 - 15.5 by B-N

Grading

Inspector AD

Grading

Supervisor

Rough Grading Release *Foundation Only*

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT

LOCATION 27742 Forber Rd.

~~NOT~~ APPROVED Foundation Only - See Grids below

OWNER Alliance Residential

Owner's Address

Special requirements Basement Excavation - Foundation Grids

Issued by A-K

Grading Inspector [Signature]

Grading Supervisor



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:
B15-2778

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC:

BUSINESS NAME:

ISSUED: 3/2/2016

DESCRIPTION OF WORK:

Permit for a partial foundation only for Phase 1 as indicated by plan. Full set of plans to be issued when B15-2448 (Phase 3) portion of foundation (last portion) is issued. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, Ca 85016-9298	PHONE: (949) 706-8461
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187 POLICY#:	EXPIRES: 9/15/2016
ARCH/ENG:	Architects Orange 144 N Orange Orange, CA 92866	PHONE: (714) 639-9860
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$10,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$160.30	\$229.00	\$27.27	\$416.57
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$416.57
			TOTAL FEES PAID	\$416.57

Comments:

Planning Approval: _____

Building Permit Issued By: [Signature]

Date: _____

Date: 3/2/16

Issued Receipt#: R15-

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form

**requires separate authorization form

Signature: [Signature]

Date: 3/2/16



#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 5/2/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Trench Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underround			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underround			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underround			414. P/S Gas Pipe Underround Test		
14. Gas Line Underround & Test			416. P/S Backwash Lines, P Trap, Underround		
16. Verify Setbacks			418. P/S Final Backwash Receptor		
18. Footings & Seal			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S Final - HEATER & VENT		
22. Steel Reinforce - Retain, Walls			430. P/S Final - PLUMBING		
24. Pre Grout Lift 1			432. P/S Final - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S Final - POOL COVER		
29. Wall Drains			436. P/S Final - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S Final - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Top Shower			908. FINAL - MECHANICAL		
41. Lath/Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCPA SPRINKLER SYSTEMS -		
59. OCPA Fire Sprinkler - Rough			932. FINAL - OCPA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lath/Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES ROAD **Suite/Unit:** _____

Applicant/Agent: MICHAEL McCOWN / ALLIANCE RESIDENTIAL BUILDERS **Tract Lot:** _____

Address: 450 NEWPORT CENTER DRIVE #550 **Phone No.:** () - _____

City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** _____

Property Owner: BROADSTONE LAGUNA NIGUEL LLC **Phone No.:** () - _____

Address: 450 NEWPORT CENTER DRIVE #550

City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** _____

Contractor: ALLIANCE RESIDENTIAL BUILDERS **Phone No.:** () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

State License No.: _____ **Class:** _____ **Expiration:** _____

Workman's Comp. Policy No.: _____ **Expiration:** _____

Insurance Company (If applicable): _____

Architect: HOUGHRENS AND PARTNERS **Reg No.:** _____ **Phone No.:** () - _____

Address: _____ **City:** _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: VCA **Reg. No.:** _____ **Phone No.:** () - _____

Address: _____ **City:** _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific): FOUNDATION ONLY FOR
PORCH 1 Portion of foundation in front
of parking structure

Valuation: \$ _____ **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B15-2778</u>	Received By:	<u>[Signature]</u>	Date:	
Planning Division:	<input type="checkbox"/> YES <input type="checkbox"/> NO	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:		Date:	
OK for issuance:		Reviewed By:		Date:	
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Need Abdullah release

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Permit No: _____

Signs	Type (Circle One)	Size (Sq. Ft.)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-0382

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$416.57
B15-2778 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Foundation only for Alliance project			
			\$416.57
BUILDING			\$256.27
PLAN CHECK			\$160.30
TOTAL FEES PAID BY RECEIPT:R16-0382			\$416.57

Date Paid: Thursday, February 04, 2016

Paid By: MICHAEL MCCANN

Payee Address: ,

Cashier: AK

Pay Method: CREDIT CARD 0000



Rough Grading Release

PERMIT NUMBER G14-15 DATE 3/2/16

TRACT _____

LOCATION 27742 Forbes Rd -

LOTS APPROVED See Below of attached civil crit

OWNER Alliance Residential

Owner's Address _____

Special requirements This release is for Free standing Parking -
Garage and phase 1 slab-on-grade portion of the proposed
Residential Building (Club House, Residential ground level

Grading _____ Grading and leasing office.
Inspector [Signature] Supervisor building pads



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381

REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY

Inspection Cancellation or Rescheduling: (949) 362-4334

Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL

Community Development

Department

30111 Crown Valley Pkwy

Laguna Niguel, CA 92677

Tel. (949) 362-4360

Fax: (949) 362-4369

www.CityofLagunaNiguel.org

PERMIT #:

B15-3124

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 10/30/2015

DESCRIPTION OF WORK:

Basement level footing columns halls and slab on grade in reference to lower level parking structure

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, 85016-9298	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$5,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$90.30	\$129.00	\$27.27	\$246.57
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$247.57
			TOTAL FEES PAID	\$247.57

Comments:

Planning Approval: _____

Building Permit Issued By: _____

Date: _____

Date: 10/30/15

Issued Receipt#: R15-2809

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form
**requires separate authorization form

Signature _____

Date _____

10/30/15



#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

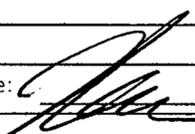
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 1/2/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Crwall Nailing/Firewalls		
4. Tampo Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
11. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
15. Verify Setbacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plasterline		
21. Post Tension			428. P/S Final - HEATER & VENT		
22. Steel Reinforce - Retain, Walls			430. P/S Final - PLUMBING		
24. Pre Grouit Lift 1			432. P/S Final - ELECTRICAL		
26. Pre Grouit Lift 2			434. P/S Final - POOL COVER		
29. Wall Drainage			436. P/S Final - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S Final - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Hot Mop Plumbing/Gas Test			908. FINAL - SIGN		
40. Hot Mop Shower			910. FINAL - MECHANICAL		
41. Lath/Interior			912. FINAL - PLUMBING		
42. Rough Electrical			914. FINAL - GAS TEST		
44. Rough Mechanical			916. FINAL - ACCESSIBILITY REGULATIONS		
46. Fire Dampers			918. FINAL - RE-ROOF		
48. Roof Sheathing			920. FINAL - PLANNING		
50. Roof Framing			922. FINAL - ENGINEERING/P.W.		
51. Approval to Cover Exterior			924. FINAL - O.C. HEALTH		
52. Shear Walls Interior			926. FINAL - WATER DISTRICT		
53. Preliminary Shear			928. FINAL - GRADING		
54. Shear Walls Exterior			930. FINAL - CCFA SPRINKLER SYSTEMS -		
55. Preliminary Insulation			932. FINAL - CCFA PROJECT FINAL -		
56. Rough Frame & Flashing			933. Anti-Entrapment Device		
59. CCFA Fire Sprinkler - Rough			934. FINAL - BUILDING & SAFETY		
60. T-Bar Ceiling			935. FINAL - WATER QUALITY INSPECTION		
64. Lath/Exterior					
70. Insulation					



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD. **Suite/Unit:** _____
Applicant/Agent: ALLIANCE RESIDENTIAL BUILDERS II GP, INC. **Tract Lot:** _____
Address: 450 NEWPORT CENTER DR. **Phone No.:** 949 706 8460
City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** MWILSON@CALLPESCO.COM

Property Owner: FRANKSON LAGUNA NIGUEL US. **Phone No.:** 949 706 8460
Address: 2415 E. CAMELBACK RD #600
City: FROENY **State:** AZ **Zip:** 85016 **Email:** MWILSON@CALLPESCO.COM

Contractor: ALLIANCE RESIDENTIAL BUILDERS II GP, INC. **Phone No.:** () - _____
Address: 450 NEWPORT CENTER DR.
City: NEWPORT BEACH **State:** CA **Zip:** 92660 **Email:** MWILSON@CALLPESCO.COM
State License No.: 877319 **Class:** _____ **Expiration:** 5/31/17
Workman's Comp. Policy No.: TRAVELERS **Expiration:** 9/15/16
Insurance Company (if applicable): TRUBA 2458187

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____ **Email:** _____
City: _____ **State:** _____ **Zip:** _____

Description of Work to be Performed (please be specific): PERMIT FOR BASEMENT-LEVEL FOOTINGS, COLUMNS WALLS AND SLAB-ON-GRADE IN REFERENCE TO LOWER LEVEL PARKING STRUCTURE

Valuation: \$ 5000 **Type of Const:** IB **Occupancy Type:** AS RZ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: _____ **Payment:** Cash or Check # _____ or Visa/MC 247.57

Activity Number: <u>B15-3124</u>	Received By: <u>R</u> Date: <u>10/30/15</u>
HOA or Property Manager Approval Required:	Schroffer fee or substitute Landmark Source:
HOA or Property Manager Approval Letter Provided:	
OK for Plan Check:	Reviewed By: _____ Date: _____
OK for issuance:	Reviewed By: _____ Date: _____
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning
<input type="checkbox"/> Fire	<input type="checkbox"/> Water
<input type="checkbox"/> CAA	<input type="checkbox"/> Health
<input type="checkbox"/> GMU	<input type="checkbox"/> Grading

Permit No: _____

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Signs	Type	Size	Res. or	Foundation	Illumination
Sign	(Circle One)	(Sq. Ft.)	Comm. (Circle One)	Valuation (if freestanding and over 6 feet in height)	(# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R15-2809

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$247.57
B15-3124 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Basement level footing columns			
			\$247.57
BUILDING			\$156.27
CBSC FEE			\$1.00
PLAN CHECK			\$90.30
TOTAL FEES PAID BY RECEIPT:R15-2809			\$247.57

Date Paid: Friday, October 30, 2015

Paid By: Mark wilson

Payee Address: ,

Cashier: AK

Pay Method: CREDIT CARD 1383





CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 12th day of November, 2015 Page No. of Report No.

Table with 4 columns: Project Address (27742 Forbes Road), Structural Observer of Record (SOR) (K. Dirk Bondy, S.E.), SOR Phone No. (949-595-8182), Building Permit No., Structural Observation performed by (Bryan Allred, S.E.), Observer Professional Lic./Reg. No. (S4507), Observer Phone No. (949-595-8182)

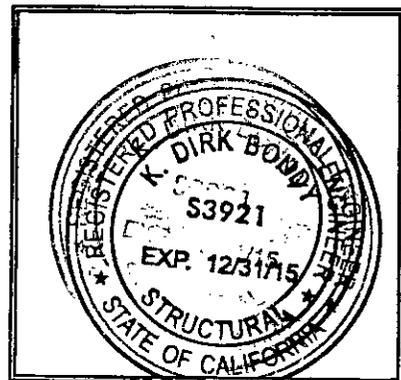
OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

Table with 5 columns: FOUNDATION, WALL, FRAMES, FLOOR, PORTION OBSERVED, IF NOT WHOLE. Includes checkboxes for Footing, Mat Foundation, Calsson, Retaining Foundation, Others, Concrete, Masonry, Steel Moment Frame, Steel Braced Frame, Concrete Moment Frame, Masonry Wall Frame, Steel Deck, Wood, and Others.

OBSERVED DEFICIENCIES: None observed

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- 1. I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF LAGUNA NIGUEL.
2. I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
3. ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
4. I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF LAGUNA NIGUEL BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.



STAMP OF STRUCTURAL OBSERVER OF RECORD

SIGNATURE DATE 11-12-2015

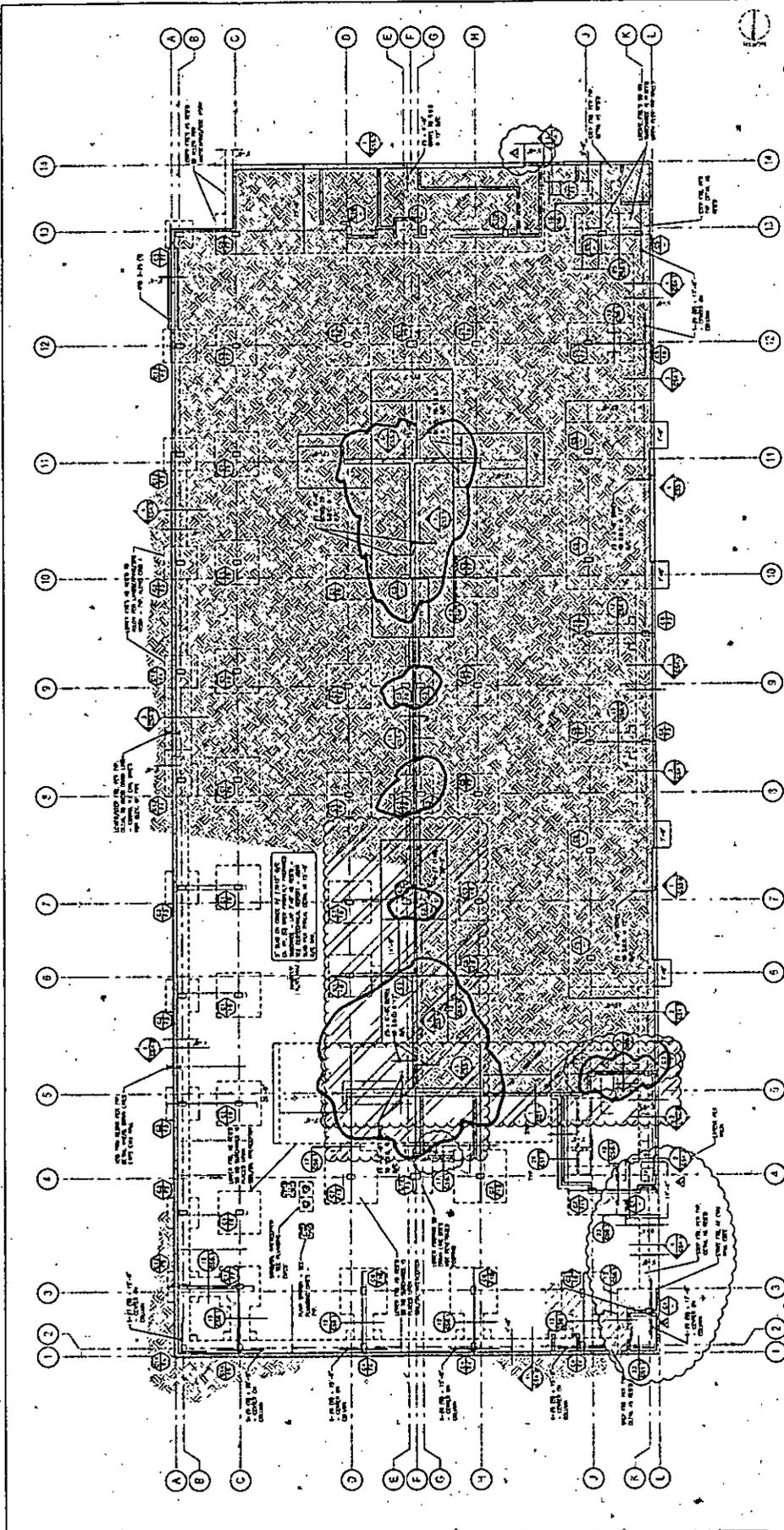
RESUMITTAL
 PROJECT: GATEWAY VILLAGE
 SHEET: CS20

GATEWAY VILLAGE
 1400 W. 10TH ST., SUITE 100
 DENVER, CO 80202

PC RESUMITTAL
 07/17/2015

DATE: 07/17/2015
BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
TITLE: FOUNDATION PLAN
PROJECT: GATEWAY VILLAGE
CLIENT: [Name]
DESIGNER: [Name]

CS20



FOOTING SCHEDULE

NO.	FOOTING SIZE (INCHES)	REINFORCEMENT	STAMPS
1	12" x 12"	3#4 @ 12" O.C.	101
2	12" x 12"	3#4 @ 12" O.C.	101
3	12" x 12"	3#4 @ 12" O.C.	101
4	12" x 12"	3#4 @ 12" O.C.	101
5	12" x 12"	3#4 @ 12" O.C.	101
6	12" x 12"	3#4 @ 12" O.C.	101
7	12" x 12"	3#4 @ 12" O.C.	101
8	12" x 12"	3#4 @ 12" O.C.	101
9	12" x 12"	3#4 @ 12" O.C.	101
10	12" x 12"	3#4 @ 12" O.C.	101
11	12" x 12"	3#4 @ 12" O.C.	101
12	12" x 12"	3#4 @ 12" O.C.	101
13	12" x 12"	3#4 @ 12" O.C.	101
14	12" x 12"	3#4 @ 12" O.C.	101

- FOUNDATION NOTES:**
- SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES.
 - ALL FOUNDATION ELEMENTS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 - ALL REINFORCEMENT SHALL BE #4 UNLESS OTHERWISE NOTED.
 - ALL REINFORCEMENT SHALL BE PLACED AS SHOWN ON THE DRAWINGS.
 - ALL REINFORCEMENT SHALL BE TIED TOGETHER AS SHOWN ON THE DRAWINGS.
 - ALL REINFORCEMENT SHALL BE PLACED WITH THE CORNER BARS.
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1 FOUNDATION PLAN
 REV 07/17/2015

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631

(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207	Date 11-12-15
-------------------------------	-------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD. LAGUNA NIGUEL, CA		Tract No.
Job Name	GATEWAY VILLAGE		Permit No. BIS-2777
Type of Structure	PARKING STRUCTURE		Architect HEMPHREYS.
Material Description (type, grade, source)	IV, 5000 PSI Concrete.		Engineer VCA.
Inspector's Name	BISHOP SIDAROUS.		Contractor ALLIANCE RESIDENTIAL.
			Subcontractor ETIVISTA.

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26208226	Cure BOX	5"	70°	85°	10	11:45	1418373	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① observation of Placing and Consolidation of $\approx 17 yd^3$, 5000 PSI Concrete @ The Columns @ AREA "A" of The FOUNDATION as follows :-

- seg 2 COLUMNS D9/E8/E9/F8/F9.
- seg 3 COLUMNS G8/G9/H8/H9/J8/J9/L8/L9-7/M7-5/M8/M9-7

* All Reinforcing steel was secured Against displacement
 * All forms were clean of DeLETRIOUS MATERIALS.
 * Concrete Poured was within Tolerance for SLUMP as Certified Per Approved Mix Design.
 * Concrete Placed was Mech. VIBRATED.

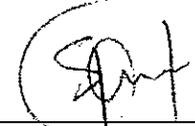
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR


 Concrete ICC 8290774
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
7 AM	1 PM	1 set of 4 cyl.
Approved By 		11/12/15 Project Superintendent

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

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441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No.	Date
--------------	------

FIELD TESTING TECHNICIAN DAILY REPORT

TYPE OF INSPECTION REQUIRED <input type="checkbox"/> Concrete Quality Control <input type="checkbox"/> Pull Testing <input type="checkbox"/> Torque Testing	<input type="checkbox"/> Concrete and Masonry Coring <input type="checkbox"/> Fireproofing Adhesion and Cohesion Testing <input type="checkbox"/> Asphalt Coring	<input type="checkbox"/> Lumber Moisture Testing <input type="checkbox"/> Concrete Moisture <input type="checkbox"/> Other
Job Address		Tract No.
Job Name		Permit No.
Type of Structure		Architect
Material Description (type, grade, source)		Engineer
		Contractor
Technician's Name		Subcontractor

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

 Signature of Concrete Tech/Registered Inspector

 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
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SWIT Job No. <i>150207</i>	Date <i>11-7-15</i>
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FIELD TESTING TECHNICIAN DAILY REPORT

TYPE OF INSPECTION REQUIRED <input type="checkbox"/> Concrete Quality Control <input type="checkbox"/> Pull Testing <input type="checkbox"/> Torque Testing	<input type="checkbox"/> Concrete and Masonry Coring <input type="checkbox"/> Fireproofing Adhesion and Cohesion Testing <input type="checkbox"/> Asphalt Coring	<input type="checkbox"/> Lumber Moisture Testing <input type="checkbox"/> Concrete Moisture <input type="checkbox"/> Other
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Job Address <i>77742 Fernus Rd</i>	Tract No.	Lot No.
Job Name <i>Balcony Village</i>	Permit No. <i>BIC-3124</i>	Issued By
Type of Structure	Architect <i>A/C</i>	
Material Description (type, grade, source)	Engineer <i>Donna</i>	
<i>Footings</i>	Contractor <i>Alliantis Residential</i>	
Technician's Name <i>Jesse Lopez</i>	Subcontractor <i>Grivida</i>	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	6931	26190179	SOFT	4 1/2	66	78		7:30	1418515	
2	5806	26190179	CENTR	4 3/4	65	72		9 AM	↓	
3	5826	26190179	WEAT	5	70	75		10:45		
4	5007	26190179	WEAT	4 3/4	75	72		12:15		
5	612	412417	SOFT	4 1/2	75	71		1:15		

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

On site, per request, to observe and sample concrete being poured for balcony retaining wall footings. Concrete Mix #1418515, 4500 PSI @ 28 Days. Concrete samples were processed under 28 days (5000 PSI) and tested for slump and temperature. First set taken 7:30 AM for compressive strength. Second set taken 9:15 AM. Approx. 620 total cylinders cast were 20 (5 sets of 4)

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

 Signature of Concrete Tech/Registered Inspector

ACI
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF

TIME IN	TIME OUT	SAMPLES
<i>6:30 AM</i>	<i>1:30 PM</i>	<i>20</i>
Approved By _____ / Project Superintendent		

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 11 / 12 / 2015
------------------------	------------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Structural Steel Assembly	<input type="checkbox"/> Quality Control
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fire Proofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

Job Address 27742 Forbes Road		City Laguna Niguel	
Job Name Gateway Village	Permit No. B15-2230	Issued By City	
Type of Structure Retaining Wall Footing	Architect		
Material Description (type, grade, source) 4,500 psi. Concrete	Engineer Seneca Engineers		
Cemex Mix # 1418515	Contractor Alliance Residential		
Inspector's Name David Christensen	Subcontractor Mc Mahan Construction		

TESTS PERFORMED

TYPE OF SAMPLE	SLUMP	QUANTITY IN SET	ADDITIONAL REMARKS ON SAMPLE
Concrete	4 1/4"	5	Breaks; 1 @ 3, 3 @ 28 Day & 1 @ Hold
			Air 72*, Mix 75* At 1:30 pm., Ticket # 26208728,
			From Retaining Wall Footing Easement

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

- Observed placement and consolidation of 30 cy. of 4,500 psi. concrete pump placed @ East Retaining Wall Footings @ Easement. And consolidated with mechanical vibrator. Tested for temp. and slump. And cast 1 set of 5 4" x 8" cylinder samples.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

David Christensen
SIGNATURE OF REGISTERED INSPECTOR

Reinforced Concrete	5321981	ICC
SPECIALTY	NO.	AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
1 pm.	3 pm.	5
Approved By _____ Project Superintendent		

Southwest Inspection and Testing, Inc.

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 11-13-15
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TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD. LAJUNA N 902 CA.		Tract No.
Job Name	GATEWAY VILLAGE		Permit No.
Type of Structure	GARAGE STRUCTURE		Architect
Material Description (type, grade, source)			Engineer
Inspector's Name	BISHOP SIDAROUS.		Contractor
			Subcontractor

TESTS PERFORMED										
SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① PRECHECK THE Reinforcing steel for the shear walls and the ~~columns~~ columns at the following locations:—

- WALL @ GRID 5 Between D & H, - - COLUMNS #5 & 6 and J & L
- WALL @ ~ 11 Between D & H
- 2 WALLS @ GRID F Between 5 & 6; and Between 10 & 11
- ~~columns~~ COLUMNS ALONG Line E₆ Between 6 & 9:—

* All Reinforcing Rebars are per Approved Plans and Specifications for size/grade/LAP/spacing and clearance.

* All Rebars are secured Against displacement.

* Ready for concrete UPON city inspector's Approval.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

D. Bishop
SIGNATURE OF REGISTERED INSPECTOR

Concrete ICC 8290774
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
Approved By <i>[Signature]</i>		Project Superintendent

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-19-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input checked="" type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address <u>27142 FORBES RD. Laguna Niguel, CA</u>	Tract No.	Lot No. <u>FOUNDATION</u>	
Job Name <u>GATEWAY VILLAGE</u>	Permit No. <u>B15-2777</u>	Issued By <u>city</u>	
Type of Structure <u>PARKING STRUCTURE</u>	Architect <u>HEMPHREYS.</u>		
Material Description (type, grade, source) <u>IV, 2500 Psi grout</u>	Engineer <u>VCA.</u>		
Inspector's Name <u>BISHOP SIDAROUS.</u>	Contractor <u>ALLIANCE RESIDENTIAL.</u>		
	Subcontractor <u>ETIVISTA</u>		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	2	26221110	Cure Box	9"	60°	78°	—	8:15	1418253	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① Observation of Placing and Consolidation of $\approx 28yd^3$ 2500 Psi grout @ the 8" CMU NON Bearing walls @ AREA "A" seg-4, EXCEPT THE TRASH ROOMS, ALSO GROUTED THE (W8) WALLS OF THE STAIR #5 and ELEVATOR ROOM :- * All Rebars were secured Against displacement
 * GROUT Poured was within Tolerance for SLUMP as Per Cert. Mix Design.
 * GROUT Placed was Mech. Vibrated.

② Continuous inspection of Placing 24 #5 Dowels @ the FOUNDATION SLAB @ GRID "C" FROM 5 TO 6 USING EPOXY SIMPSON SET-XP Expires 05/2017 @ AREA "A" seg-2.
 * MATERIALS (EPOXY & Rebars) are Per Approved Plans & specs.
 * All Holes were cleaned using BRUSHES and AIR BLOWERS.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishop Sidarous
 SIGNATURE OF REGISTERED INSPECTOR
Concrete, Masonry SPECIALTY NO. ICC 8290774 AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
<u>7 AM</u>	<u>10:30</u>	<u>1 set of 3 grouts</u>
Approved By		<u>[Signature]</u> 11/19/15 Project Superintendent

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-18-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. Laguna Niguel, CA</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE</u>	Permit No.	<u>B15-3124</u>
Type of Structure	<u>Parking Garage</u>	Architect	<u>KHR</u>
Material Description (type, grade, source)	<u>IIV, 5000 PSI Concrete</u>	Engineer	<u>KHR</u>
Inspector's Name	<u>BISHOP SIDAROUS</u>	Contractor	<u>ALLIANCE RESIDENTIAL</u>
		Subcontractor	<u>ETIVISTA</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26218927	Cure Box	5"	62°	76°	φ	10:15	1418373	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① Observation of Placing and Consolidation of $\approx 50 \text{ yd}^3$, 5000 Psi Concrete @ The Following Locations:-
 * WALL #1 @ GRID 5 Between D&H, AND GRID F Between 5&6
 - COLUMNS @ G7, G8, G9, J5, K5, K3 - 2 SUMP PITS.
 * All Rebars were Secured Against displacement.
 * Concrete Poured was within Tolerance for SLUMP As Certified Per Approved Mix Design.
 * Concrete Placed was Mech. vibrated.

② sent To LAB The Rebar's samples Delivered 11-17-15 along w/ SHIPPING REQ copy of Grade 60/A706 Rebars # 3, 4, 5, 6, 7, 8 and 9.

NO LUNCH BREAK.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishop Sidarous
 SIGNATURE OF REGISTERED INSPECTOR
Concrete SPECIALTY Jcc 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 3

TIME IN	TIME OUT	SAMPLES
<u>7 AM</u>	<u>4 PM</u>	<u>1 set of 4 cpls</u>
Approved By <u>[Signature]</u>		<u>11/18/15</u>
Project Superintendent		

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207 Date 11-18-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. LAGUNA NIGUEL, CA.</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE</u>	Permit No.	<u>B15-3124</u>
Type of Structure	<u>GARAGE STRUCTURE</u>	Architect	<u>KHR ENGINEERS.</u>
Material Description (type, grade, source)		Engineer	<u>KHR ENGINEERS.</u>
Inspector's Name	<u>BISHOY SIDAROUS.</u>	Contractor	<u>ALLIANCE RESIDENTIAL-ETIVISTA.</u>
		Subcontractor	<u>ETIVISTA.</u>
		Lot No.	<u>FOUNDATION</u>
		Issued By	<u>city</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

PRECHECK The Reinforcing steel for 2 SUMP PITS as follow:
- SUMP PIT Between GRID "C" & "D" and Between 3&4
- SUMP PIT Between GRID "H" & "J" and Between 3&4 :-
* All Reinforcing Rebars are Per Approved Plans and Specification for size, grade, LAP, Spacing and clearance
* All Rebars are secured Against displacement.
* Ready for Concrete upon city inspector's Approval.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishoy Sidarous
 SIGNATURE OF REGISTERED INSPECTOR
Concrete SPECIALTY
JCC 8290774 NO.
 AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 3

TIME IN	TIME OUT	SAMPLES
Approved By	<u>[Signature]</u>	<u>11/18/15</u>
	Project Superintendent	

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-17-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. Laguna Niguel, CA</u>		Tract No. <u>FOUNDATION</u>
Job Name	<u>GATEWAY VILLAGE</u>	Permit No. <u>B15-2777</u>	Issued By <u>city</u>
Type of Structure	<u>PARKING STRUCTURE</u>	Architect <u>HEMPHREYS-</u>	
Material Description (type, grade, source)	<u>IIv, 5000PSI shotcrete</u>	Engineer <u>VCA.</u>	
Inspector's Name	<u>BISHOY SIDAROUS.</u>	Contractor <u>ALLIANCE RESIDENTIAL-</u>	Subcontractor <u>ETIVISTA.</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	5	26216259	<u>The wall</u>	2 1/2	65°	78°	10	10:45	1418246	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

② verified w/Approved Plans & specifications for work conformance and materials. The observation of placement & consolidation of $\approx 50YD^3$, 5000PSI, 3/8" Agg. wet mix shotcrete by licensed NOZZLEMAN ADRIAN DE LA ROSA (cert # 01142890, EXP 5/4/2018) using a 2" hose & NOZZLE @ The walls (W;WIA) East walls of AREA "A" seg-3 starting @ GRID line F @ 10 TO GRID "K" @ 905'-

* All Reinforcing Rebars are Secured Against displacement.
 * All forms are clean of DELETERIOUS materials.
 * Shotcrete Placed was within Tolerance for SLUMP as certified Per Approved Mix Design.
 * No Rebound was used As Aggregate.
 * @ GRID "R" @ 10 A COLD JOINT OCCURED -

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY Icc 8290774. NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
7 AM	4 PM	2 shotcrete Box
Approved By _____		Project Superintendent

NO LUNCH BREAK.

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207 Date 11-17-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other	
Job Address	27742 FORBES RD. Laguna Niguel, CA		Tract No.	Lot No. FOUNDATION
Job Name	GATEWAY VILLAGE	Permit No.	B15-2230	Issued By city
Type of Structure	GARAGE STRUCTURE	Architect	KHR Engineers	
Material Description (type, grade, source)	11.5, 5000 PSI shotcrete.	Engineer	KHR Engineers.	
Inspector's Name	BISHOP SIDAROUS	Contractor	ALLIANCE RESIDENTIAL	
		Subcontractor	ETIVISTA.	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26215368	R. WALL	2"	45°	77°	φ	7:15	1418246	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

VERIFIED w/APPROVED Plans and specifications for WORK (conformance and Materials, The observation of Placement and Consolidation of ≤ 32 yd³, 5000 PSI, 3/8" Agg. wet Mix shotcrete By licensed NOZZLEMEN (Luis Guzman, Cert # 01279445, EXP 11/2/2018 And ADRIAN DE LA ROSA, Cert # 01142890, EXP 5/4/2018) Using a 2" HOSE & NOZZLE @ the East Ret. wall By the MNWD water line (TYPE 4) :- * All reinforcing Rebars were secured Against displacement
 * All forms were clean of DELETERIOUS MATERIALS.
 * SHOTCRETE Placed was within Tolerance For SLUMP as Certified Per Approved Mix Design.
 * NO Rebound was used As Aggregate.
 (NOTE) TRUCK #4 Tick 26215977 (used only 2 yd³ Due to Time).

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete ICC 8290774
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
Approved By		Date 11/17/15
Project Superintendent		

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207 Date 11-13-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27142 FORBES RD. Laguna Niguel, CA</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE</u>	Permit No.	<u>B15-2777</u>
Type of Structure	<u>PARKING STRUCTURE</u>	Architect	<u>HEMPHREYS.</u>
Material Description (type, grade, source)		Engineer	<u>VCA</u>
Inspector's Name	<u>BISHOY SIDAROUS.</u>	Contractor	<u>ALLIANCE RESIDENTIAL.</u>
		Subcontractor	<u>ETIVISTA.</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

② PRECHECK The Reinforcing steel of The shotcrete Perimeter walls (w1; w1A) @ AREA "A" seg. 3 Between GRID LINES 6.9 & 10.5 and Between GRID lines F & N :-

- * All Reinforcing steel is Per Approved Plans and specifications For size, grade, LAP, Spacing and clearance.
- * All rebars are secured Against displacement.
- * NO contact LAP OCCURED.
- * NO corrections Required By the VCA STRUCTURAL observation Report # 13 Dated 11-13-15.
- * Ready for shotcrete UPON city inspector's APPROVAL.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete ICC 8290774
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE _____ OF _____

TIME IN <u>8 AM</u>	TIME OUT <u>12 PM</u>	SAMPLES <u> </u>
Approved By		Project Superintendent

11/13/15

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



15-2230 STEEL
15-3124 P

Gateway Village
Structural Observation Report #13

Job #: C1135
Date of Observation: 11/13/15

Date: 11/13/15
Page 1 of 3

Structural Observation Requested by: Sri Harsha Bommu	Structural Observation performed by: Arash Mangoli , PE	Area Observed: Area "A" Perimeter wall 1st Lift Rebar (portion), See Attached for the area observed, 1 st Observation
--	--	---

Observed Structural Elements and their connections

<input type="checkbox"/> Shearwall Foundation Reinforcement	<input type="checkbox"/> Retaining Wall Footing Reinforcement
<input type="checkbox"/> Shearwall Reinforcement	<input checked="" type="checkbox"/> Retaining Wall Reinforcement
<input type="checkbox"/> Column Footings Reinforcement	<input type="checkbox"/> Elevated Structural Deck Reinforcement
<input type="checkbox"/> Column Reinforcement	<input type="checkbox"/> Mat Slab Reinforcement

Status of Construction

<input type="checkbox"/> Roof Trusses	<input type="checkbox"/> Stair Installed	<input type="checkbox"/> Bathtub Installed
<input type="checkbox"/> Roof Sheathing	<input type="checkbox"/> Window Installed	<input type="checkbox"/> Preliminary Drywall Installed
<input type="checkbox"/> Roof Loaded	<input type="checkbox"/> Flashing Installed	<input type="checkbox"/> Drywall Stacked in Units
<input type="checkbox"/> Second Floor wall	<input type="checkbox"/> Building Wrapped	<input type="checkbox"/> Drywall on Wall
<input type="checkbox"/> Third Floor Wall	<input type="checkbox"/> Building Stuccoed	<input type="checkbox"/> Drywall on Ceiling
<input type="checkbox"/> Fourth Floor Wall	<input type="checkbox"/> MEP installation on going	<input type="checkbox"/> Sheathing one side Party Wall

Pursuant to your request, a visit to the project site was made on the above date to perform a structural observation in conformance with 2013 CBC Sec. 1702 & 1704.5.

Please note, not all symmetric or repetitive areas were observed, therefore please have your field personnel verify the correction items in all similar areas. Where repair recommendations are given, verify if additional coordination may be necessary with other trades or design professionals. RFIs where requested must go to the Architect for distribution.

The structural observations do not constitute an approval of the work nor do they relieve the contractor or inspection agencies from complying with project and code requirements. All observations were conducted from the ground or floor level and no testing or inspection was performed. Our observations do not include a review of the contractors means or methods of construction, shoring, erection, bracing, nor any associated safety precautions.

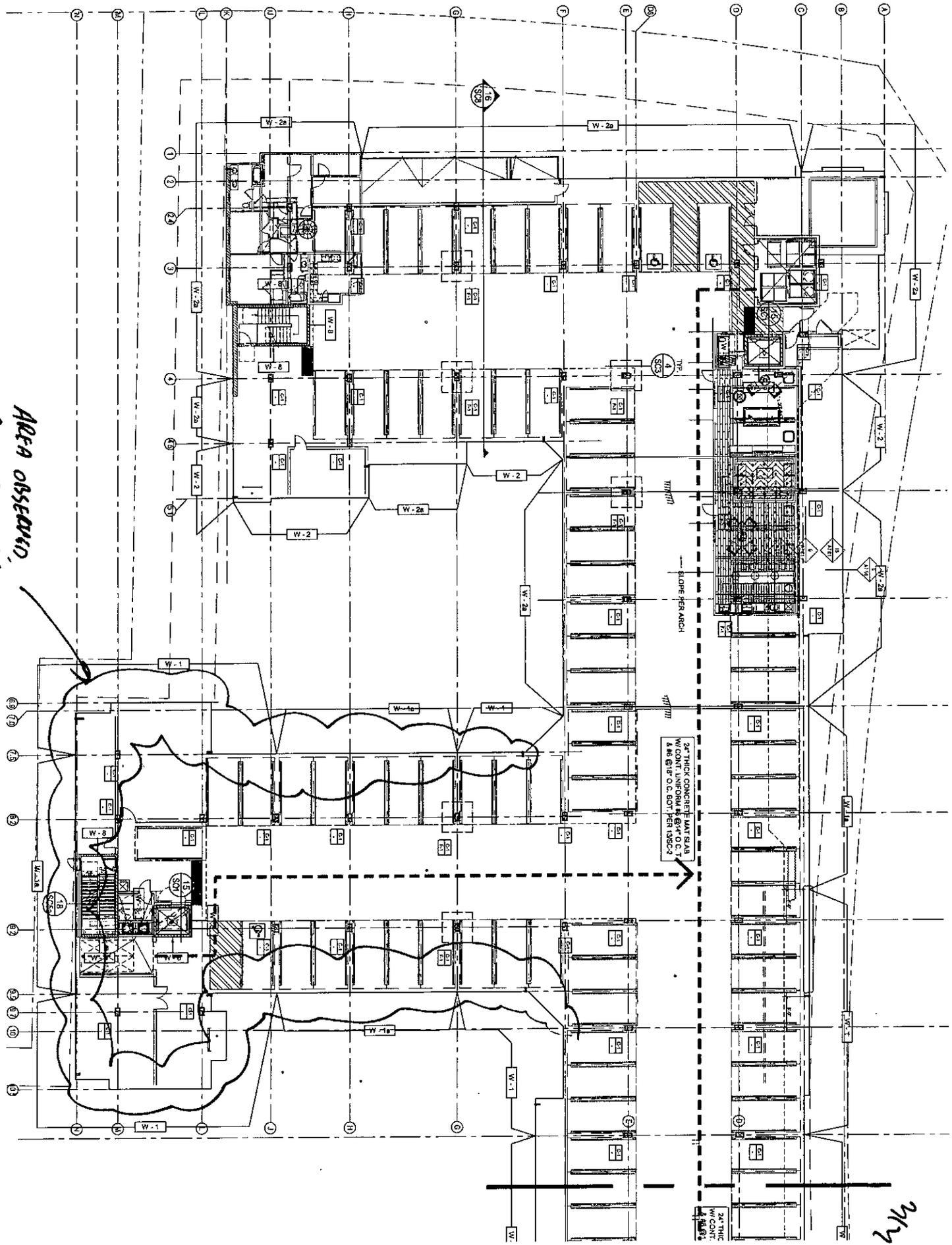
The attached sheets indicate our list of observed deficiencies.

213

GENERAL ITEMS

1. Prior to placement of the concrete, the surface of all forms shall be cleaned of all debris, dirt and loose material.
2. All reinforcement shall be held securely in place prior pouring the concrete.
3. Submit evidence showing compliance with special inspection program on SC-0 sheet. As a minimum, the signed final reports of the deputy and testing agency must be submitted with original signatures.
4. Maintain clearance between rebars and surface per plan.

AREA OBSERVED,
PERIMETER WALL
REINFORCING ONLY



FOUNDATION PLAN AREA "A" 01

SCALE: 3/8" = 1'-0"

2/12

Southwest Inspection and Testing, Inc.

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207 Date 11-12-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD - Laguna Hills, CA</u>		Tract No. <u>FOUNDATION</u>
Job Name	<u>GATEWAY VILLAGE</u>		Permit No. <u>BIS-2230</u>
Type of Structure	<u>P. GARAGE STRUCTURE</u>		Architect <u>KHR Engineer.</u>
Material Description (type, grade, source)			Engineer <u>KHR Engineer.</u>
Inspector's Name	<u>BISHOY SIDAROUS</u>		Contractor <u>ALLIANCE RESIDENTIAL</u>
			Subcontractor <u>ETIVISTA.</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① PRECHECK The Reinforcing steel @ The East Retaining wall's footing By MNWD water line Type 4 :-
 * ALL Reinforcing steel is Per Approved Plans and specifications For size/grade/LAP/spacing and clearance.
 * All Reinforcing steel is secured against displacement
 * Ready for concrete UPON city inspector's Approval

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishoy Sidarous
 SIGNATURE OF REGISTERED INSPECTOR
Concrete SPECIALTY ICC 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
Approved By <u>[Signature]</u>		Project Superintendent <u>[Signature]</u>

Southwest Inspection and Testing, Inc.
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SWIT Job No. 150207 Date 11-11-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. LAGUNA NIGUEL, CA.</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE.</u>	Permit No.	<u>BIS-02777</u>
Type of Structure	<u>PARKING STRUCTURE</u>	Architect	<u>HEMPHREYS.</u>
Material Description (type, grade, source)	<u>II, 5000 PSI Shotcrete</u>	Engineer	<u>VCA</u>
Inspector's Name	<u>BISHOY SIDAROUS.</u>	Contractor	<u>ALLIANCE RESIDENTIAL.</u>
		Subcontractor	<u>ETIVISTA.</u>

TESTS PERFORMED										
SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
<u>1</u>	<u>1</u>	<u>262050RZ</u>	<u>Rc wall</u>	<u>2 1/2</u>	<u>52°</u>	<u>76°</u>	<u>10</u>	<u>7:30</u>	<u>1418246</u>	
<u>2</u>	<u>10</u>	<u>26206019</u>	<u>~ ~</u>	<u>2 1/2</u>	<u>70°</u>	<u>84°</u>	<u>5</u>	<u>11:30</u>	<u>1418246</u>	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① VERIFIED w/ APPROVED Plans and specifications for work Conformance AND MATERIALS, The observation of Placement and Consolidation of $\approx 100\%$, 5000 Psi, 3/8" Agg. wet Mix Shotcrete By licensed NOZZLEMAN LUIS GUZMAN Cert # 01279445 EXP. 11/2/18 using A 2" HOSE and NOZZLE

② WALLS (W2; W2A; W1A) @ NORTH SIDE AREA "A" SEQ. 2 & 4

- * All Reinforcing steel was secured Against displacement.
- * All Forms were clean of DELETERIOUS MATERIALS.
- * SHOTCRETE Placed was within Tolerance For SLUMP as Certified Per Approved Mix Design.
- * NO REBOUND was used As Agg.
- * NO COLD JOINTS OCCURED.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishoy Sidarous
 SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY Icc 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
Approved By <u>[Signature]</u>		Project Superintendent <u>11/11/15</u>

Southwest Inspection and Testing, Inc.
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 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. **150207** Date **11-11-15**

TYPE OF INSPECTION REQUIRED

<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other

Job Address **27142 FORBES RD. LAGUNA NIGUEL, CA.** Tract No. **FOUNDATION**
 Job Name **GATEWAY VILLAGE** Permit No. **B15-02777** Issued By **city**
 Type of Structure **PARKING STRUCTURE** Architect **HEMPHREYS.**
 Material Description (type, grade, source) **IV, 2500 PSI GROUT.** Engineer **VCA.**
 Inspector's Name **BISHOP SIDAROUS.** Contractor **ALLIANCE RESIDENTIAL.**
 Subcontractor **ETIVISTA.**

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26206073	ELEC. ROOM	10 1/2	70°	77°	30	11:45	1418254	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

② observation of Placing and Consolidation of ≈ 13 yd³ 2500 PSI GROUT @ The Following Locations: -
 - ELEC. ROOM 8" CMU NON Bearing WALL AREA "B" Seg 4.
 - #6 Stair ROOM 12" E 8" CMU WALLS (W8, W12) AREA "B" Seg 4
 * All Rebars were Secured Against displacement
 * GROUT Poured was within Tolerance for SLUMP as Certified per Approved Mix Design.
 * GROUT Placed was with ~~with~~ Mech. vibrated.
 * A set of 5 PRISMS BUILT Prior starting the CMU WORK was GROUTED and sent TO THE LAB.

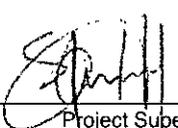
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete, Masonry SPECIALTY
ICC 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE **2** OF **2**

TIME IN	TIME OUT	SAMPLES
7 AM	3 PM	2 shotcrete Box 5 PRISMS. 1 set of GROUT
Approved By 		11/11/15
Project Superintendent		

NO LUNCH BREAK.

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy

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SWIT Job No. 150207 Date 11-10-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27142 FORBES RD. LAGUNA NIGUEL, CA</u>		Tract No. <u>FOUNDATION</u>
Job Name	<u>GATEWAY VILLAGE</u>	Permit No. <u>B15-3124</u>	Issued By <u>city</u>
Type of Structure	<u>PARKING STRUCTURE</u>	Architect <u>ARCHITECTS ORANGE</u>	
Material Description (type, grade, source)	<u>ILV, 4500 PSI Concrete</u>	Engineer <u>SENECA</u>	
Inspector's Name	<u>BISHOY SIDAROUS</u>	Contractor <u>ALLIANCE RESIDENTIAL</u>	Subcontractor <u>ETTIVISTA</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
<u>As Reported By TECH - Jesus Lopez.</u>										

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① OBSERVATION OF Placing and Consolidation of ~~440~~ 4500 PSI Concrete @ The GARAGE Retaining wall's Footings and FOUNDATION # 2 Between GRID Lines 7.5 and 11.5 and Between D & J:—

- * All Rebars are secured Against displacement.
- * All Concrete Poured was within tolerance for SLUMP, as Certified per Approved Mix Design # 1418515.
- * Concrete Placed was Mech. vibrated.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishoy Sidarous
 SIGNATURE OF REGISTERED INSPECTOR

Concrete ICC 8290774
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
<u>7 AM</u>	<u>3 PM.</u>	<u>3 sets of cyls</u>
Approved By _____		Project Superintendent

Southwest Inspection and Testing, Inc.

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 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. <u>1-327</u>	Date _____
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TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing	<input type="checkbox"/> Other
<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt		

Job Address _____	Tract No. _____	Lot No. _____
Job Name _____	Permit No. _____	Issued By _____
Type of Structure _____	Architect _____	
Material Description (type, grade, source) _____	Engineer _____	
	Contractor _____	
Inspector's Name _____	Subcontractor _____	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE _____ OF _____

TIME IN	TIME OUT	SAMPLES
Approved By _____ Project Superintendent		

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Southwest Inspection and Testing, inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 8-28-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBS RD.</u>	Tract No.	Lot No.
Job Name	<u>GATEWAY VILLAGE PARKING ST.</u>	Permit No.	Issued By
Type of Structure	<u>RET. WALL</u>	Architect	<u>CARL FORREST</u>
Material Description (type, grade, source)	<u>CRUMFLX 5000 PSI CONCL.</u>	Engineer	<u>JAMES H. KAWAMURA</u>
Inspector's Name	<u>FRANK BEGG</u>	Contractor	<u>ALLIANCE</u>
		Subcontractor	<u>FUTU/ VISTA</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	6771	26024		1	84	75		9:20	14824	

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PNEUMATICALLY APPLIED S.C. CONC AT EAST RET. WALL NORTH END. All work per APPROVED PLANS, SPECS, CODE.
 (2) SAMPLES MADE BY ROBERTO CAZAR'S NOZZLE MAN FOR FUTU/VISTA. NORTH END. ESTIMATE APPROX 3 TO 4 TO 6 FT 3.11
 2 NOZZLE MEN w/ GLOVES ON FIRE
 FRANK JUACAZ ACE ID NO. 1267772 Exp. 5/4/14
 ROBERTO CAZAR ACE ID NO. 1277444 Exp. 11/2/14

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Frank Beeg

SIGNATURE OF REGISTERED INSPECTOR

CONC. SPECIALTY 0825047 NO. FCC AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
<u>7:00 AM</u>	<u>3:30</u>	<u>2</u>
Approved By <u>Bob Perice</u>		
<u>Bob Perice</u>		
Project Superintendent		

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Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-23-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	21742 FORBES RD - Laguna Niguel, CA		Tract No.
Job Name	GATEWAY VILLAGE		Permit No. <u>B15-3124</u>
Type of Structure	PARKING GARAGE		Architect <u>KHR.</u>
Material Description (type, grade, source)	II V, 4500 PSI Concrete		Engineer <u>SENECA.</u>
Inspector's Name	BISHOP SIDAROUS		Contractor <u>ALLIANCE RESIDENTIAL-ETNISTA.</u>
			Subcontractor
			<u>ETNISTA.</u>
			Lot No. <u>FOUNDATION</u>
			Issued By <u>city</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26229344	Cure Box	5"	75°	80°	5"	12:30	1418515	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

observation of placing and consolidation of ≈ 15 yd³, 4500 Psi Concrete @ The 2 SUMP PITS' WALLS as follows:-
 - SUMP PIT Between GRIDS "C" & "D" Between "3" & "4"
 - SUMP PIT Between GRIDS "H" & "J" Between "3" & "4"
 * All Rebars were secured Against displacement.
 * Concrete Poured was within tolerance for SLUMP as Certified Per Approved Mix Design.
 * Concrete Placed was Mech. vibrated.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY ICC 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 3

TIME IN <u>7 AM</u>	TIME OUT <u>3 PM</u>	SAMPLES <u>set of 3 (2015)</u> <u>set of 4 (4x8)</u>
Approved By _____		Project Superintendent <u>[Signature]</u> <u>11/23/15</u>

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 11-23-15
-------------------------------	-------------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD. Laguna Niguel, CA.		Tract No.
Job Name	GATEWAY VILLAGE.	Permit No.	B15-3124
Type of Structure	PARKING GARAGE	Architect	KHR
Material Description (type, grade, source)		Engineer	SENECA.
Inspector's Name	BISHOY SIDAROUS.	Contractor	ALLIANCE RESIDENTIAL.
		Subcontractor	ETIVISTA.

TESTS PERFORMED										
SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

PRECHECK The Reinforcing steel for the Ret. wall @ GRID "F" FROM 6 TO 10, and the wall @ GRID "5" FROM "H" TO "L", and the wall @ GRID "L" FROM "4" TO "5"

** All Reinforcing steel is per Approved Plans and specification for size, grade, LAP, spacing and clearance.*

** All Rebars are Secured Against displacement.*

** Ready for shotcrete upon city inspector's Approval.*

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishoy Sidarous
SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY *ICC 8290774* NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 3

TIME IN	TIME OUT	SAMPLES
Approved By <i>[Signature]</i> 11/23/15 Project Superintendent		

Southwest Inspection and Testing, Inc.

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REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 11-20-15
-------------------------------	-------------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD. Laguna Niguel, CA		Tract No.
Job Name	GATEWAY VILLAGE		Permit No. BIS-3124
Type of Structure	PARKING STRUCTURE		Lot No. FOUNDATION
Material Description (type, grade, source)			Architect KHR
			Engineer SENECA
			Contractor ALLIANCE RESIDENTIAL
Inspector's Name	BISHOP SIDAROUS		Subcontractor ETIVISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	set	as	PROVIDED BY	TECH.						ADRIAN HAMILTON

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① PRECHECK The Reinforcing steel of 2 SUMP PITS' walls as follow:-
 - SUMP PIT Between GRIDS "C" & "D", Between 3 & 4
 - SUMP PIT Between GRIDS "H" & "J", Between 3 & 4.
 * All Rebars are Per APPROVED Plans and specifications.
 For size, grade, LAP, spacing and clearance.
 * All Rebars are secured Against displacement.
 * Ready For concrete UPON city inspector's Approval.

② observation of Placing and consolidation of ≈ 35 yd³, 5000 Psi Concrete @ wall #2 @ GRID "I" FROM "D" TO "H" and @ GRID "F" FROM 10 TO 11 :-
 * All Rebars were secured Against displacement.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete **ICC 8290774**
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE **3** OF **4**

TIME IN	TIME OUT	SAMPLES
Approved By 11/20/15 Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631

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SWIT Job No. 150207	Date 11-20-15
-------------------------------	-------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	21142 FORBES RD. Laguna Niguel, CA		Tract No.
Job Name	GATEWAY VILLAGE		Permit No. B15-3124
Type of Structure	PARKING STRUCTURE		Lot No. FOUNDATION
Material Description (type, grade, source)			Issued By city
Inspector's Name	BISHOY SIDAROUS.		Architect KHR
			Engineer SENECA.
			Contractor ALLIANCE RESIDENTIAL
			Subcontractor ETIVISTA.

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

** All forms were clean of Deleterious MATERIALS.*
** Concrete poured was within Tolerance for SLUMP as Certified Per Approved Mix Design # 1418373.*
** Concrete Placed was Mech. vibrated.*

NO LUNCH BREAK.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete
SPECIALTY

Bishoy Sidarous
NO. **ICC 8290774**

Laguna Niguel
AGENCY

CONTINUED ON NEXT PAGE PAGE **4** OF **4**

TIME IN TAM	TIME OUT 5 1/2 PM	SAMPLES AS Reported By Tech. + Shotcrete Boxes
Approved By _____		Project Superintendent <i>[Signature]</i> 11/20/15

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Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. **150207** Date **11-20-15**

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27142 FORBES RD - Laguna Niguel, CA.		Tract No.
Job Name	GATEWAY VILLAGE	Permit No.	B15-2777
Type of Structure	PARKING STRUCTURE	Architect	HEMPHREYS.
Material Description (type, grade, source)		Engineer	VCA.
Inspector's Name	BISHOY SIDAROUS.	Contractor	ALLIANCE RESIDENTIAL.
		Subcontractor	ETIVISTA.

TESTS PERFORMED										
SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP.	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

* NO Rebound was used As Aggregate.

② PRECHECK The Reinforcing steel of The Non Bearing 8" WALLS OF TRASH ROOM & THE NON BEARING WALL @ GRID "C" Between 4 & 6 @ AREA "A" ~~grid~~ Seg. 2 & 4 :-

* All Reinforcing Rebars are per Approved Plans & Specifications for size, grade, LAP, Spacing & clearance

* All Rebars are secured Against displacement.

* Ready for grout UPON city inspector's Approval.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishoy Sidarous
 SIGNATURE OF REGISTERED INSPECTOR

Concrete, Masonry ICC 8290774
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE **2** OF **4**

TIME IN	TIME OUT	SAMPLES
Approved By		Project Superintendent

[Signature] 11/20/15

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207 Date 11-20-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. LAGUNA NIGUEL, CA.</u>		Tract No. <u>FOUNDATION</u>
Job Name	<u>GATEWAY VILLAGE</u>	Permit No. <u>B15-2777</u>	Issued By
Type of Structure	<u>PARKING STRUCTURE</u>	Architect <u>HEMPHREYS.</u>	
Material Description (type, grade, source)	<u>III, 5000 PSI SHOTCRETE.</u>	Engineer <u>JCA.</u>	
Inspector's Name	<u>BISHOP SIDAROUS.</u>	Contractor <u>ALLIANCE RESIDENTIAL.</u>	
		Subcontractor <u>ETIVISTA.</u>	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26223717	Cure Box	2 1/2"	52°	75°	15	7:30	1418246	
2	6	26225048	~ ~	9"	72°	77°	15	11:30	1418246	
3	11	26226205	~ ~	2"	75°	78°	10	4:15	1418246	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① Verified w/Approved Plans and specifications for work conformance and materials. The observation of placing and consolidation of $\approx 120YD^3$, 5000 PSI, 3/8" Agg - wet Mix shotcrete by licensed NOZZLEMEN (ADRIAN DE LA ROSA, cert # 01142890 Exp. 5/4/2018 & Luis GUZMAN cert # 01279445 Exp. 11/2/2018) using a 2" HOSE & NOZZLE @ AREA "A" Seq. 3 AS FOLLOWS: - SOUTH WALLS (W1; W1A) - EAST WALL (W-1) starting @ GRID "K" @ 9-5. - WEST WALLS (W1; W1A)

* All Reinforcing steel was secured against displacement.
 * All FORMS were clean of DELETERIOUS materials.
 * SHOTCRETE placed was within Tolerance for SLUMP as Certified per APPROVED Mix Design.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE-REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishop Sidarous
 SIGNATURE OF REGISTERED INSPECTOR

Concrete Masonry SPECIALTY
FCC 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 4

TIME IN	TIME OUT	SAMPLES
Approved By		Project Superintendent

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207	Date 11-23-15
-------------------------------	-------------------------

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 FORBES RD. LAGUNA NIGUEL, CA.		Tract No.
Job Name	GATEWAY VILLAGE.	Permit No.	BIS-2777
Type of Structure	PARKING STRUCTURE.	Architect	HEMPHREYS.
Material Description (type, grade, source)	IIV, 2500 PSI GROUT.	Engineer	VCA.
Inspector's Name	BISHOY SIDAROUS.	Contractor	ALLIANCE RESIDENTIAL.
		Subcontractor	ETIVISTA.

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26227906	Cure Box 9"	9"	55°	70°	15"	7:45	1418253	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

observation of Placing & Consolidation of $\approx 20\text{yd}^3$, 2500 PSI GROUT @ AREA "A" Seq. 2 & 4 @ The Following LOCATIONS: -

- NON BEARING WALLS OF THE TRASH 2 ROOMS.
- NON BEARING WALL @ GRID "C" Between 4 & 6 :-
- * All Rebars were Secured Against displacement.
- * GROUT Placed was within Tolerance for SLUMP as Certified Per Approved Mix Design.
- * Clean outs were provided As Per Approved Plans & Specs
- * GROUT Placed was Mech. vibrated.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Bishoy Sidarous
 Masonry SPECIALTY ICC 8290774 AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 3

TIME IN	TIME OUT	SAMPLES
Approved By <i>[Signature]</i>		Project Superintendent <i>[Signature]</i> 11/23/15

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PERMIT # B15-3124

SITE ADDRESS: 27742 FORBES RD.

NOTES:

- storm drain 3.5 to 4X C to J 11-12-15 JW
- 11-13-15 Wall steel for wall #1 & 2 (dums @ 6-9 X 6-9) JW
- 11-13-15 Columns @ Grid 5 & 6 X H & L JW
- 11-16-15 4" U.G. For Deck Drains F-C thru 10 to 5 JW
- 11-17-15 Parking Garage Sump's x2 (Grid 6) JW
- 11-20-15 Parking Garage SUMP PITS (2) WALL STEEL JW
- 11-23-15 Grid F from "6" - "10" verify steel/shotcrete JW
- 11-23-15 Grid 5 from "H" - "J" verify steel/shotcrete JW
- 11-23-15 Grid 2 from "4" - "5" verify steel/shotcrete JW



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360 FAX 362-4369
 www.CityofLagunaNiguel.org

INSPECTION REQUEST
 Hotline 949-362-4381

126

Permit #: BIS-3124
 Job Address: 27742 Forbes
 Name: _____ Phone #: 246-6794

Building

CODE: INSPECTION TYPE	CODE: INSPECTION TYPE	CODE: INSPECTION TYPE
2. Initial Water Quality Inspection	48. Roof Sheathing	430. P/S FINAL - PLUMBING
4. Temp Electrical Service or Pole	50. Roof Framing	432. P/S FINAL - ELECTRICAL
6. Soil Pipe Underground	51. Approval to Cover Exterior	434. P/S FINAL - POOL COVER
8. Water Pipe Underground	52. Shear Walls Interior	436. P/S FINAL - SOLAR SYSTEM
9. Sewer Line & House Connect	53. Preliminary Shear	438. P/S FINAL - POOL/SPA
10. Electrical Conduit Underground	54. Shear Walls Exterior	902. FINAL - ELECTRICAL METER METER RELEASE
14. Gas Line Underground & Test	55. Preliminary Insulation	904. FINAL - ELECTRICAL
16. Verify Setbacks	56. Rough Frame & Flashing	906. FINAL - SIGN
18. Footings & Steel	59. OCFA Fire Sprinkler - Rough	908. FINAL - MECHANICAL
19. UFER	60. T-Bar Ceiling	910. FINAL - PLUMBING
20. Foundation - Slab on Grade	64. Lathing Exterior	912. FINAL - WATER SERVICE
21. Post Tension	70. Insulation	914. FINAL - GAS TEST
22. Steel Reinforce - Retain. Walls	72. Drywall Nailing/Firewalls	916. FINAL - ACCESSIBILITY REGULATIONS
24. Pre Grout Lift 1	400. P/S Pre inspection for Fences	918. FINAL - RE-ROOF
26. Pre Grout Lift 2	402. P/S Pool & Equipment Loc.	920. FINAL - PLANNING
29. Wall Drainage	410. P/S Approval to Cover - Gunite	922. FINAL - ENGINEERING/P.W.
30. Floor Plywood Nailing	412. P/S Electrical Conduit Undrmd.	924. FINAL - O.C. HEALTH
32. Sewer Line & House Connect	414. P/S Gas Pipe Underground Test	926. FINAL - WATER DISTRICT
34. Roof Drains/Deck Drains	416. P/S Backwash Lines, P Trap, Underground	927. FINAL - SMOKE DETECTOR
36. Rough Plumbing/Gas Test	418. P/S Final Backwash Receptor	928. FINAL - GRADING
40. Hot Mop Shower	420. P/S Fencing & Access Gates	930. FINAL - OCFA SPRINKLER SYSTEMS - Name
41. Lathing Interior	422. P/S Pre Deck	932. FINAL - OCFA PROJECT FINAL - Name
42. Rough Electrical	424. P/S Approved for Plastering	933. Anti-Entrapment Device
44. Rough Mechanical	428. P/S FINAL - HEATER & VENT	934. FINAL - BUILDING & SAFETY
46. Fire Dampers		935. FINAL - WATER QUALITY INSPECTION

Grading

Code: Inspection Type	Code: Inspection Type	Code: Inspection Type
500. Pre-Grading Meeting	518. Contractor's Statement of Compl.	536. Paving - Agg Base
502. Construction Erosion Control	520. Rough Grade Release	538. Paving - Asphalt /Concrete
504. Earthwork - Excavation	522. Soils Memo - Utility Trench Backfill	540. Paving - Civil Certification
506. Earthwork - Fills	524. Soils Memo - Drain/Wall Backfill	542. Paving - Soils Engineer Memos
508. Earthwork - Buttresses/Keyways	526. Drainage Line & Grade	544. Paving - Water Test/Seal Coat
510. Earthwork - Subdrains	528. Drainage System	540. FINAL - SOILS/GEO REPORT
512. Earth Swales/V-ditches	530. Soils Memo - Area Drain/Trench Backfill	542. FINAL - CIVIL CERTIFICATIONS
514. Rough Grade Release - Civil Cert.	532. Pre-Paving Meeting	544. FINAL - AS BUILT PLANS
516. Rough Grade Soils/Geo Reports	534. Paving - Subgrade	546. FINAL - GRADING RELEASE

MON (AM/PM) _____ TUES (AM/PM) 11/24 WED. (AM/PM) _____ THURS. (AM/PM) _____ FRI. (AM/PM) _____

Notes: 8:30



CITY OF LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capata
Paul G. Glaab
Linda Lindholm
Robert Ming

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

This report includes all construction work through 18th day of November, 20 15 Page No. of Report No.

Project Address: 27742 Forbes Road		Structural Observer of Record (SOR): K. Dirk Bondy, S.E.	SOR Phone No.: 949-595-8182
Building Permit No.:	Structural Observation performed by: K. Dirk Bondy, S.E.	Observer Professional Lic./Reg. No.: S3921	Observer Phone No.: 949-595-8182

OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

FOUNDATION	WALL	FRAMES	FLOOR	PORTION OBSERVED, IF NOT WHOLE
<input checked="" type="checkbox"/> Footing, Stem Walls,	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Moment Frame	<input type="checkbox"/> Concrete	Portion of Foundation Shown in attached sketch.
<input type="checkbox"/> Mat Foundation	<input type="checkbox"/> Masonry	<input type="checkbox"/> Steel Braced Frame	<input type="checkbox"/> Steel Deck	and 2 sump pits.
<input type="checkbox"/> Caisson, Piles, Grade Beams	<input type="checkbox"/> Wood	<input type="checkbox"/> Concrete Moment Frame	<input type="checkbox"/> Wood	
<input type="checkbox"/> Retaining Foundation Hillside Special Anchors	<input type="checkbox"/> Other:	<input type="checkbox"/> Masonry Wall Frame	<input type="checkbox"/> Others:	
<input type="checkbox"/> Others:		<input type="checkbox"/> Others:		

OBSERVED DEFICIENCIES:

None.

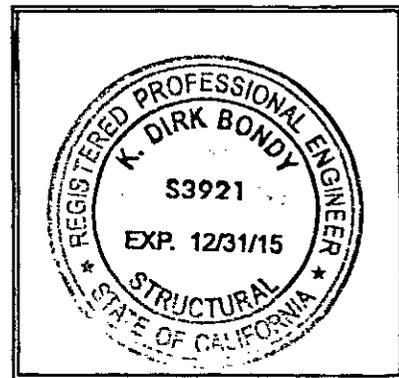
I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF LAGUNA NIGUEL.
- I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
- ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
- I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF LAGUNA NIGUEL BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.

11-18-2015

SIGNATURE

DATE



STAMP OF STRUCTURAL
OBSERVER OF RECORD



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360 FAX 362-4369
 www.CityofLagunaNiguel.org

INSPECTION REQUEST
 Hotline 949-362-4381

126

Permit #: B15-2777⁽¹⁸⁾ / 3124⁽²²⁾
 Job Address: 27742 FORBES RD.
 Name: _____ Phone #: 246-6794

Building

CODE: INSPECTION TYPE		CODE: INSPECTION TYPE		CODE: INSPECTION TYPE	
2. Initial Water Quality Inspection		48. Roof Sheathing		430. P/S FINAL - PLUMBING	
4. Temp Electrical Service or Pole		50. Roof Framing		432. P/S FINAL - ELECTRICAL	
6. Soil Pipe Underground		51. Approval to Cover Exterior		434. P/S FINAL - POOL COVER	
8. Water Pipe Underground		52. Shear Walls Interior		436. P/S FINAL - SOLAR SYSTEM	
9. Sewer Line & House Connect		53. Preliminary Shear		438. P/S FINAL - POOL/SPA	
10. Electrical Conduit Underground		54. Shear Walls Exterior		902. FINAL - ELECTRICAL METER METER RELEASE	
14. Gas Line Underground & Test		55. Preliminary Insulation		904. FINAL - ELECTRICAL	
16. Verify Setbacks		56. Rough Frame & Flashing		906. FINAL - SIGN	
18. Footings & Steel		59. OCFA Fire Sprinkler - Rough		908. FINAL - MECHANICAL	
19. JFER		60. T-Bar Ceiling		910. FINAL - PLUMBING	
20. Foundation - Slab on Grade		64. Lathing Exterior		912. FINAL - WATER SERVICE	
21. Post Tension		70. Insulation		914. FINAL - GAS TEST	
✓ 22. Steel Reinforce - Retain. Walls		72. Drywall Nailing/Firewalls		916. FINAL - ACCESSIBILITY REGULATIONS	
24. Pre Grout Lift 1		400. P/S Pre Inspection for Fences		918. FINAL - RE-ROOF	
26. Pre Grout Lift 2		402. P/S Pool & Equipment Loc.		920. FINAL - PLANNING	
29. Wall Drainage		410. P/S Approval to Cover - Gunite		922. FINAL - ENGINEERING/P.W.	
30. Floor Plywood Nailing		412. P/S Electrical Conduit Undrgrnd.		924. FINAL - O.C. HEALTH	
32. Sewer Line & House Connect		414. P/S Gas Pipe Underground Test		926. FINAL - WATER DISTRICT	
34. Roof Drains/Deck Drains		416. P/S Backwash Lines, P Trap, Underground		927. FINAL - SMOKE DETECTOR	
36. Rough Plumbing/Gas Test		418. P/S Final Backwash Receptor		928. FINAL - GRADING	
40. Hot Mop Shower		420. P/S Fencing & Access Gates		930. FINAL - OCFA SPRINKLER SYSTEMS - Name	
41. Lathing Interior		422. P/S Pre Deck		932. FINAL - OCFA PROJECT FINAL - Name	
42. Rough Electrical		424. P/S Approved for Plastering		933. Anti-Entrapment Device	
44. Rough Mechanical		428. P/S FINAL - HEATER & VENT		934. FINAL - BUILDING & SAFETY	
46. Fire Dampers				935. FINAL - WATER QUALITY INSPECTION	

Grading

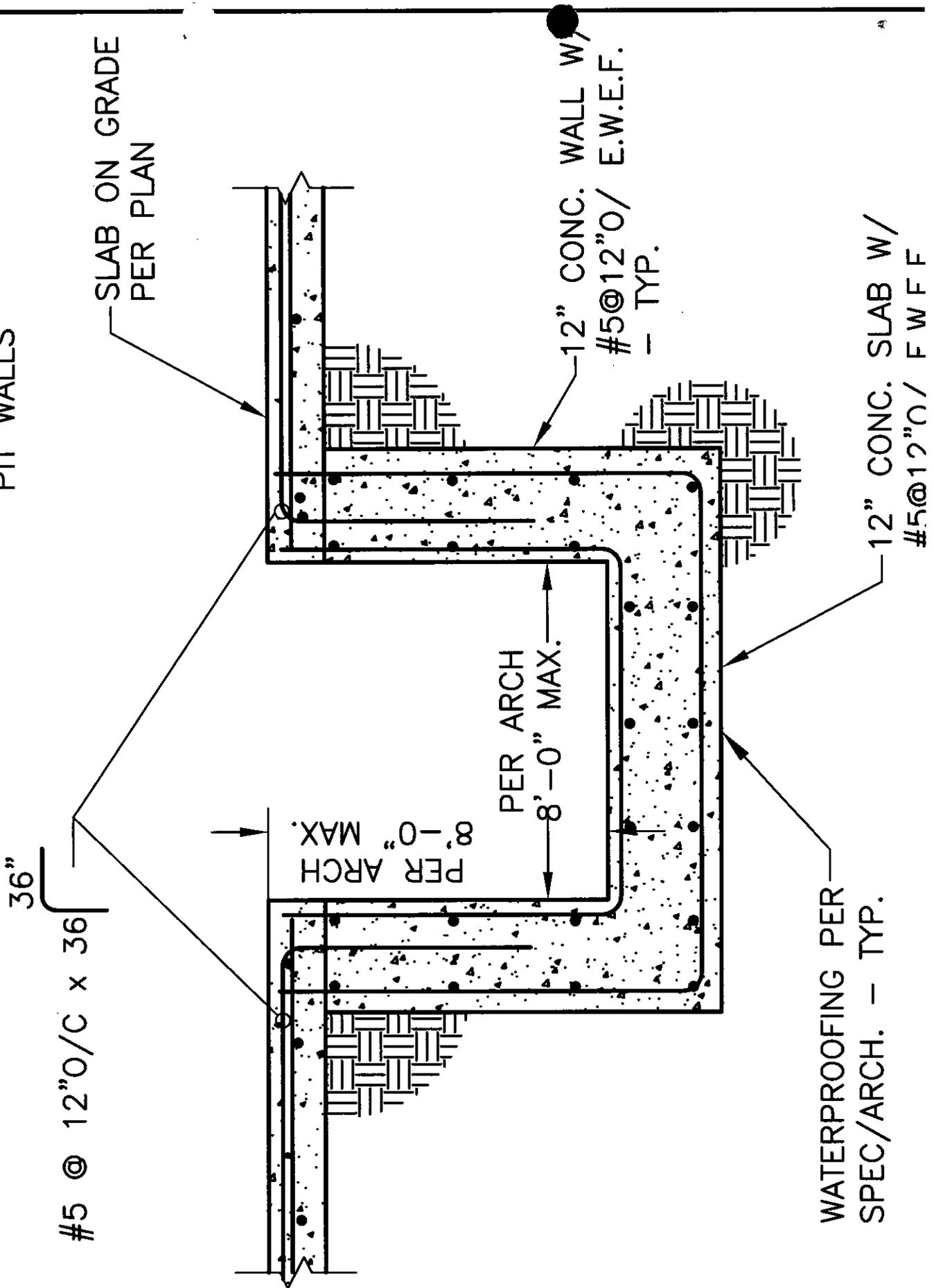
Code: Inspection Type		Code: Inspection Type		Code: Inspection Type	
500. Pre-Grading Meeting		518. Contractor's Statement of Compl.		536. Paving - Agg Base	
502. Construction Erosion Control		520. Rough Grade Release		538. Paving - Asphalt /Concrete	
504. Earthwork - Excavation		522. Soils Memo - Utility Trench Backfill		540. Paving - Civil Certification	
506. Earthwork - Fills		524. Soils Memo - Drain/Wall Backfill		542. Paving - Soils Engineer Memos	
508. Earthwork - Buttresses/Keyways		526. Drainage Line & Grade		544. Paving - Water Test/Seal Coat	
510. Earthwork - Subdrains		528. Drainage System		540. FINAL - SOILS/GEO REPORT	
512. Earth Swales/V-ditches		530. Soils Memo - Area Drain/Trench Backfill		542. FINAL - CIVIL CERTIFICATIONS	
514. Rough Grade Release - Civil Cert.		532. Pre-Paving Meeting		544. FINAL - AS BUILT PLANS	
516. Rough Grade Soils/Geo Reports		534. Paving - Subgrade		546. FINAL - GRADING RELEASE	

MON (AM/PM) 11/9 TUES. (AM/PM) _____ WED. (AM/PM) _____ THURS. (AM/PM) _____ FRI. (AM/PM) _____

Notes: 10:00 AM

NOTE:

LOWER ADJACENT FTG'S SO
NO SURCHARGE PER
24/GS1.4 IS CREATED ON
PIT WALLS



Elevator pad (North elevator)
11-5-15 See computer attachment for Grid detail



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360 FAX 362-4369
 www.CityofLagunaNiguel.org

INSPECTION REQUEST
 Hotline 949-362-4381

126

Permit #: B15-3124
 Job Address: 27742 Forbes
 Name: _____ Phone #: 246-6794

Building

CODE: INSPECTION TYPE		CODE: INSPECTION TYPE		CODE: INSPECTION TYPE	
2. Initial Water Quality Inspection		48. Roof Sheathing		430. P/S FINAL - PLUMBING	
4. Temp Electrical Service or Pole		50. Roof Framing		432. P/S FINAL - ELECTRICAL	
6. Soil Pipe Underground		51. Approval to Cover Exterior		434. P/S FINAL - POOL COVER	
8. Water Pipe Underground		52. Shear Walls Interior		436. P/S FINAL - SOLAR SYSTEM	
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14. Gas Line Underground & Test		55. Preliminary Insulation		904. FINAL - ELECTRICAL	
16. Verify Setbacks		56. Rough Frame & Flashing		906. FINAL - SIGN	
18. Footings & Steel		59. OCFA Fire Sprinkler - Rough		908. FINAL - MECHANICAL	
19. UFER		60. T-Bar Ceiling		910. FINAL - PLUMBING	
20. Foundation - Slab on Grade		64. Lathing Exterior		912. FINAL - WATER SERVICE	
21. Post Tension		70. Insulation		914. FINAL - GAS TEST	
22. Steel Reinforce - Retain. Walls		72. Drywall Nailing/Firewalls		916. FINAL - ACCESSIBILITY REGULATIONS	
24. Pre Grout Lift 1		400. P/S Pre Inspection for Fences		918. FINAL - RE-ROOF	
26. Pre Grout Lift 2		402. P/S Pool & Equipment Loc.		920. FINAL - PLANNING	
29. Wall Drainage		410. P/S Approval to Cover - Gunite		922. FINAL - ENGINEERING/P.W.	
30. Floor Plywood Nailing		412. P/S Electrical Conduit Undrgmd.		924. FINAL - O.C. HEALTH	
32. Sewer Line & House Connect		414. P/S Gas Pipe Underground Test		926. FINAL - WATER DISTRICT	
34. Roof Drains/Deck Drains		416. P/S Backwash Lines, P Trap, Underground		927. FINAL - SMOKE DETECTOR	
36. Rough Plumbing/Gas Test		418. P/S Final Backwash Receptor		928. FINAL - GRADING	
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41. Lathing Interior		422. P/S Pre Deck		932. FINAL - OCFA PROJECT FINAL - Name	
42. Rough Electrical		424. P/S Approved for Plastering		933. Anti-Entrapment Device	
44. Rough Mechanical		428. P/S FINAL - HEATER & VENT		934. FINAL - BUILDING & SAFETY	
46. Fire Dampers				935. FINAL - WATER QUALITY INSPECTION	

Grading

Code: Inspection Type		Code: Inspection Type		Code: Inspection Type	
500. Pre-Grading Meeting		518. Contractor's Statement of Compl.		536. Paving - Agg Base	
502. Construction Erosion Control		520. Rough Grade Release		538. Paving - Asphalt /Concrete	
504. Earthwork - Excavation		522. Soils Memo - Utility Trench Backfill		540. Paving - Civil Certification	
506. Earthwork - Fills		524. Soils Memo - Drain/Wall Backfill		542. Paving - Soils Engineer Memos	
508. Earthwork - Buttresses/Keyways		526. Drainage Line & Grade		544. Paving - Water Test/Seal Coat	
510. Earthwork - Subdrains		528. Drainage System		540. FINAL - SOILS/GEO REPORT	
512. Earth Swales/V-ditches		530. Soils Memo - Area Drain/Trench Backfill		542. FINAL - CIVIL CERTIFICATIONS	
514. Rough Grade Release - Civil Cert.		532. Pre-Paving Meeting		544. FINAL - AS BUILT PLANS	
516. Rough Grade Soils/Geo Reports		534. Paving - Subgrade		546. FINAL - GRADING RELEASE	

MON (AM/PM) _____ TUES. (AM/PM) _____ WED. (AM/PM) 1/4 THURS. (AM/PM) _____ FRI. (AM/PM) _____

Notes: _____
1:00

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date
1-12-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other			
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.		
Job Name	Broadstone Parking Structure		Permit No.	B15-3124	Issued By	Laguna Niguel
Type of Structure	parking structure		Architect	Arch of orange		
Material Description (type, grade, source)	Astm A706 and A-615 reinforcement		Engineer	Seneca		
Inspector's Name	Justin Parrish		Contractor	Alliance Residential		
			Subcontractor	Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Final verification of placement of Astm A-615 And A-706 reinforcement for columns-1st lift -foundation level-parking garage@(J, 3.9) (K,3.9)C,3.5)(2.5,K) Note GS2.0 overview and column schedule on GS3.1.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC-94** Laguna Niguel
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00		
Approved By 1/12/16 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

B15-3124

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No. 150207 Date **1-16-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input checked="" type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway village	Permit No.	B15-3124
Type of Structure	parking structure	Architect	Arch of orange
Material Description (type, grade, source)		Engineer	Seneca
Astm A706 and A-615 reinforcement/5000 psi shotcrete		Contractor	Alliance Residential
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement of approx 80 yds/3 of 5000 psi shotcrete (Cemex mix 1418246) for shotcrete walls -1st lift -foundation level-parking garage (A line @ 1 thru 7) (1line @ A thru D approx)Trailer pump used for placement. Minimal displacement of set reinforcement allowed during set. Correct slump 2-3" maintained throughout placement. Verified the correct cleanliness and clearances of reinforcement prior to placement. 2 compressive strength shotcrete panels cast as per code and approved plans.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

 SIGNATURE OF REGISTERED INSPECTOR
 Reinforced/PT/Masonry **AEC-94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	3.30	2 shotcrete panels
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No. 150207 Date **1-18-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input checked="" type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address 27742 Forbes Rd.	Tract No.	Phase	Lot No.
Job Name Gateway village	Permit No. B15-3124	Issued By Laguna Niguel	
Type of Structure parking structure	Architect Arch of orange		
Material Description (type, grade, source)	Engineer Seneca		
Astm A706 and A-615 reinforcement	Contractor Alliance Residential		
Inspector's Name Justin Parrish	Subcontractor Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 and Astm A-615 grade 60 reinforcement for perimeter wall footing (A line @ 7 thru 11) as per GS2.0 overview and applicable details. Monitored and verified the correct assembly of columns as per details on GS3.1. Verified the correct size, type, number, placement and clearances of reinforcement and the correct size, depth, and cleanliness of footings as per code and approved plans.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC-94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	11.00	
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date
1-19-16

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other	
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.
Job Name	Gateway village	Permit No.	B15-3124	
Issued By	Laguna Niguel			
Type of Structure	parking structure	Architect	Arch of orange	
Material Description (type, grade, source)	Engineer		Seneca	
Astm A706 and A-615 reinforcement	Contractor		Alliance Residential	
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 and Astm A-615 reinforcement for perimeter wall footings, column footings, columns, and grade beams @ (1 thru L)(1 thru 3.5) -foundation level-as per GS2.0 overview-(1/GS4.2-perimeter wall)(4/GS4.1-perimeter wall)(23/GS1.2 elevator pit)(GS3.1 and pad footing schedule-columns) (12/GS6.1 and 4/GS4.1-grade beams). Footings and reinforcement still need cleaning prior to concrete placement.

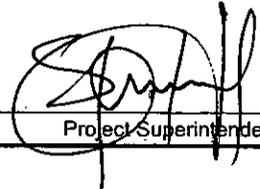
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC-94** Laguna Niguel
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
11.00	3.00	
Approved By  01/19/16 Project Superintendent		

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Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 15026P Date 02/01/2016

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address <u>27742 FORBES RD</u>	Tract No. <u>B15-3124</u>	Lot No.	
Job Name <u>GATE WAY VILLAGE</u>	Permit No.	Issued By <u>LACUNA NIGUEL</u>	
Type of Structure <u>PARK STRUCTURE</u>	Architect <u>Arch of Orange</u>		
Material Description (type, grade, source)	Engineer <u>SENeca</u>		
	Contractor <u>ALLIANCE RESIDENTIAL</u>		
Inspector's Name <u>WAHBA ISAAC</u>	Subcontractor <u>ETI VISTA</u>		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY - LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

PRE-CHECK THE REINFORCING STEEL FOR THE FOOTING AT GRID-LINES "13" TO "15" AND FROM "A" TO "J" AND FROM GRID-LINES "14" TO "12" AND "A" TO "J" .. ALL REINFORCING STEEL CONFORM TO ASTM-A 615 GRADE 60, VERIFIED QUANTITY, SPACING, SIZES AND CLEARANCES, ALL APPEARS AS PER PLANS AND NO DISCREPANCIES NOTED, THE FOOTING READY TO POUR CONCRETE.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

R-CONCRETE 8252142 I.C.C.
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
		<u>0</u>
Approved By _____		Project Superintendent

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Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date **1-29-16**

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address 27742 Forbes Rd.	Tract No.	Phase	Lot No.
Job Name Gateway Village	Permit No. B15-3124	Issued By Laguna Niguel	
Type of Structure parking structure	Architect Arch of Orange		
Material Description (type, grade, source)	Engineer Seneca		
Astm A706 and A-615 reinforcement	Contractor Alliance Residential		
Inspector's Name Justin Parrish	Subcontractor Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement of approx 75 yds/3 of 5000 psi shotcrete (Cemex mix 1418246) for shotcrete walls 1st lift. (1 line @ D thru J.5) (A line @ 7 thru 13) Trailer pump used for placement. Minimal displacement of pre set hardware allowed during placement. 2 compressive strength panels cast as per code and approved plans.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
7.00	4.30	2 shotcrete panels
 Approved By _____ Project Superintendent		

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Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date **1-26-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway Village	Permit No.	B15-3124
Type of Structure	parking structure	Architect	Arch of Orange
Material Description (type, grade, source)		Engineer	Seneca
	Astm A706 and A-615 reinforcement	Contractor	Alliance Residential
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 reinforcement for columns -1st lift -(12 line @ C,D,F,H) and column footing pads (H line @ 6,7,8,9,10) and perimeter wall and column footings (A line @ 11.5 thru 13) Note GS2.0 overview and GS3.1 for columns and column footings and 26/GS1.2 for perimeter wall. Also verified the correct placement (exception clearances to soil) of Astm A-706 reinforcement for shotcrete wall-1st lift (1 line @ D thru J.5) Note 1/GS4.2

Monitored and verified the correct placement of Astm A-706 reinforcement for shear wall 2nd lift- (5 line @ D thru H)(F line @ 5 thru 6) as per GS5.1 and 21/GS1.2.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94**

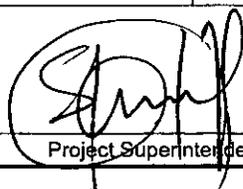
Laguna Niguel

SPECIALTY

NO.

AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	2.00	
Approved By  Project Superintendent		

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Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No. 150207 Date **1-28-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy			
	<input checked="" type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing			
	<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other			
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.		
Job Name	Gateway Village	Permit No.	B15-3124		Issued By	Laguna Niguel
Type of Structure	parking structure	Architect	Arch of Orange			
Material Description (type, grade, source)	Astm A706 and A-615 reinforcement	Engineer	Seneca			
Inspector's Name	Justin Parrish	Contractor	Alliance Residential			
		Subcontractor	Eti Vista			

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 and 615 reinforcement for shotcrete wall 1st lift (A line @ 7 thru 11,5) as per Details-1/GS4.2,3/GS4.2,4/GS4,2, and 26/GS1.2
 Monitored and verified the correct placement of Astm A-706 reinforcement for shear wall footing (C thru I)(12.8 thru 14) Note GS2.0 overview and GS5.3 for applicable details.
 Monitored placement of approx 45 yds/3 of 5000 psi concrete (Cemex mix 1418373) for columns -1st lift-foundation level (C line @ 8,9,10,11,12)(B line @ 8,9,10,11,12)(E line @ 6,7,8,9)(D line @ 8,9,10)(12 line @ D,F,H)(J line @ 1,3) and perimeter wall (A line @ 11.5 thru 13). Trailer pump used for placement. Mechanical vibration for consolidation. Testing and sampling as per Astm C-94,C-31,C-143,C-172,C-1064.

CERTIFICATION OF COMPLIANCE

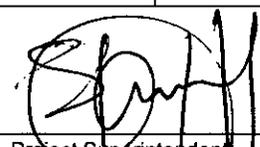
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	5.00	4-4x8 cylinders
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date
1-27-16

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway Village	Permit No.	B15-3124
Type of Structure	parking structure	Architect	Arch of Orange
Material Description (type, grade, source)	Astm A706 and A-615 reinforcement	Engineer	Seneca
Inspector's Name	Justin Parrish	Contractor	Alliance Residential
		Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 reinforcement for shear wall footing (C thru I)(12.8 thru 14) Note GS2.0 overview and GS5.3 for applicable details.
 Moniotred placement of formwork around columns and verified correct clearances-1st lift foundation level (C line @ 8,9,10,11,12)(B line @ 8,9,10,11,12)(E line @ 6,7,8,9)(D line @ 8,9,10)(12 line @ D,F,H)(J line @ 1,3)

CERTIFICATION OF COMPLIANCE

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SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00		
 Approved By _____ Project Superintendent		

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Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date **1-26-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway Village	Permit No.	B15-3124
Type of Structure	parking structure	Architect	Arch of Orange
Material Description (type, grade, source)	Astm A706 and A-615 reinforcement	Engineer	Seneca
Inspector's Name	Justin Parrish	Contractor	Alliance Residential
		Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 reinforcement for columns -1st lift -(12 line @ C,D,F,H) and column footing pads (H line @ 6,7,8,9,10) and perimeter wall and column footings (A line @ 11.5 thru 13) Note GS2.0 overview and GS3.1 for columns and column footings and 26/GS1.2 for perimeter wall. Also verified the correct placement (exception clearances to soil) of Astm A-706 reinforcement for shotcrete wall-1st lift (1 line @ D thru J.5) Note 1/GS4.2

Monitored and verified the correct placement of Astm A-706 reinforcement for shear wall 2nd lift- (5 line @ D thru H)(F line @ 5 thru 6) as per GS5.1 and 21/GS1.2.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94**

Laguna Niguel

SPECIALTY

NO.

AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	2.00	
<p>Approved By _____ Project Superintendent</p>		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



ALBUS-KEEFE & ASSOCIATES, INC.
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING X						
				POST-GRADING						
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# G14 - 0015	DAY: Monday	DATE: 1/11/16							
LOCATION/TRACT: 27742 Forbes Road/Laguna Nigucl	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A								
CONTRACTOR: Farrell	FOREMAN Jack	WEATHER: Cloudy	YARDAGE TO DATE: N/A							
EQUIPMENT 2 - Excavators(drill and ram attachments) 2 - Tracked loaders Grade all										
<p><u>Geopier RAP:</u> On site as requested to observe drilling efforts and record drilling data during stabilization operations at piers # 567,563,559,555,551,592,593,588,589,584,580,576,572,568,564,560,556,552,585,581,577 and 573.</p> <p>The following stabilization operations were performed by Farrell Construction:</p> <ol style="list-style-type: none"> 1) Piers are drilled to within +/- 3" design depth using a 24" auger. Some cave in was observed. See note #5 below. 2) #2 stone placed in one or more lifts at RAP bottom with each lift ram compacted 3) Material at RAP bottoms consists of sandy clay varying to stiffer silty sandy clay. Piers do not terminate in clean sand. As observed, water table was reached at all locations piers drilled today. 4) Steel casing used on all piers drilled today. 5) Class II AB placed in several lifts with each lift ram compacted. Various piers with wet material at RAP bottom received additional #2 stone to assist with pier stabilization. Some slight cave in was observed in pockets of clean sand within various pier borings. In these areas, ram time, AB volume, and or lift thickness was increased. 6) DCP and BST tests are completed by contractor. 6) Any slough generated at RAP bottom during drilling operations was redrilled and measured to within design depth tolerances. 7) Ram times average 10+ seconds minimum. <p>See: RAP Quality Control Log for additional drilling data pertaining to drill depths, material types, # of lifts, etc.</p>										
Technician print: Chris Wright.	Received by print: <i>Hansha Bonnu</i>		<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:50%;">ACTIVITY CODE</th> <th style="width:50%;">HOURS</th> </tr> </thead> <tbody> <tr> <td align="center">540</td> <td align="center">6</td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		ACTIVITY CODE	HOURS	540	6		
ACTIVITY CODE	HOURS									
540	6									
Technician signature: <i>Chris Wright</i>	Received by signature: <i>[Signature]</i>									

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No. 150207 Date **1-13-15**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other	
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.
Job Name	Gateway village	Permit No.	B15-3124	
Type of Structure	parking structure	Architect	Arch of orange	
Material Description (type, grade, source)		Engineer	Seneca	
Astm A706 and A-615 reinforcement/5000 psi concrete		Contractor	Alliance Residential	
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement of approx 12 yds/3 of 5000 psi concrete (Cemex mix 1418373) for columns-1st lift -foundation level-parking garage@(J,3.9) (K,3.9)C,3.8)(2.5,K)(C,3)(H,4)(F,4)(H,3)(D,3) Trailer pump used for placement. Mechanical vibration for consolidation. Testing and sampling as per Astm C-94,C-31,C-143,C-172,C-1064. Verified the correct cleanliness and clearances of reinforcement prior to placement

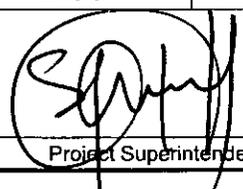
Monitored and verified the correct size,type,number placement, configuration, and clearances of Astm A-706 and A-615 reinforcement for shotcrete wall -(A line @ 1 thru 7 approx) and (1 line @ A thru D approx)-1st lift-foundation level as per GS2.0 overview and Detail 1 GS4.2

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

 SIGNATURE OF REGISTERED INSPECTOR
 Reinforced/PT/Masonry **AEC-94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
7.00	2.00	4-4x8 cylinders
 Approved By _____ 1/15/16 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date **1-15-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway village	Permit No.	B15-3124
Type of Structure	parking structure	Architect	Arch of orange
Material Description (type, grade, source)	Astm A706 and A-615 reinforcement	Engineer	Seneca
Inspector's Name	Justin Parrish	Contractor	Alliance Residential
		Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN; STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 and A-615 reinforcement for elevator pit -1st lift- as per Detail 23/GS1.2. Overview GS2.0 Not complete until horizontal dowels placed with formwork. (L, 1) - GS2.0

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC-94** Laguna Niguel
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
11.00	3.00	
Approved By 1/15/16 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-9-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	<u>27142 FORBES RD. Laguna Niguel, CA</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE</u>		Lot No. <u>FOUNDATION</u>
Type of Structure	<u>PARKING STRUCTURE</u>	Permit No. <u>BIS-3127</u>	Issued By <u>city</u>
Material Description (type, grade, source)		Architect <u>ARCHITECTS ORANGE</u>	
		Engineer <u>SENECA</u>	
Inspector's Name <u>BISHOY SIDAROUS</u>		Contractor <u>ALLIANCE RESIDENTIAL</u>	
		Subcontractor <u>ETIVISTA</u>	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

③ **PRECHECK** The Reinforcing steel of the Retaining wall Footings #2 of the garage parking between grid lines 7-5 TO 11-5 and between D & J :-
 * All Reinforcing steel is Per Approved Plans and specifications for size/grade/LAP/spacing and clearance.
 * All Reinforcing steel is secured Against displacement.
 * No required corrections by the observation Report Dated 11-9-15.
 * Ready For concrete UPON city inspector's Approval.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY Inc 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 3 OF 4

TIME IN	TIME OUT	SAMPLES
Approved By _____ Project Superintendent		

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-9-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. Laguna Niguel, CA.</u>	Tract No.	Lot No. <u>FOUNDATION</u>
Job Name	<u>GATEWAY VILLAGE</u>	Permit No.	Issued By <u>City.</u>
Type of Structure	<u>Parking STRUCTURE</u>	Architect	<u>HEMPHREYS-</u>
Material Description (type, grade, source)	<u>ILV, 5000 PSI Concrete.</u>	Engineer	<u>VCA.</u>
Inspector's Name	<u>BISHOY SIDAROUS.</u>	Contractor	<u>ALLIANCE RESIDENTIAL.</u>
		Subcontractor	<u>ETIVISTA.</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26201784	<u>The Fence</u>	5"	65°	78°	5	11:15	1418373	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

(4) OBSERVATION of Placing and Consolidation of ~ 10 YD³, 5000 PSI Concrete @ AREA "A" seq. 2 COLUMNS C5/C6/D5/D6/D7/D8/~~E1/E2/E3/E4~~/E5/E6/E7/~~E8/E9/E10~~:-
 * All Rebars were secured Against Displacement
 * All Forms were clean of DELETRIOUS MATERIALS.
 * Concrete Poured was within Tolerance For SLUMP as Certified per APPROVED Mix Design -
 * Concrete Placed was Mech. vibrated.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Bishoy Sidarous
 SPECIALTY Concrete NO. ICC 8290774 AGENCY

CONTINUED ON NEXT PAGE PAGE 4 OF 4

TIME IN <u>7 AM</u>	TIME OUT <u>3 PM</u>	SAMPLES <u>Set of 4 cyls</u> <u>Set of 3 Mortars</u>
Approved By <u>[Signature]</u>		<u>11/09/15</u>
Project Superintendent		

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 11-24-15

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. LAGUNA NIGUEL, CA</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE</u>	Permit No.	<u>B15-3124</u>
Type of Structure	<u>PARKING GARAGE</u>	Architect	<u>KHR</u>
Material Description (type, grade, source)	<u>IV, 5000 PSI shotcrete</u>	Engineer	<u>SENECA</u>
Inspector's Name	<u>BISHOP SIDAROUS</u>	Contractor	<u>ALLIANCE RESIDENTIAL</u>
		Subcontractor	<u>ETIVISTA</u>

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
1	1	26231018	cur Box 2"		63°	76°	5	10	1418246	

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

verified w/ approved Plans and specifications for work performance and materials. The observation of placing and consolidation of $\approx 40YD^3$, 5000PSI, 3/8" Agg. wet Mix shotcrete by Lic. NOZZELMAN ADRIA DE LA ROSA (Lic # 01142890, Exp. 5/4/18) using 2" Hose & Nozzle @ the following locations :-
 - The wall @ GRID "F" FROM 6 TO 10
 - The wall @ GRID "5" FROM H TO L
 - The wall @ GRID "L" FROM 5 TO 4 :-
 * All Rebars were secured against displacement.
 * All forms were clean of DELETRIOUS MATERIALS.
 * All concrete placed was within tolerance for SLUMP as

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY ICC 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 2

TIME IN	TIME OUT	SAMPLES
Approved By <u>[Signature]</u> Project Superintendent		

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150207 Date 11-24-15

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	<u>27742 FORBES RD. Laguna Niguel CA.</u>		Tract No.
Job Name	<u>GATEWAY VILLAGE.</u>	Permit No.	<u>B15-3124</u>
Type of Structure	<u>PARKING GARAGE.</u>	Architect	<u>KHR</u>
Material Description (type, grade, source)		Engineer	<u>SENECA.</u>
Inspector's Name	<u>BISHOP SIDAROUS.</u>	Contractor	<u>ALLIANCE RESIDENTIAL.</u>
		Subcontractor	<u>ETIVISTA.</u>

TESTS PERFORMED										
SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Certified Per Approved Mix Design.
* No Rebound was used As Aggregate.
* A Cold Joint OCCURED @ GRID ⁵⁰ L⁰ Between 4 & 5.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Bishop Sidarous
SIGNATURE OF REGISTERED INSPECTOR

Concrete SPECIALTY ICC 8290774 NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 2 OF 2

TIME IN	TIME OUT	SAMPLES
<u>7 AM</u>	<u>3 PM</u>	<u>1 shotcrete Box</u>
Approved By <u>[Signature]</u>		Project Superintendent

White - Office Copy • Canary - Accounting Copy • Pink - Inspector's Copy • Goldenrod - Jobsite Copy



CITY of LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Joe Brown
Gary Capat
Paul G. Glaaf
Linda Lindholm
Robert Ming

15-2777

STRUCTURAL OBSERVATION REPORT FORM

STRUCTURAL OBSERVATION means the visual observation of the structural system, for general conformance to the approved plans and specifications, at significant construction stages and at completion of the structural system. Structural observation does not include or waive the responsibility for the inspections required by Section 1701 or other sections of the Code.

Report No. _____

This report includes all construction work through 21st day of December, 20 15 Page No. _____ of _____

Project Address: 27742 Forbes Road		Structural Observer of Record (SOR): K. Dirk Bondy, S.E.	SOR Phone No.: 949-595-8182
Building Permit No.:	Structural Observation performed by: K. Dirk Bondy, S.E.	Observer Professional Lic./Reg. No.: S3921	Observer Phone No.: 949-595-8182

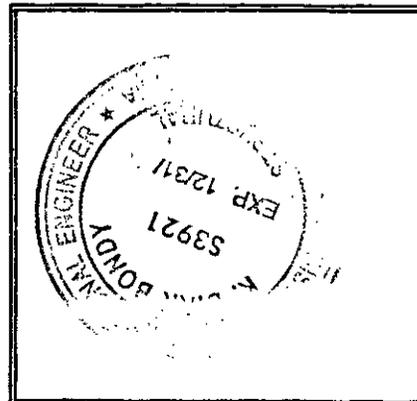
OBSERVED STRUCTURAL ELEMENTS AND THEIR CONNECTIONS

FOUNDATION	WALL	FRAMES	FLOOR	PORTION OBSERVED, IF NOT WHOLE
<input checked="" type="checkbox"/> Footing, Stem Walls,	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Moment Frame	<input type="checkbox"/> Concrete	Portion of Foundation Shown in attached sketch.
<input type="checkbox"/> Mat Foundation	<input type="checkbox"/> Masonry	<input type="checkbox"/> Steel Braced Frame	<input type="checkbox"/> Steel Deck	
<input type="checkbox"/> Calsson, Piles, Grade Beams	<input type="checkbox"/> Wood	<input type="checkbox"/> Concrete Moment Frame	<input type="checkbox"/> Wood	
<input type="checkbox"/> Retaining Foundation Hillside Special Anchors	<input type="checkbox"/> Other:	<input type="checkbox"/> Masonry Wall Frame	<input type="checkbox"/> Others:	
<input type="checkbox"/> Others:		<input type="checkbox"/> Others:		

OBSERVED DEFICIENCIES: None.

I DECLARE THAT THE FOLLOWING STATEMENTS ARE TRUE TO THE BEST OF MY KNOWLEDGE:

- I AM THE ENGINEER OR ARCHITECT RETAINED BY THE OWNER TO BE IN RESPONSIBLE CHARGE FOR THE STRUCTURAL OBSERVATION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY OF _____
- I, OR ANOTHER ENGINEER OR ARCHITECT WHO I HAVE DESIGNATED ABOVE AND IS UNDER MY RESPONSIBLE CHARGE, HAS PERFORMED THE REQUIRED SITE VISITS AT EACH SIGNIFICANT CONSTRUCTION STAGE TO VERIFY IF THE STRUCTURE IS IN GENERAL CONFORMANCE WITH APPROVED PLANS AND SPECIFICATIONS;
- ALL DEFICIENCIES WHICH REMAIN TO BE CORRECTED HAVE BEEN INDICATED ABOVE;
- I RECOMMEND THAT ACCEPTANCE OF THE STRUCTURAL SYSTEMS BY THE CITY/COUNTY OF _____ BE WITHHELD UNTIL ALL OBSERVED DEFICIENCIES ARE CORRECTED.



STAMP OF STRUCTURAL OBSERVER OF RECORD

SIGNATURE

12-21-2015

DATE

Southwest Inspection and Testir Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date **12/28/15**

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway Village	Permit No.	B15-2777
Type of Structure	Podium	Architect	Humphrey's Partners
Material Description (type, grade, source)	Stressing Jack, #	Engineer	VCA
	2008-082, 12/4/15 calib. date, 5600 psi	Contractor	Allience Residential
Inspector's Name	S. Skuljan	Subcontractor	Eitvista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Show up time, job cancelled.

CERTIFICATION OF COMPLIANCE

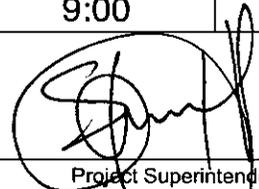
I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

S. Skuljan

SIGNATURE OF REGISTERED INSPECTOR

P.T. 114008 I.C.C. _____
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE 1 OF 1

TIME IN	TIME OUT	SAMPLES
7:00	9:00	n/a
 Approved By _____ 12/28/15 Project Superintendent		

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Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR'S DAILY REPORT

SWIT Job No. 150208	Date 12-14-15
-------------------------------	-------------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input checked="" type="checkbox"/> Other BOLTS
Job Address	26022 FORBES RD	Tract No.	Lot No.
Job Name	COURTWAY PARKING STR	Permit No.	B15-2777
Type of Structure	Podium Slab	Architect	Humphrey's
Material Description (type, grade, source)		Engineer	VCA
Inspector's Name	FRANK BEGG	Contractor	ALLIANCE RESIDENTIAL
		Subcontractor	FTI/VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

① OBSERVED PLACEMENT OF ANCHOR: HOLD DOWN BOLTS. AT PADIUM SLAB. ALL WORK AS PER APPROVED PLANS, SPECS; CODE.

② OBSERVED AND CHECKED CORRECTIONS NOTED IN STRUCTURAL OBSERVATION REPORT. ALL WORK IN COMPLIANCE WITH APPROVED PLANS.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

CONTINUED ON NEXT PAGE PAGE _____ OF _____

Frank Beeg
 SIGNATURE OF REGISTERED INSPECTOR

P. C. W. C. **0885047** **ILL**
 SPECIALTY NO. AGENCY

TIME IN	TIME OUT	SAMPLES
8:00 AM	3:30	
Approved By		
		12/14/15 Project Superintendent

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

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441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT	SWIT Job No. 150207	Date 12-18-15
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TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other			
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.		
Job Name	Gateway Village Parking Structure		Permit No.	B15-3124	Issued By	Laguna Niguel
Type of Structure	parking structure		Architect	Arch of orange		
Material Description (type, grade, source)			Engineer	Seneca		
Astm A706 and A-615 reinforcement /A-416 Post tension cables			Contractor	Alliance Residential		
Inspector's Name	Justin Parrish		Subcontractor	Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Verified the correct placement of Astm A-706 and A-6-15 reinforcement for column footings (4 line @ D,F,H) (D line @ 6,7) (C line @ 3.8,4.9,5.8,and 7.2). Note Overview GS2.0 -column and footings schedules.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry AEC-94 Laguna Niguel
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	3.30	
Approved By Project Superintendent		

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Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No. 150207	Date 12-17-15
------------------------	------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other			
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.		
Job Name	Gateway Village Parking Structure		Permit No.	B15-2777 and B15-3124	Issued By	Laguna Niguel
Type of Structure	podium slab and parking structure		Architect	Humphrey's		
Material Description (type, grade, source)			Engineer	VCA		
Astm A706 and A-615 reinforcement /A-416 Post tension cables			Contractor	Alliance Residential		
Inspector's Name	Justin Parrish		Subcontractor	Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement of Astm A-706 reinforcement and Astm A-416 PT cables and partial pre-check for Post Tension podium decks-Pour 2 and Pour 3. Verified the correct size,type,number,placement,configuration profiles, and clearances of all hardware as per code,and applicable details on approved plans.Note sheets S4.11AS and S4.11AH-overview details.

Permit # B15-3124 -Parking structure

Monitored placement of Astm A-706 and A-6-15 reinforcement and pre-check for shotcrete wall and pilaster -ground level -(L line @ 4 thru 4.5) for parking structure: Note (Overview-GS2.0)(Detail 1 @GS4.3)and (Detail 10 @ GS6.3)

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry 1134401-92

ICC

SPECIALTY

NO.

AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
7.00	3.30	
<p>Approved By _____ Project Superintendent</p>		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT	SWIT Job No. 150207	Date 12-17-15
---	------------------------	------------------

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other			
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.		
Job Name	Gateway Village Parking Structure		Permit No.	B15-2777 and B15-8124	Issued By	Laguna Niguel
Type of Structure	podium slab		Architect	Humphrey's		
Material Description (type, grade, source)			Engineer	VCA		
Astm A706 and A-615 reinforcement /A-416 Post tension cables			Contractor	Alliance Residential		
Inspector's Name	Justin Parrish		Subcontractor	Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement of Astm A-706 reinforcement and Astm A-416 PT cables and partial pre-check for Post Tension podium decks-Pour 2 and Pour 3. Verified the correct size,type,number,placement,configuration profiles, and clearances of all hardware as per code,and applicable details on approved plans.Note sheets S4.11AS and S4.11AH-overview details.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry ~~1134401-92~~ *AEC-94* ICC *Laguna Niguel*
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
7.00	3.30	
Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 150207 Date 12-18-15

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy
	<input checked="" type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing
	<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway Village Parking Structure	Permit No.	B15-2777
Type of Structure	podium structure	Architect	Humphrey's
Material Description (type, grade, source)		Engineer	VCA
Astm A706 and A-615 reinforcement /A-416 Post tension cables		Contractor	Alliance Residential
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement of Astm A-706 reinforcement and Astm A-416 PT cables and holdown hardware:HD bolts and anchor bolts and Pre-check for Post Tension podium deck-Pour 2 and monitored placement of hardware for initial reinforcement and cables for Pour 3 .Verified the correct size,type,number,placement,configuration profiles, and clearances of all hardware as per code,and applicable details on approved plans.Note sheets S4.11AS and S4.11AH-overview details.

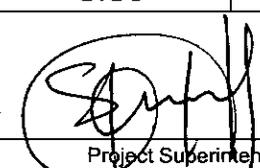
CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	3.30	
 Approved By _____ 12/18/2015 Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING					
				POST-GRADING X					
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# B15-2775	DAY: Wednesday	DATE: 12/9/15						
LOCATION/TRACT: 27742 Forbes Road/Laguna Niguel	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A							
CONTRACTOR: Ampam	FOREMAN: Steve	WEATHER: Overcast	YARDAGE TO DATE: N/A						
Mini excavator Loader Wacker									
<p><u>Storm Drain:</u> On site as requested to observe backfill operations and density test placed material around second PCC sump pit structure at bottom of subterranean parking ramp. Gridline # 4/H.5. See plans for excavation limits.</p> <p>Sump pit was previously back filled and tested. Due to a realignment of sump pump structure, placed backfill was removed to reset structure in new location(roughly 3' east from present location). Structure is approximately 8'Hx6'Wx6' L. Contractor placed +/- 2' - 3' of 3/4" aggregate at bottom of structure prior to backfilling with native material. Wacker used to compact roughly 12" of material in lifts. No water added to fill as material has adequate moisture content already present in material. Aggregate appears to have stabilized area below proposed footing adjacent to the west. Backfill to continue 12/10/15.</p> <p>Density tests will be performed once sufficient material has been compacted around structure.</p>									
Technician print: Chris Wright.	Received by print: <i>Harsha Bommur</i>	<table border="1"><thead><tr><th>ACTIVITY CODE</th><th>HOURS</th></tr></thead><tbody><tr><td>576.3</td><td>2</td></tr><tr><td></td><td></td></tr></tbody></table>		ACTIVITY CODE	HOURS	576.3	2		
ACTIVITY CODE	HOURS								
576.3	2								
Technician signature: <i>Chris Wright</i>	Received by signature: <i>[Signature]</i> 12/10/15								

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

SWIT Job No. 15028	Date 12-15-15
------------------------------	-------------------------

REGISTERED INSPECTOR'S DAILY REPORT

TYPE OF INSPECTION REQUIRED	<input type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	20622 FURBER RD.	Tract No.	Lot No.
Job Name	COURT WAY PARKING STR.	Permit No.	B15-2777
Type of Structure	Podium SLAB	Architect	HUMPHREY'S
Material Description (type, grade, source)	CRKX SUDCON CONC.	Engineer	VCA
Inspector's Name		Contractor	ALLIANCE RESIDENTIAL
		Subcontractor	RTI/VISTA

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS
	SAMPLES		By ACI TRC 12							

INSPECTION SUMMARY—LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

OBSERVED PLACEMENT OF SUDCON Y45 SUDCON CONC. AT PADIUM SLAB. AREA (B) POUR # 1. All CONC. PLACED PER APPROVED PLANS. SPTS. COOR. REBAR: THOMPSONS MAINTAINED CLEARANCES / PROFILES & REBAR PLACEMENT / CONFIGURATION. CONC. PLACEMENT COMPLETE AREA (B) POUR NO. 1

NO PROBLEMS NOTED!

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.

Franky Begg
SIGNATURE OF REGISTERED INSPECTOR

P.T. CONC. **0875047** **ICC**
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE **1** OF **1**

TIME IN	TIME OUT	SAMPLES
7:00 AM	3:30	3 SPTS @ 5
Approved By Bob Perez 12/15/15 Project Superintendent		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360 FAX 362-4369
 www.CityofLagunaNiguel.org

INSPECTION REQUEST
 Hotline 949-362-4381

126

Permit #: B15-2777
 Job Address: 27742 FORBES
 Name: GARY Phone #: 246-6114
Harshb Building 615 430-9750

CODE: INSPECTION TYPE		CODE: INSPECTION TYPE		CODE: INSPECTION TYPE	
2. Initial Water Quality Inspection		48. Roof Sheathing		430. P/S FINAL - PLUMBING	
4. Temp Electrical Service or Pole		50. Roof Framing		432. P/S FINAL - ELECTRICAL	
6. Soil Pipe Underground		51. Approval to Cover Exterior		434. P/S FINAL - POOL COVER	
8. Water Pipe Underground		52. Shear Walls Interior		436. P/S FINAL - SOLAR SYSTEM	
9. Sewer Line & House Connect		53. Preliminary Shear		438. P/S FINAL - POOL/SPA	
10. Electrical Conduit Underground		54. Shear Walls Exterior		902. FINAL - ELECTRICAL METER METER RELEASE	
14. Gas Line Underground & Test		55. Preliminary Insulation		904. FINAL - ELECTRICAL	
16. Verify Setbacks		56. Rough Frame & Flashing		906. FINAL - SIGN	
18. Footings & Steel		59. OCFA Fire Sprinkler - Rough		908. FINAL - MECHANICAL	
19. UFER		60. T-Bar Ceiling		910. FINAL - PLUMBING	
20. Foundation - Slab on Grade	(2)	64. Lathing Exterior		912. FINAL - WATER SERVICE	
21. Post Tension	500	70. Insulation		914. FINAL - GAS TEST	
22. Steel Reinforce -- Retain. Walls		72. Drywall Nailing/Firewalls		916. FINAL - ACCESSIBILITY REGULATIONS	
24. Pre Grout Lift 1		400. P/S Pre Inspection for Fences		918. FINAL - RE-ROOF	
26. Pre Grout Lift 2		402. P/S Pool & Equipment Loc.		920. FINAL - PLANNING	
29. Wall Drainage		410. P/S Approval to Cover - Gunitite		922. FINAL - ENGINEERING/P.W.	
30. Floor Plywood Nailing		412. P/S Electrical Conduit Undrgmd.		924. FINAL - O.C. HEALTH	
32. Sewer Line & House Connect		414. P/S Gas Pipe Underground Test		926. FINAL - WATER DISTRICT	
34. Roof Drains/Deck Drains		416. P/S Backwash Lines, P Trap, Underground		927. FINAL - SMOKE DETECTOR	
36. Rough Plumbing/Gas Test		418. P/S Final Backwash Receptor		928. FINAL - GRADING	
40. Hot Mop Shower		420. P/S Fencing & Access Gates		930. FINAL - OCFA SPRINKLER SYSTEMS - Name	
41. Lathing Interior		422. P/S Pre Deck		932. FINAL - OCFA PROJECT FINAL - Name	
42. Rough Electrical		424. P/S Approved for Plastering		933. Anti-Entrapment Device	
44. Rough Mechanical		428. P/S FINAL - HEATER & VENT		934. FINAL - BUILDING & SAFETY	
46. Fire Dampers				935. FINAL - WATER QUALITY INSPECTION	

Grading

Code: Inspection Type		Code: Inspection Type		Code: Inspection Type	
500. Pre-Grading Meeting		518. Contractor's Statement of Compl.		536. Paving - Agg Base	
502. Construction Erosion Control		520. Rough Grade Release		538. Paving - Asphalt /Concrete	
504. Earthwork - Excavation		522. Soils Memo - Utility Trench Backfill		540. Paving - Civil Certification	
506. Earthwork - Fills		524. Soils Memo - Drain/Wall Backfill		542. Paving - Soils Engineer Memos	
508. Earthwork - Buttresses/Keyways		526. Drainage Line & Grade		544. Paving - Water Test/Seal Coat	
510. Earthwork - Subdrains		528. Drainage System		540. FINAL - SOILS/GEO REPORT	
512. Earth Swales/V-ditches		530. Soils Memo - Area Drain/Trench Backfill		542. FINAL - CIVIL CERTIFICATIONS	
514. Rough Grade Release - Civil Cert.		532. Pre-Paving Meeting		544. FINAL - AS BUILT PLANS	
516. Rough Grade Soils/Geo Reports		534. Paving - Subgrade		546. FINAL - GRADING RELEASE	

MON (AM/PM) 12/21 TUES. (AM/PM) _____ WED. (AM/PM) _____ THURS. (AM/PM) _____ FRI. (AM/PM) _____

Notes: _____

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date
1-21-16

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other	
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.
Job Name	Gateway Village	Permit No.	B15-3124	
Issued By	Laguna Niguel			
Type of Structure	parking structure	Architect	Arch's Orange	
Material Description (type, grade, source)		Engineer	Seneca	
Astm A706 and A-615 reinforcement/4500 psi concrete		Contractor	Alliance Residential	
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista	

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored and verified the correct placement of Astm A-706 and A-615 reinforcement for the following locations:
 Column footings - (A line @ 8,9,10,11) (C line @ 8,9,10,11) (D line @ 8,9,10) Perimeter wall footings-(A line @ 7 thru 11) Columns 1st lift -(J line approx @ 2 and 3) Shotcrete wall 1st lift- (1 line @ D thru J.5). Verified the correct size, type, number, placement, configuration, and clearances of reinforcement as per code, approved plans and shop drawings.
 Note GS2.0 overview. Details 1/GS4.2,3/GS4.2,4/GS4.2-Column footing pad schedule-Column schedule on GS3.1

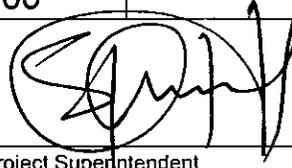
CERTIFICATION OF COMPLIANCE

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SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	2.00	
 Approved By _____ Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.

441 Commercial Way, La Habra, Ca 90631
(562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date
1-22-16

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete <input checked="" type="checkbox"/> Post Tensioned Concrete <input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Welding <input type="checkbox"/> Fireproofing <input type="checkbox"/> Asphalt	<input type="checkbox"/> DIA/Epoxy <input type="checkbox"/> Wood Framing <input type="checkbox"/> Other
Job Address	27742 Forbes Rd.	Tract No.	Phase
Job Name	Gateway Village	Permit No.	B15-3124
Type of Structure	parking structure	Architect	Arch's Orange
Material Description (type, grade, source)		Engineer	Seneca
Astm A706 and A-615 reinforcement/4500 psi concrete		Contractor	Alliance Residential
Inspector's Name	Justin Parrish	Subcontractor	Eti Vista

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement and verified the correct placement of Astm A-706 reinforcement for column footings (12 line @ C,D,F,H) and perimeter wall footings (A line @ 11.5 thru 13) Note GS2.0 overview and GS3.1 for column footings
 Monitored placement of approx 195 yds/3 of 4500 psi concrete (Cemex mix 1418515) for column footings-(C line @ 8,9,10,11) (D line @ 8,9,10)(B line @ 8,9,10,11) perimeter wall footings- (A line @ 7.5 thru 11.5)-foundation level. Boom pump used for placement. Mechanical vibration for consolidation. Testing and sampling of concrete as per Astm C-94,C-31,C-143,C-172,C-1064.

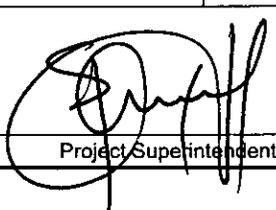
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SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ____ OF ____

TIME IN	TIME OUT	SAMPLES
7.00	6.30	8-4x8 cylinders
Approved By _____  Project Superintendent		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy

Southwest Inspection and Testing, Inc.
 441 Commercial Way, La Habra, Ca 90631
 (562) 941-2990 • (714) 526-8441 • Fax (562) 946-0026

REGISTERED INSPECTOR/ACI TECHNICIAN DAILY REPORT

SWIT Job No.
150207

Date **1-25-16**

TYPE OF INSPECTION REQUIRED	<input checked="" type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Welding	<input type="checkbox"/> DIA/Epoxy			
	<input checked="" type="checkbox"/> Post Tensioned Concrete	<input type="checkbox"/> Fireproofing	<input type="checkbox"/> Wood Framing			
	<input checked="" type="checkbox"/> Reinforced Masonry	<input type="checkbox"/> Asphalt	<input type="checkbox"/> Other			
Job Address	27742 Forbes Rd.	Tract No.	Phase	Lot No.		
Job Name	Gateway Village	Permit No.	B15-3124		Issued By	Laguna Niguel
Type of Structure	parking structure		Architect	Arch of Orange		
Material Description (type, grade, source)			Engineer	Seneca		
Astm A706 and A-615 reinforcement/4500 psi concrete			Contractor	Alliance Residential		
Inspector's Name	Justin Parrish		Subcontractor	Eti Vista		

TESTS PERFORMED

SET#	TRUCK #	TICKET #	SAMPLE LOCATION	SLUMP	AIR TEMP	CONC TEMP	WATER ADDED	TIME CAST	MIX #	REMARKS

INSPECTION SUMMARY – LOCATIONS OF WORK INSPECTED, TEST SAMPLES TAKEN, WORK REJECTED, JOB PROBLEMS, PROGRESS, REMARKS, ETC. INCLUDES INFORMATION ABOUT - AMOUNTS OF MATERIAL PLACED OR WORK PERFORMED, NUMBER, TYPE & IDENT. NO'S OF TEST SAMPLES TAKEN: STRUCT. CONNECTIONS (WELD MADE H.T. BOLTS TORQUED) CHECKED, ETC.

Monitored placement and verified the correct placement of Astm A-706 reinforcement for columns -1st lift -(B line @ 8,9,10,11) (C line @ 8,9,10,11) (D line @ 8,9,10)Note GS2.0 overview and GS3.1 for columns.
 Monitored placement of approx 45 yds/3 of 4500 psi concrete (Cemex mix 1418515) for column footings-(12 line @ C,D,F,H)- foundation level. Tailgate used for placement. Mechanical vibration for consolidation. Testing and sampling of concrete as per Astm C-94,C-31,C-143,C-172,C-1064.

CERTIFICATION OF COMPLIANCE

I HEREBY CERTIFY THAT I HAVE OBSERVED TO THE BEST OF MY KNOWLEDGE ALL OF THE ABOVE REPORTED WORK UNLESS OTHERWISE NOTED. I HAVE FOUND THIS WORK TO COMPLY WITH THE APPROVED PLANS, SPECIFICATION, AND APPLICABLE SECTION OF THE GOVERNING BUILDING LAWS.



 SIGNATURE OF REGISTERED INSPECTOR

Reinforced/PT/Masonry **AEC94** Laguna Niguel
 SPECIALTY NO. AGENCY

CONTINUED ON NEXT PAGE PAGE ___ OF ___

TIME IN	TIME OUT	SAMPLES
7.00	11.00	4-4x8 cylinders
<p align="center">Approved By  Project Superintendent</p>		

White – Office Copy • Canary – Accounting Copy • Pink – Inspector's Copy • Goldenrod – Jobsite Copy



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-0983

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME: Gateway Village/ Alliance

ISSUED: 6/13/2016

DESCRIPTION OF WORK:

Permit for a new 1364sqft. pool/ 140sqft spa and 400sqft. wader. (Gateway Village) Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	HART BROTHERS CONSTRUCTION INC DBA AQUATIC TECHNOLOGIES 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675	PHONE: (949) 493-9548
CONTRACTOR:	HART BROTHERS CONSTRUCTION INC DBA AQUATIC TECHNOLOGIES 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675	PHONE: (949) 493-9548
LICENSE #:	744177 CLASS: B/C53	EXPIRES: 12/31/2017
WORKERS COMP:	ZURICH AMERICAN INSURANCE COMPANY POLICY#: WC4503556	EXPIRES: 10/1/2016
ARCH/ENG:		PHONE:
BUSINESS:	Gateway Village/ Alliance	PHONE:

CODE YEAR: 2013

CONSTR. TYPE: U

OCCUPANCY TYPE: U Utility Miscellaneous

TOTAL VALUATION: \$120,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING				
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA	\$319.51	\$39.94	\$1,056.75	\$1,416.20
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$5.00
GMU				\$697.00
MISC				\$27.27
			TOTAL PERMIT FEES:	\$2,145.47
			TOTAL FEES PAID	\$2,145.47

Comments:

DM FOR 30

Planning Approval: _____

Date: 6/13/16

Building Permit Issued By: _____

Date: 6/13/16

Issued Receipt#: _____

R16-1996

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature _____

Date _____

6-13-16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: HART BROTHERS CONSTRUCTION INC DBA AQUATIC TECHNOLOGIES

Address: 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675

License Class and No. 744177

Expiration Date: 12/31/2017

Signature: [Signature]

Date: 6-13-16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier ZURICH AMERICAN INSURANCE COMPANY Policy No. WC4503556 Expiration Date 10/1/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			935. FINAL - WATER QUALITY INSPECTION		
4. Temp Electrical Service or Pole			934. FINAL - BUILDING & SAFETY		
6. Soil Pipe Underround			933. Anti-Entrapment Device		
8. Water Pipe Underround			932. FINAL - OCEFA PROJECT FINAL -		
9. Sewer Line & House Connect			930. FINAL - OCEFA SPRINKLER SYSTEMS -		
10. Electrical Conduit Underround			928. FINAL - GRADING		
14. Gas Line Underround & Test			927. FINAL - SMOKE DETECTOR/ CO2		
16. Verify Setbacks			926. FINAL - WATER DISTRICT		
18. Footings & Steel			924. FINAL - O.C. HEALTH		
19. UFER			922. FINAL - ENGINEERING/P.W.		
20. Foundation - Slab on Grade			920. FINAL - PLANNING		
21. Post Tension			918. FINAL - RE-ROOF		
22. Steel Reinforce - Retain. Walls			916. FINAL - ACCESSIBILITY REGULATIONS		
24. Pre Grout Lift 1			914. FINAL - GAS TEST		
26. Pre Grout Lift 2			912. FINAL - WATER SERVICE		
29. Wall Drainage			910. FINAL - PLUMBING		
30. Floor Plywood Nailing			908. FINAL - MECHANICAL		
32. Sewer Line & House Connect			906. FINAL - SIGN		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			902. FINAL - ELECTRICAL METER RELEASE		
40. Hot Mop Shower			438. P/S FINAL - POOL/SPA		
41. Lath and Interior			436. P/S FINAL - SOLAR SYSTEM		
42. Rough Electrical			434. P/S FINAL - POOL COVER		
44. Rough Mechanical			432. P/S FINAL - ELECTRICAL		
46. Fire Dampers			430. P/S FINAL - PLUMBING		
48. Roof Sheathing			428. P/S FINAL - HEATER & VENT		
50. Roof Framing			424. P/S Approved for Plastering		
51. Approval to Cover Exterior			422. P/S Pre Deck		
52. Shear Walls Interior			420. P/S Fencing & Access Gates		
53. Preliminary Shear			418. P/S Final Backwash Receiver		
54. Shear Walls Exterior			416. P/S Backwash Lines, P Trap, Underround		
55. Preliminary Insulation			414. P/S Gas Pipe Underround Test		
56. Rough Frame & Flashing			412. P/S Electrical Conduit Underround		
59. OCEFA Fire Sprinkler - Rough			410. P/S Approval to Cover - Gunite		
60. T-Bar Ceiling			402. P/S Pool & Equipment Loc.		
64. Lathing Exterior			400. P/S Pre Inspection for Fences		
70. Insulation			72. Driveway Nailing/Firewalls		

10-6-17 & Red Bookings for Pool enclosure



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES Rd. **Suite/Unit:** _____
Applicant/Agent: Lisa Zosak **Phone No.:** 949 493-9548 office
32232 Paseo Adelanto, Ste A 949 338-4189 cell
Address: _____ **City:** San Juan Capistrano **State:** CA **Zip:** 92675 **Email:** lisa@aquatictechnologies.com

Property Owner: Broadstone Laguna Niguel **Phone No.:** () - _____
Address: 450 Newport Row Center Dr #550
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Contractor: Aquatic Technologies **Phone No.:** 949 493-9548
Address: 32232 Paseo Adelanto, Ste A
City: San Juan Capistrano **State:** CA **Zip:** 92675 **Email:** lisa@aquatictechnologies.com
State License No.: 744177 **Class:** C53/B **Expiration:** 12-31-17
Workman's Comp. Policy No.: NC4503556 **Expiration:** 10-1-16
Insurance Company (if applicable): Zurich American

Architect: _____ **Reg No.:** _____ **Phone No.:** () - _____
Address: _____ **City:** _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: Todd Laefer **Reg. No.:** 067656 **Phone No.:** 714 630-6100
Address: 1201 N Justin Ave **City:** Anaheim **State:** CA **Zip:** 92807 **Email:** _____

Description of Work to be Performed (please be specific):
Pool, Spa + Waders
1300' 1400' 400'

Valuation: \$ 120,000 **Type of Const:** _____ **Occupancy Type:** _____ **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # 1284 or Visa/MC/Disc

Activity Number:	<u>B16-0983</u>	Received By:	<u>[Signature]</u>	Date:	<u>5.9.16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		<u>X</u>	Reviewed By:	<u>ABJ</u>	Date: <u>4.21.16</u>
OK for issuance:			Reviewed By:		Date:
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input checked="" type="checkbox"/> GMI		
<input checked="" type="checkbox"/> Fire	<input type="checkbox"/> Water	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> Grading		

03/12/2013 Encroachment APPARENT G:\handouts\Masters\124-BuildingApp.doc PC\$239.63 (3) set of plans
 Will bring plans w/ GMI
 Presite

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
			>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Signs					
Sign	Type (Circle One)	Size (Sq. Ft)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Planning Division - Plan Check Routing Sheet

Plan Check #: B16-0983
Project Address: 27742 FORBES RD

Project Description: Permit for a new 1364sqft. pool/ 140sqft spa and 400sqft. wader. (Gateway Village) Field verify for code compliance.
 Lisa is taking plans as they need a soils report.

	SUBMITTED	DUE	CORRECTION(S)	APPROVED	INITIAL
1st Check :	05/09/16	05/23/16		5/11/16	jo
2nd Check:					
3rd Check:					
4th Check:					

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____

**RETURN THIS SHEET WITH ORIGINAL AND REVISED PLANS
 WHEN ALL CORRECTIONS HAVE BEEN MADE.**



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B16-0983
Project Address: 27742 FORBES RD
Valuation: 120000
Project Description: *Permit for a new 1364sqft. pool/ 140sqft spa and 400sqft. wader. (Gateway Village)
 Field verify for code compliance.
 Lisa is taking plans as they need a soils report.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	05/09/16	05/23/16	0	5/19/16	H.T.
2nd Check:					
3rd Check:					
4th Check:					

Comments:

*no calcs - may send under separate cover. et.
 (FOUND CALCS. THAT ARE PART OF DRAWINGS)*

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:
GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B16-0983

DATE: May 20, 2016

PROJECT DESCRIPTION: Proposed Swimming Pools & Spa Construction

LOCATION: 27742 Forbes Road (Gateway Village)

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: None

DOCUMENTS REVIEWED: (1) "Geotechnical Recommendations for the Proposed Swimming Pool/Spa and Deck, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 5, 2016; (2) Pool Plan and Details, Gateway Village, 27742 Forbes Road, prepared by Aquatic Technologies and Pool Engineering, Inc., dated November 25, 2015.

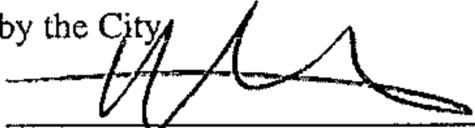
REFERENCES: Listed on Pages 2 and 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – See COMMENTS below**
- REQUEST ADDITIONAL DATA FOR REVIEW

COMMENTS

1. The geotechnical consultant should review, sign, and "review stamp" the final plans.
2. Prior to construction of the pools/spa, grading within these areas should be completed to the satisfaction of the consultant and the City Inspector, and an as-graded report submitted and approved by the City

REVIEWED BY: 
Lisa Bates, PG, CEG 2293
Associate Geologist

DISTRIBUTION: Antoinette Kulick/Gary Hawken/Kelli Fitzgerald, City of Laguna Niguel (email)
Mr. David Albus, Albus-Keefe & Associates, Inc. (email)
Mr. Michael McCann, Alliance Residential (email)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

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Page 2

REFERENCE NO.: B16-0983

DATE: May 20, 2016

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015, (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016; (16) "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016; (17) "Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016; (18) "Recommendations for Ground



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.

23241 Arroyo Vista

Rancho Santa Margarita, CA 92688

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Page 3

REFERENCE NO.: B16-0983

DATE: May 20, 2016

Support of the Proposed Storm Drain Detention Tank "A", Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016; (19) "Interim Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated (revised) February 26, 2016; (20) "Notice of Completion of Rough Grading for the Proposed Residential Building and Parking Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 2, 2016; (21) "Interim Geotechnical Report of Rough Grading, Slab-On-Grade Portion of Residential Building – Phase 2, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated April 26, 2016.



GMU GEOTECHNICAL, INC.

23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET

ATTENTION: Antoinette Kulick, City of Laguna Niguel

REFERENCE NO.: B16-0983

PROJECT ADDRESS: 27742 Forbes Road (Gateway Village)

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) "Geotechnical Recommendations for the Proposed Swimming Pool/Spa and Deck, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 5, 2016; (2) Pool Plan and Details, Gateway Village, 27742 Forbes Road, prepared by Aquatic Technologies and Pool Engineering, Inc., dated November 25, 2015.	5/20/16	CONDITIONAL APPROVAL	\$ 697.00



PLAN CHECK REPORT
 County of Orange, Health Care Agency, Environmental Health
 1241 EAST DYER ROAD, SUITE 120
 SANTA ANA, CA 92705-5611
 (714)433-6074
 www.ochealthinfo.com/eh

7560 (v1.31)
 DA5335026

March 01, 2016

<u>SUBMITTER:</u> LISA ZOSCAK AQUATIC TECHNOLOGIES 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675	<u>JOBSITE:</u> GATEWAY VILLAGE-PLAN CHECK PENDING 27742 FORBES WAY LAGUNA NIGUEL	<u>OWNER:</u> 450 NEWPORT CENTER DR 500 NEWPORT BEACH, CA 92660
<u>SR RECORD ID:</u> SR0127303 AUTHORITY TO CONSTRUCT/PLAN APPROVED NEW POOL - SWIM UNDER 75000 GAL	<u>SCOPE OF WORK:</u> POOL	<u>CURRENT/FORMER NAME:</u>

PC00: OPENING COMMENT
PR0104385

PL01: PLAN APPROVAL
Volume (gallons): Swim 45,426

Plans for the above project have been reviewed by this Agency and are approved, subject to the conditions listed in this letter and on the approved plans. Alterations or changes to these approved plans must have prior approval by the Plan Check Section of Environmental Health. A blue inspection card is attached to the set of approved plans to be placed in plain view at the jobsite.

The approved plans shall be valid for a period of two(2) years from the date of approval or as extended by the enforcing agent.

PL03: INSPECTION SCHEDULING
Inspections are required before guniting (or backfilling), before plastering, and prior to placing the pool(s) in use. Such inspections are to be arranged at least 5 (five) working days in advance. The pool contractor shall notify this Agency when the pool and its appurtenances have been constructed and equipped in accordance with the approved plans. The pool shall NOT be placed in use until written approval is received from this Agency.

PL06: FILTRATION RATES
Demonstrate a swimming pool filtration rate of 126 to 540 GPM.

A minimum turnover rate of six (6) hours or less is required for the pool.

PL09: PIPE SIZE/PLUMBING
The direction of flow for the recirculation equipment shall be labeled clearly with directional symbols such as arrows on all piping in the equipment area.
Where the recirculation equipment for more than one pool is located on site, the equipment shall be marked as to which pool the system serves.
Valves and plumbing lines shall be labeled clearly with the source or destination descriptions. (§3120B.17)

PL10: OUTLET COVERS AND SUMPS

Submerged suction outlet covers must meet the ANSI/ASME A112.19.8 performance standard. Outlet covers must also be rated so as to accommodate 100% of the flow capacity of the pump.

All sumps for submerged suction outlet covers must be constructed or installed per manufacturer's specifications. Field-built sumps must have a depth of 1.5 times the diameter of the pipe (top of the pipe to the underside of the cover). Sumps will be field verified at the preplaster inspection.

PL14: PUMP ROOM EQUIPMENT

Filtration equipment, including gauges and flow meter, shall be positioned so as to be readily accessible without requiring persons to climb over or remove obstacles to make repairs or inspections. Label all plumbing with flow direction and identity of each pool.

PL22: FINISH COLOR

The interior pool shell finish color must be white in color except for lane lines, if proposed, and depth marking lines.

PL23: DEPTH MARKERS

Provide depth markers having numeral height of a minimum four (4) inches and of a color contrasting with the background and be marked in unit of feet and inches. Abbreviations of FT and IN may be used. (3110B.4.4)

PL26: HAND RAILS

All swimming pools and spa pools must have a safety handrail that extends from the deck to not less than a point above the top of the lowest step, but not more than one (1) foot from the lowest step riser, with the upper railing surface between 28 inches and 36 inches above the deck and edge of each step. The space between the hand rail and step riser shall be limited to 3 inches. (Fig 31B-7)

PL30: STEPS/STAIRS

Each step of stair must have the same dimensions, with a tread of not less than 12 inches and not exceeding 16 inches, except for the top step (A triangular, convex or concave top step which must be between 21 inches and 24 inches in width at the widest point: A straight step which must be between 14 inches and 18 inches in width at the widest point). (Fig 31B-7)

Risers must be uniform and must not exceed 12 inches or less than six inches in height. The minimum required length of the step is 24 inches.

PL32: POOL BOTTOM CONTOUR

The code requires at the shallow end of the pool where the pool wall meets the pool floor, radius shall not be less than six inches and not more than 12 inches. Correct the radius of the pool contour.

PL36: COPING HANDHOLD

A handhold of bullnose coping or cantilevered decking is required. Provide a section view of cantilevered decking, drawn to scale. Handholds must overhang the tile at least one (1) inch, but not over two (2) inches and must not exceed two and one half (2-1/2) inches in thickness.

PL37: DECKING/WALKING SURFACE

Pavers are accepted within the four feet of decking only when a continuously paved 3 inch sub deck is provided.

All pools shall have depth markers (numeral height of a minimum 4 inches) on coping or on deck as close as possible within three (3) feet from the water and on the pool walls. Markers on the wall shall be installed as follow: (3110B.4.2)

1. The pool with rim flow shall have marker immediately below the waterline.

For pool water depths 6 feet and shallower, no diving markers with the universal symbol of no diving, which is a red circle with a slash through it superimposed over the image of a diver, shall be installed on the deck directly adjacent to the depth markers required by Section 3110B.4.1. No diving markers shall comply with Section 3110B.4.4(2-3).

To view the status of this project, visit our website at <https://ohealthplancheck.ochca.com/>

PL42: FENCING

The pool shall be enclosed by one or a combination of the following: a fence; portion of a building; wall; or other approved durable enclosure. Doors, windows gates of living units or associated private premises shall not be permitted as part of the pool enclosure. The enclosure, doors and gates shall meet all of the following specifications (§3119B.1):

1. The enclosure shall have a minimum effective perpendicular height of 5 feet as measured from the outside.
2. Openings, holes or gaps in the enclosure, doors and/or gates shall not allow the passage of a 4-inch diameter sphere. The enclosure shall be constructed over A HARD AND PERMANENT MATERIAL EQUIVALENT TO CONCRETE.
3. The enclosure shall be designed and constructed so that it cannot be readily climbed by small children. Horizontal and diagonal member designs which might serve as a ladder for small children are prohibited. Horizontal members shall be spaced at least 48 inches apart. No planters or other structures that can be climbed shall be permitted within 5 feet of the outside of the pool enclosure or within a 5 foot arc as depicted in Figure 31B-5.
4. The area 5 feet outside of the pool enclosure shall be a common area open to the public.
5. Chain link may be used provided that the openings are not greater than one and three quarter (1 3/4) inches measured horizontally.

PL43: GATES AND OPENINGS

Gates and doors opening into the pool enclosure also shall meet the following specifications (3119B.2):

1. Gates and doors shall be equipped with self-closing and self-latching devices. The self-latching device shall keep the gate or door securely closed. Gates and doors shall open outwardly away from the pool except where otherwise prohibited by law. Hand activated door or gate opening hardware shall be located at a height no lower than 42 inches but no higher than 44 inches above the deck or walkway
2. Gates and doors shall be capable of being locked during Times when the pool is closed. Exit doors which comply with Chapter 10, Title 24, California Code of Regulations shall be considered as meeting these requirements
3. The pool enclosure shall have at least one means of egress without a key for emergency purposes. Unless all gates or doors are so equipped, those gates and/or doors which will allow egress without a key shall have a sign in letters at least 4 inches high stating "EMERGENCY EXIT"
4. The enclosure shall be constructed so that all persons will be required to pass through common pool enclosure gates or doors in order to gain access to the pool area. All gates and doors exiting the pool area shall open into a public area or a walkway accessible by all patrons of the pool.
5. Post on the exterior side of gates and doors leading into the pool enclosure area stating, "KEEP CLOSED" or "KEEP GATE CLOSED" in minimum 4 inches high lettering. (3120B.10)

PL46: POST SIGNS AND SUPPLY EQUIPMENT

Post safety signs and supply safety equipment so that they will be clearly visible and readily available to the pool.

PL47: REQUIRED SIGNS

All signs shall have minimum 4 inches high legible letters or numbers, unless otherwise required in this section. Post the following safety signs:

- a. "WARNING - NO LIFEGUARD ON DUTY". The sign also shall state in letters at least 1 inch high, "Children under the age of 14 shall not use pool without a parent or adult guardian in attendance."
- b. Demonstration of artificial respiration. An illustrated diagram with text at least 1/4 inch high of artificial respiration and CPR procedures shall be posted.
- c. The "911" emergency number / nearest emergency services phone number / pool name and street address sign
- d. A sign shall be posted on the exterior side of gates and doors leading into the pool enclosure area stating , "KEEP CLOSED" or "KEEP GATE CLOSED"
- e. "NO DIVING"
- f. Diarrhea. A sign in letters at least 1 inch high and in a language or diagram that is clearly stated shall be posted at the entrance area of a public pool which states that persons having currently active diarrhea or who have had active diarrhea within the previous 14 days shall not be allowed to enter the pool water.

PL48: OCCUPANCY LOAD

Post the pool's occupancy load at 68.

PL50: SAFETY EQUIPMENT

Supply the following safety equipment: (Spa pools exempt)

1. Body hook on a 12 foot pole.
2. Life ring, with attached throw rope of 3/16 inch diameter, long enough to span the maximum width of the pool.

PL51: ANCILLARY FACILITIES

Supply a toilet paper dispenser and single service, permanently installed soap and towel dispenser in the restrooms.

Provide the lavatories and showers with hot and cold running water. Hot water temperature shall be limited to 110 °F. When individual hot and cold water faucets are not provided, tempered water is permitted with water temperature is between 100 °F and 110 °F.

Provide a drinking fountain within the pool vicinity or provide a sign stating that a bottle filler is located in the fitness room etc.

This project was reviewed by Dawn Umemoto, REHS (714)433-6068, dumemoto@ochca.com
Your original assigned plan reviewer is Dawn Umemoto, REHS (714)433-6068, dumemoto@ochca.com



PLAN CHECK REPORT
County of Orange, Health Care Agency, Environmental Health
 1241 EAST DYER ROAD, SUITE 120
 SANTA ANA, CA 92705-5611
 (714)433-6074
 www.ochealthinfo.com/eh

7560 (v1.31)
 DA5335033

March 01, 2016

SUBMITTER: LISA ZOSCAK AQUATIC TECHNOLOGIES 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675	JOB SITE: GATEWAY VILLAGE-PLAN CHECK PENDING 27742 FORBES WAY LAGUNA NIGUEL	OWNER: 450 NEWPORT CENTER DR 500 NEWPORT BEACH, CA 92660
SR RECORD ID: SR0127304 AUTHORITY TO CONSTRUCT/PLAN APPROVED NEW POOL - SPA	SCOPE OF WORK: SPA	CURRENT/FORMER NAME:

PC00: OPENING COMMENT
 PR0104386

PL01: PLAN APPROVAL
 Volume (gallons): Spa 2,607

Plans for the above project have been reviewed by this Agency and are approved, subject to the conditions listed in this letter and on the approved plans. Alterations or changes to these approved plans must have prior approval by the Plan Check Section of Environmental Health. A blue inspection card is attached to the set of approved plans to be placed in plain view at the jobsite.

The approved plans shall be valid for a period of two(2) years from the date of approval or as extended by the enforcing agent.

PL03: INSPECTION SCHEDULING
 Inspections are required before guniting (or backfilling), before plastering, and prior to placing the pool(s) in use. Such inspections are to be arranged at least 5 (five) working days in advance. The pool contractor shall notify this Agency when the pool and its appurtenances have been constructed and equipped in accordance with the approved plans. The pool shall NOT be placed in use until written approval is received from this Agency.

PL06: FILTRATION RATES
 Demonstrate a spa pool filtration rate of 87 to 138 GPM.

A minimum turnover rate of one half (1/2) hour or less is required for a spa pool.

PL09: PIPE SIZE/PLUMBING
 The direction of flow for the recirculation equipment shall be labeled clearly with directional symbols such as arrows on all piping in the equipment area.
 Where the recirculation equipment for more than one pool is located on site, the equipment shall be marked as to which pool the system serves.
 Valves and plumbing lines shall be labeled clearly with the source or destination descriptions.(§3120B.17)

PL10: OUTLET COVERS AND SUMPS

Submerged suction outlet covers must meet the ANSI/ASME A112.19.8 performance standard. Outlet covers must also be rated so as to accommodate 100% of the flow capacity of the pump.

All sumps for submerged suction outlet covers must be constructed or installed per manufacturer's specifications. Field-built sumps must have a depth of 1.5 times the diameter of the pipe (top of the pipe to the underside of the cover). Sumps will be field verified at the preplaster inspection.

PL14: PUMP ROOM EQUIPMENT

Filtration equipment, including gauges and flow meter, shall be positioned so as to be readily accessible without requiring persons to climb over or remove obstacles to make repairs or inspections. Label all plumbing with flow direction and identity of each pool.

PL22: FINISH COLOR

The interior pool shell finish color must be white in color except for lane lines, if proposed, and depth marking lines.

PL23: DEPTH MARKERS

Spa pools must have a minimum of two (2) depth markers.

Provide depth markers having numeral height of a minimum four (4) inches and of a color contrasting with the background and be marked in unit of feet and inches. Abbreviations of FT and IN may be used. (3110B.4.4)

PL26: HAND RAILS

Two (2) safety handrails must be provided. Steps shall be located where the deck is minimum four feet wide. Provide a minimum two and maximum three feet separation between rails.

PL30: STEPS/STAIRS

Each step of stair must have the same dimensions, with a tread of not less than 12 inches and not exceeding 16 inches, except for the top step (A triangular, convex or concave top step which must be between 21 inches and 24 inches in width at the widest point: A straight step which must be between 14 inches and 18 inches in width at the widest point). (Fig 31B-7)

Risers must be uniform and must not exceed 12 inches or less than six inches in height. The minimum required length of the step is 24 inches.

PL36: COPING HANDHOLD

A handhold of bullnose coping or cantilevered decking is required. Provide a section view of cantilevered decking, drawn to scale. Handholds must overhang the tile at least one (1) inch, but not over two (2) inches and must not exceed two and one half (2-1/2) inches in thickness.

PL37: DECKING/WALKING SURFACE

Pavers are accepted within the four feet of decking only when a continuously paved 3 inch sub deck is provided.

All pools shall have depth markers (numeral height of a minimum 4 inches) on coping or on deck as close as possible within three (3) feet from the water and on the pool walls. Markers on the wall shall be installed as follow: (3110B.4.2)

1. The pool with skimmer shall have markers at the waterline tiles.

For pool water depths 6 feet and shallower, no diving markers with the universal symbol of no diving, which is a red circle with a slash through it superimposed over the image of a diver, shall be installed on the deck directly adjacent to the depth markers required by Section 3110B.4.1. No diving markers shall comply with Section 3110B.4.4(2-3).

PL44: EMERGENCY SHUT-OFF SWITCH

A clearly labeled emergency shut off switch for the control of BOTH recirculation and aeration and/or jet system be installed ADJACENT to the spa pool.(§3120B.8)

In letters at least one (1) inch high, a sign shall be posted at the spa emergency shut off switch stating, "EMERGENCY SHUT OFF SWITCH". (§3120B.8)

PL45: SPA WARNING SIGN

A warning sign regarding the use of spa pools shall be posted ADJACENT to the spa pool.(§3120B.7) The word "CAUTION" shall have a minimum four (4) inches high lettering and the following statements shall have a minimum one (1) inch high lettering.

"CAUTION"

1. Elderly persons, pregnant women, infants and those with health conditions requiring medical care should consult a physician before entering spa.
2. Unsupervised use by children under the age of 14 is prohibited.
3. Hot water immersion while under the influence of alcohol, narcotics, or medicines may lead to serious consequences and is not recommended.
4. Do not use alone.
5. Long exposure may result in nausea, dizziness or fainting.

PL46: POST SIGNS AND SUPPLY EQUIPMENT

Post safety signs and supply safety equipment so that they will be clearly visible and readily available to the pool.

PL48: OCCUPANCY LOAD

Post the spa's occupancy load at 14.

PL58: SPA WATER TEMPERATURE

The maximum allowable water temperature in a spa pool shall be 104 degrees Fahrenheit.

This project was reviewed by Dawn Umemoto, REHS (714)433-6068, dumemoto@ochca.com
Your original assigned plan reviewer is Dawn Umemoto, REHS (714)433-6068, dumemoto@ochca.com



PLAN CHECK REPORT
County of Orange, Health Care Agency, Environmental Health
 1241 EAST DYER ROAD, SUITE 120
 SANTA ANA, CA 92705-5611
 (714)433-6074
 www.ochealthinfo.com/eh

7560 (v1.31)
 DA5335045

March 02, 2016

<u>SUBMITTER:</u> LISA ZOSCAK AQUATIC TECHNOLOGIES 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675	<u>JOBSITE:</u> GATEWAY VILLAGE-PLAN CHECK PENDING 27742 FORBES WAY LAGUNA NIGUEL	<u>OWNER:</u> 450 NEWPORT CENTER DR 500 NEWPORT BEACH, CA 92660
<u>SR RECORD ID:</u> SR0127305 AUTHORITY TO CONSTRUCT/PLAN APPROVED NEW POOL - WADE	<u>SCOPE OF WORK:</u> WADE	<u>CURRENT/FORMER NAME:</u>

PC00: OPENING COMMENT
PR0104387

16-0983

PL01: PLAN APPROVAL
Volume (gallons): Wade 3,777

Plans for the above project have been reviewed by this Agency and are approved, subject to the conditions listed in this letter and on the approved plans. Alterations or changes to these approved plans must have prior approval by the Plan Check Section of Environmental Health. A blue inspection card is attached to the set of approved plans to be placed in plain view at the jobsite.

The approved plans shall be valid for a period of two(2) years from the date of approval or as extended by the enforcing agent.

PL03: INSPECTION SCHEDULING

Inspections are required before guniting (or backfilling), before plastering, and prior to placing the pool(s) in use. Such inspections are to be arranged at least 5 (five) working days in advance. The pool contractor shall notify this Agency when the pool and its appurtenances have been constructed and equipped in accordance with the approved plans. The pool shall NOT be placed in use until written approval is received from this Agency.

PL06: FILTRATION RATES

Demonstrate a wade pool filtration rate of 63 to 98 GPM to provide a complete turnover of pool water in one (1) hour or less.

PL09: PIPE SIZE/PLUMBING

All plumbing for the wade pool must be sized so that the rate of flow does not exceed six (6) feet per second through any suction line.

PL10: OUTLET COVERS AND SUMPS

Submerged suction outlet covers must meet the ANSI/ASME A112.19.8 performance standard. Outlet covers must also be rated so as to accommodate 100% of the flow capacity of the pump.

All sumps for submerged suction outlet covers must be constructed or installed per manufacturer's specifications. Field-built sumps must have a depth of 1.5 times the diameter of the pipe (top of the pipe to the underside of the cover). Sumps will be field verified at the preplaster inspection.

To view the status of this project, visit our website at <https://ochealthplancheck.ochca.com/>

PL22: FINISH COLOR

The interior pool shell finish color must be white in color except for lane lines, if proposed, and depth marking lines.

PL23: DEPTH MARKERS

Wade pools must have a minimum of two (2) depth markers.

Install depth markers (numeral height of a minimum 4 inches) on both sides of the pool at the minimum and maximum depths and on both ends of the pool.

PL30: STEPS/STAIRS

Each step of a stair must have the same dimensions, with a tread of not less than 12 inches, except for a curved top step which must be 18 inches in width at the widest point. Step riser must be uniform from the deck and must not exceed 12 inches in height.

PL37: DECKING/WALKING SURFACE

For pool water depths 6 feet and shallower, no diving markers with the universal symbol of no diving, which is a red circle with a slash through it superimposed over the image of a diver, shall be installed on the deck directly adjacent to the depth markers required by Section 3110B.4.1. No diving markers shall comply with Section 3110B.4.4(2-3).

This project was reviewed by Dawn Umemoto, REHS (714)433-6068, dumemoto@ochca.com
Your original assigned plan reviewer is Dawn Umemoto, REHS (714)433-6068, dumemoto@ochca.com



GARY - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B16-0983
Project Address: 27742 FORBES RD
Valuation: 120000
Project Description: Permit for a new 1364sqft. pool/ 140sqft spa and 400sqft. wader. (Gateway Village)
 Field verify for code compliance.
 Lisa is taking plans as they need a soils report.

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	05/09/16	05/16/16		6-8-16	GH
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Send set to Gary when Planning (or)
 CMA comes back.

* Gary P/R Rush

Final Approval By: GH **Date:** 6-8-16

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-1996

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$399.06
B16-0983 Address: 27742 FORBES RD Apn: 63603410			
Type: COMMERCIAL Subtype: POOL/SPA			
Description: New Pool/ Spa/Wader			\$399.06
POOL & SPA FEES			\$399.06
TOTAL FEES PAID BY RECEIPT:R16-1996			\$399.06

Date Paid: Monday, June 13, 2016

Paid By: HART BROTHERS CONSTRUCTION INC DBA AQUATIC TECHNOLOGIES

Payee Address: 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675

Cashier: AK

Pay Method: CHECK 1302





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-1995

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,506.78
B16-0983 Address: 27742 FORBES RD Apn: 63603410 Type: COMMERCIAL Subtype: POOL/SPA Description: New Pool/ Spa/Wader			\$1,506.78
CBSC FEE			\$5.00
GEO REVIEW FEE			\$697.00
POOL & SPA FEES			\$804.78
TOTAL FEES PAID BY RECEIPT:R16-1995			\$1,506.78

Date Paid: Monday, June 13, 2016

Paid By: HART BROTHERS CONSTRUCTION INC DBA AQUAT

Payee Address: 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675

Cashier: AK

Pay Method: CHECK 1301



email to: David Quimayousie david.quimay@cdfa.ca.gov

Cooperative Red Imported Fire Ant (RIFA) Project

Notification of Intent to Move Soil

From or within Quarantined Areas of

Orange, Riverside, and Los Angeles Counties

Address: California Department of Food and Agriculture, RIFA Program
PO Box 2017 Los Alamitos, CA 90720

Phone: 562-795-1100, FAX 562-795-1117

16-0983

Red imported fire ant (RIFA) Compliance
Agreement No. 30500590599

Permit No: B16-0983
Issuing Agency: City/County
Laguna Niguel

Name of Company Requesting Approval: Aquatic Technologies

Contact Person: Lisa Zoscak

Address: 32232 Paseo Adelanto, Ste A City: San Juan Capistrano

Telephone: (949) 493-9548 Fax: (949) 493-8495

Excavation Location: 27742 Forbes Rd TB*
Laguna Niguel, CA 92677 Acres: _____

Destination Location: Dirt to remain on site TB*
Acres: _____

Estimated Quantity of Soil (Cubic Yards): _____ Anticipated Date of Movement: ASAP

Urgency Level for Immediate Inspection and Release**: [Circle One] High Medium Low

TO BE COMPLETED BY RIFA PROJECT REGULATORY OFFICIAL ONLY:

Movement of soil is permitted.

Hold movement until site checked - WE WILL CALL AS SOON AS POSSIBLE TO SCHEDULE INSPECTION DATE AND TIME.

Date Trapped: _____ # of Traps: _____ Acres: _____

Date Picked Up: _____ PDR #: _____ Trapped by: _____

Comments: _____

Soil Movement soil is strictly prohibited for the following reasons:

Name of RIFA Project Regulatory Official: David Quimayousie

Signature: [Signature] Date: 06/13/16

*TB is Thomas Brothers map page and grid information

RIFA Form CA-1 Revised 3/11/08

**Please allow 3-4 working days for inspection (Mon - Thu)

California Department of Food and Agriculture - RIFA Program PO Box 2017 Los Alamitos, CA 90720



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

RECEIVED

MAY 11 2016

BLG-0983

CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT
May 5, 2016
J.N.: 2176.01

Mr. Michael McCann
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

Subject: Geotechnical Recommendations for the Proposed Swimming Pool/spa and Deck, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California.

References: Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00)

Precise Grading & Drainage Plans, Gateway Village, 27742 Forbes Road, Laguna Niguel, California. Prepared by KHR Associates, Newport Beach, CA., Print date: June 24, 2014.

Dear Mr. McCann,

We understand that two swimming pools/spas and deck will be constructed at the site. This letter provides recommendations for the design of the pool/spa shell and surrounding concrete deck. Our recommendations are based on data contained in our referenced report as well as conditions observed during recent grading of the site.

Site Conditions

The maximum depth of the proposed swimming pools/spas are assumed to be approximately 5 to 8 feet. Based on this depth, the bottom of the proposed swimming pools/spas shell will be supported by engineered compacted fill. The fill is comprised of fine-grained soils with a Very High expansion potential. Groundwater was encountered below the site during site exploration. From our work, we anticipate the shallowest ground water conditions expected to be present during the life of the project is estimated to be 259.0 feet above MSL. The referenced precise grading plans indicate the deck will have a finish grade near 268 feet. Therefore, groundwater is anticipated to remain at least 9 feet below finish grade and should not impact design of the pool shells.

Shell Design and Construction

The pool/spa shell should be designed as a monolithic structure without joints and should be designed for a freestanding condition. The pool shells should be designed for an equivalent fluid pressure of 100 pounds per cubic foot (pcf) due to earth pressure. This value is based on the typical onsite materials and on drained conditions that do not consider hydrostatic pressures. The pool shells should also be designed to support any adjacent structural surcharge loads imposed by other nearby

walls or footings in addition to the equivalent fluid pressure described above. Due to expansive soil conditions, the shell should have a minimum thickness of 5 inches and be reinforced with a minimum of No. 4 bars spaced 12 inches center to center in each direction.

Laboratory testing of on-site soils indicates soluble sulfate content is less than 0.20%. However, previous experience in the general area indicates soluble sulfate contents can vary above 0.20% but less than 2.0%. We recommend following the procedures provided in ACI 318, Section 4.3, Table 4.3.1 for Severe sulfate exposure.

Conditions are anticipated to be suitable to excavated the pool without special layback cuts or shoring provided the cut does not exceed 8 feet. Over time, the excavation will tend to dry out and increase the risk of sloughing or caving. Once the excavations are made, construction of the pool shell should be completed as soon as practically possible.

The project geotechnical engineer should observe the excavation for construction of the proposed swimming pool/spa to verify that competent soils are exposed at the bottom of excavation. These observations should be performed prior to placement of forms or reinforcement. The excavations should be trimmed neat and all loose, sloughed or moisture-softened materials and debris should be removed prior to placing shotcrete or gunite.

Decking

Decking for the pools should be a minimum of 5 inches thick and underlain by at least 18 inches of non-expansive materials such as sand or gravel. The deck should be provided with saw cuts or expansion joints at spacing no greater than 5 feet in each direction. Saw cuts should extend 1 inch in depth. Cold joints should be keyed or doweled. Special jointing details should be provided in areas of block-outs, notches, or other irregularities to avoid cracking at points of high stress. Decks should be reinforced with a minimum of No. 3 bars spaced 12 inches each way. Care should be taken to ensure the placement of reinforcement at mid-slab height. Consideration should be given to using epoxy-coated rebar to mitigate the potential for corrosion and rust staining of the decking. The outside edge of the pool deck should be turned down to extend to a depth of 24 inches below adjacent grade. The edge beam should be at least 12 inches wide and reinforced with at least two No. 4 bars, one top and one bottom. Even with the above measures, the deck may heave above the pool coping due to swelling soils. Consideration should be given to tying the decking to the pool shell bond beam with dowels.

The pool/spa deck design engineer may recommend a greater deck thickness and reinforcement and such recommendations should govern if greater than the recommendations presented herein. Pool/spa deck should also be sloped at a minimum gradient of 2% away from the swimming pool/spa.

Subgrade soils below the decking should be thoroughly moistened prior to placing the 18 inches of non-expansive material. The moisture content of the soils should be at least 120 percent of the optimum moisture content to a depth of approximately 12 inches into the subgrade. Flooding or ponding of the subgrade is not recommended. Moisture conditioning should be achieved by a light application of water to the subgrade over a couple of days just prior to placement of the non-expansive materials.

Closing

This report is based on the proposed development and geotechnical data as described herein. The materials encountered on the project site and utilized in our laboratory testing for this investigation are believed representative of the total project area, and the conclusions and recommendations contained in this report are presented on that basis. However, soil materials can vary in characteristics between points of testing, both laterally and vertically, and those variations could affect the conclusions and recommendations contained herein. As such, observation and testing by a geotechnical consultant during the construction phases of the project are essential to confirming the basis of this report.

This report has been prepared consistent with that level of care being provided by other professionals providing similar services at the same locale and time period. The contents of this report are professional opinions and as such, are not to be considered a guaranty or warranty.

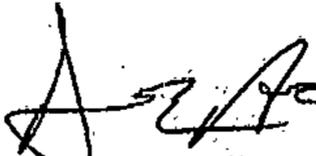
This report should be reviewed and updated after a period of one year or if the site ownership or project concept changes from that described herein.

This report has not been prepared for use by parties or projects other than those named or described herein. This report may not contain sufficient information for other parties or other purposes.

We hope that this report fulfills the current needs of the project. If you have any questions, or require additional information, please contact the undersigned.

Respectfully submitted,

ALBUS-KEEFE & ASSOCIATES, INC.


David E. Albus
Principal Engineer
G.E. 2455





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-1540

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$239.63
B16-0983 Address: 27742 FORBES RD Apn: 63603410			
Type: COMMERCIAL Subtype: POOL/SPA			
Description: New Pool/ Spa/Wader			
			\$239.63
POOL & SPA FEES			\$239.63
TOTAL FEES PAID BY RECEIPT:R16-1540			\$239.63

Date Paid: Monday, May 09, 2016

Paid By: HART BROTHERS CONSTRUCTION INC DBA AQUAT

Payee Address: 32232 PASEO ADELANTO STE A SAN JUAN CAPISTRANO, CA 92675

Cashier: CWIL

Pay Method: CHECK 1284





BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-1254

APN: 63603410

TRACT: 6081

Lot/PARCEL: 1

ELEC: SDGE



PROJECT ADDRESS: **27742 FORBES RD**

LINKED ADDRESSES: 27742 FORBES RD

BUSINESS NAME:

ISSUED: 6/1/2016

DESCRIPTION OF WORK:

Permit for truss calculations for segment 1, for existing Alliance project. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA POLICY#: TRJUB4245B187	EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R3 Residential One and Two Family

TOTAL VALUATION: \$26,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$276.22	\$394.60	\$27.27	\$698.09
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$2.00
GMU				
MISC				\$7.28
			TOTAL PERMIT FEES:	\$707.37
			TOTAL FEES PAID	\$707.37

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 6/1/16
Date: 6/1/16

Issued Receipt#: R16-1871

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**: [Signature] *requires separate verification form
**requires separate authorization form

Signature: [Signature] Date: 6/1/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature 

Date: 6/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE	INSPECTION TYPE	DATE	INITIALS
72	DrYWall Nailing/Firewalls		
400	P/S Pre Inspection for Fences		
402	P/S Pool & Equipment Loc.		
410	P/S Approval to Cover - Gunite		
412	P/S Electrical Conduit Undermd.		
414	P/S Gas Pipe Underround Test		
416	P/S Backwash Lines, P Trap, Underround		
418	P/S Final Backwash Receptor		
420	P/S Fencing & Access Gates		
422	P/S Pre Deck		
424	P/S Approved for Plastering		
428	P/S FINAL - HEATER & VENT		
430	P/S FINAL - PLUMBING		
432	P/S FINAL - ELECTRICAL		
434	P/S FINAL - POOL COVER		
436	P/S FINAL - SOLAR SYSTEM		
438	P/S FINAL - POOL/SFA		
902	FINAL - ELECTRICAL METER RELEASE		
904	FINAL - ELECTRICAL		
906	FINAL - SIGN		
908	FINAL - MECHANICAL		
910	FINAL - PLUMBING		
912	FINAL - WATER SERVICE		
914	FINAL - GAS TEST		
916	FINAL - ACCESSIBILITY REGULATIONS		
918	FINAL - RE-ROOF		
920	FINAL - PLANNING		
922	FINAL - ENGINEERING/P.W.		
924	FINAL - O.C. HEALTH		
926	FINAL - WATER DISTRICT		
927	FINAL - SMOKE DETECTOR/ CO2		
928	FINAL - GRADING		
930	FINAL - OCA SPRINKLER SYSTEMS -		
932	FINAL - OCA PROJECT FINAL -		
933	Anti-Entrapment Device		
934	FINAL - BUILDING & SAFETY		
935	FINAL - WATER QUALITY INSPECTION		
2	Initial Water Quality Inspection		
c	Tamo Electrical Service or Pole		
6	Soil Pipe Underround		
8	Water Pipe Underround		
9	Sewer Line & House Connect		
10	Electrical Conduit Underround		
14	Gas Line Underround & Test		
16	Verify Setbacks		
18	Footings & Steel		
19	UFER		
20	Foundation - Slab on Grade		
21	Post Tension		
22	Steel Reinforce - Retain. Walls		
24	Pre Grout Lift 1		
26	Pre Grout Lift 2		
29	Wall Drainage		
30	Floor Plywood Nailing		
32	Sewer Line & House Connect		
34	Roof Drains/Deck Drains		
36	Rough Plumbing/Gas Test		
40	Hot Mop Shower		
41	Lathing Interior		
42	Rough Electrical		
44	Rough Mechanical		
46	Fire Dampers		
48	Roof Sheathing		
50	Roof Framing		
51	Approval to Cover Exterior		
52	Shear Walls Interior		
53	Preliminary Shear		
54	Shear Walls Exterior		
55	Preliminary Insulation		
56	Rough Frame & Flashing		
59	OCA Fire Sprinkler - Rough		
60	T-Bar Ceiling		
64	Lathing Exterior		
70	Insulation		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 - 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (If applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 - 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 22200 W. Orange wood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment 1"

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] Payment: Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-1254</u>	Received By:	<u>[Signature]</u>	Date:	<u>5/19/16</u>
Planning Division					
HOA or Property Manager Approval Required:	<input type="checkbox"/>	NO	Submitted to: _____		
HOA or Property Manager Approval Letter Provided:	<input type="checkbox"/>	NO	Reviewed By: _____		
OK for Plan Check:	<input type="checkbox"/>	NO	Date: _____		
OK for issuance:	<input type="checkbox"/>	NO	Date: _____		
Building Division					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1254
Project Address: 27742 FORBES RD
Valuation: 26000
Project Description: Permit for truss calculations for segment 1, for existing Alliance project. Field verify for code compliance.

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	5/19/2016			5/20/16	NZ
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: W. Chry
Final Approval By: _____ **Date:** _____

- Attached is:
- ___ Set of Plans
 - ___ Set of Structural Calculations
 - ___ Soil Report
 - ___ Title 24 Energy Calculations
 - ___ Set of ES Reports
 - ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-1871

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$707.37
B16-1254 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Truss Calculations			\$707.37
BUILDING			\$421.87
CBSC FEE			\$2.00
PLAN CHECK			\$276.22
SMIP FEE MF AND COM			\$7.28
TOTAL FEES PAID BY RECEIPT:R16-1871			\$707.37

Date Paid: Wednesday, June 01, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 1847





BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-1429

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 6/23/2016

DESCRIPTION OF WORK:

Permit for Truss Calculations for segment 2 for existing Alliance project. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: - EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R3 Residential One and Two Family

TOTAL VALUATION: \$26,000.00

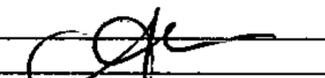
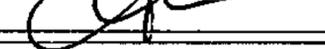
USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$276.22	\$394.60	\$27.27	\$698.09
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$2.00
GMU				
MISC				\$7.28
			TOTAL PERMIT FEES:	\$707.37
			TOTAL FEES PAID	\$707.37

Comments:

Planning Approval: 
Building Permit Issued By: 

Date: 6/23/16
Date: 6/23/16

Issued Receipt#: R16-

2112

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

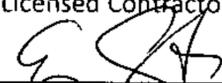
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature 

Date 6/23/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 6/23/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that i have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

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I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB42458187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Driveway Nailing/Firewalls		
4. Temporary Electrical Service or Pole			400. P/S Pre-Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Vertical Setbacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre GROUT Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre GROUT Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
42. Rough Electrical			910. FINAL - PLUMBING		
44. Rough Mechanical			912. FINAL - WATER SERVICE		
46. Fire Dampers			914. FINAL - GAS TEST		
48. Roof Sheathing			916. FINAL - ACCESSIBILITY REGULATIONS		
50. Roof Framing			918. FINAL - RE-ROOF		
51. Approval to Cover Exterior			920. FINAL - PLANNING		
52. Shear Walls Interior			922. FINAL - ENGINEERING/P.W.		
53. Preliminary Shear			924. FINAL - O.C. HEALTH		
54. Shear Walls Exterior			926. FINAL - WATER DISTRICT		
55. Preliminary Insulation			927. FINAL - SMOKE DETECTOR/CO2		
56. Rough Frame & Flashing			928. FINAL - GRADING		
59. OCPA Fire Sprinkler - Rough			930. FINAL - OCPA SPRINKLER SYSTEMS -		
60. T-Bar Ceiling			932. FINAL - OCPA PROJECT FINAL -		
64. Lath/Exterior			933. Anti-Entrapment Device		
70. Insulation			934. FINAL - BUILDING & SAFETY		
			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 - 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (if applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 - 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 22200 W. Orangewood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment 2

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-1729</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/9/16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:			Reviewed By:	Date:	
OK for issuance:			Reviewed By:	Date:	
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

[Handwritten Signature]

707.37



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R16-2112

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$707.37
B16-1429 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$707.37
BUILDING			\$421.87
CBSC FEE			\$2.00
PLAN CHECK			\$276.22
SMIP FEE MF AND COM			\$7.28
TOTAL FEES PAID BY RECEIPT:R16-2112			\$707.37

Date Paid: Thursday, June 23, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 1940





Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1429
Project Address: 27742 FORBES RD
Valuation: 26000
Project Description: Permit for Truss Calculations for segment 2 for existing Alliance project. Field verify for code compliance.

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	6/9/16	6/15/16	 	6/15/16	HT
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

- Attached is:
- ___ Set of Plans
 - ___ Set of Structural Calculations
 - ___ Soil Report
 - ___ Title 24 Energy Calculations
 - ___ Set of ES Reports
 - ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

1

Project Address: 27742 Forbes Road **Suite/Unit:** _____

Applicant/Agent: Alliance Residential **Tract Lot:** Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550 **Phone No.:** (949) 706 8460

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel **Phone No.:** (949) 706 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc. **Phone No.:** (949) 706 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** bmccann@allresco.com

State License No.: 897318 **Class:** B **Expiration:** _____

Workman's Comp. Policy No.: TRJUB4245B18714 **Expiration:** _____

Insurance Company (if applicable): Lovitt & Touche

Architect: Humphreys & Partners **Reg No.:** _____ **Phone No.:** (949) 955 9400

Address: 2350 SE Bristol #310

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** nima@humphreys.com

Engineer: VCA **Reg. No.:** _____ **Phone No.:** 714-978-9780

Address: 2200 W. Orange wood #150

City: Orange **State:** CA **Zip:** 92868 **Email:** Kris.Nicolaisen@VCA

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment 2

Valuation: \$ 26k **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building**

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC)

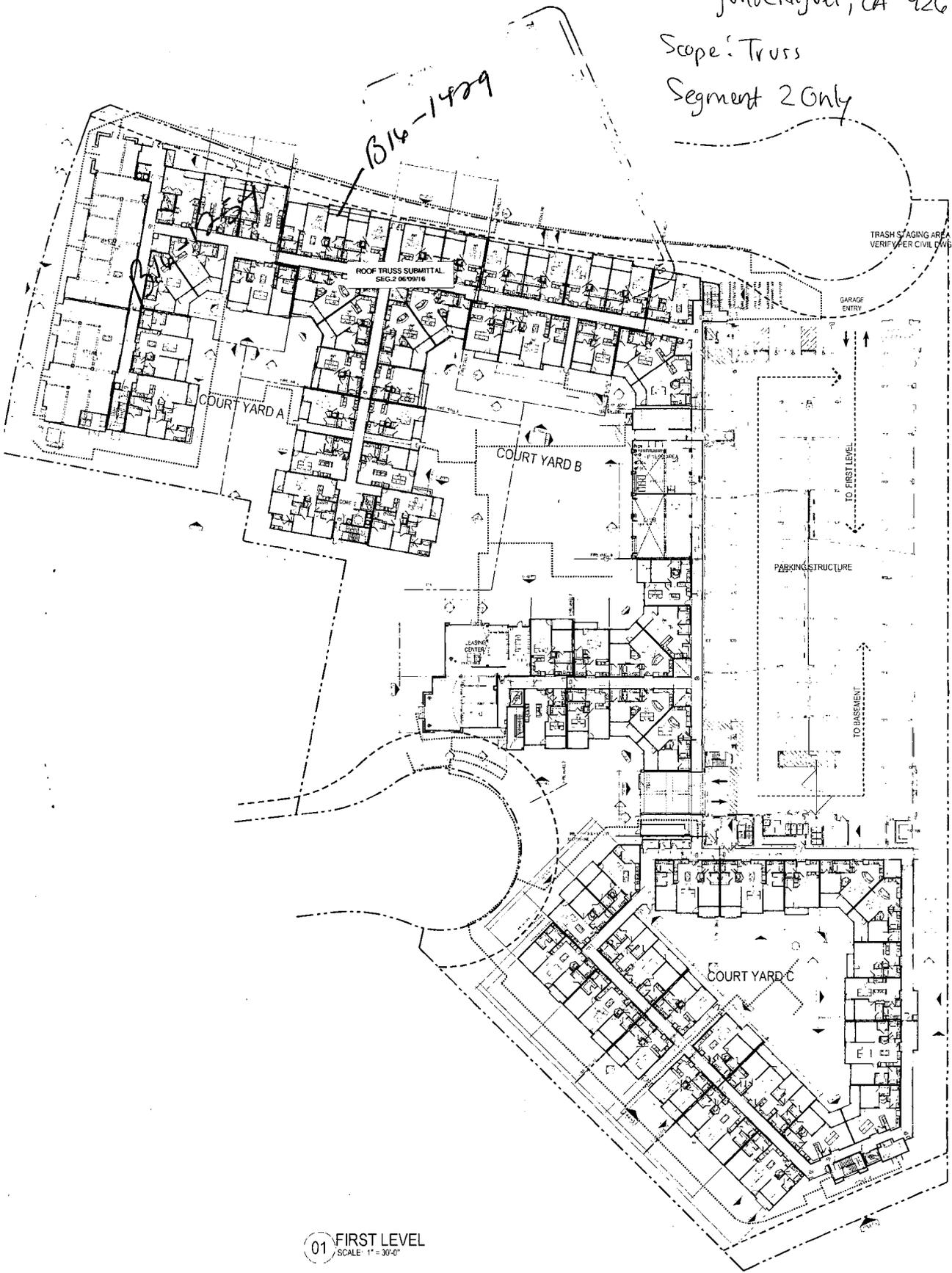
Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/M

Activity Number:	<u>B16-1429</u>	Received By:	<u>[Signature]</u>	Date:	<u>6</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

27742 Forbes Rd
Laguna Niguel, CA 92677

Scope: Truss
Segment 2 Only

B14-1429



01 FIRST LEVEL
SCALE: 1" = 30'-0"

B14-1429



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
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Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-1532

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 7/12/2016

DESCRIPTION OF WORK:

Permit for truss calcs in reference to B14-1484. Segment 3 & 4. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA POLICY#: TRJUB4245B187	EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R3 Residential One and Two Family

TOTAL VALUATION: \$52,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$465.66	\$664.70	\$27.27	\$1,157.63
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$3.00
GMU				
MISC				\$14.56
			TOTAL PERMIT FEES:	\$1,175.19
			TOTAL FEES PAID	\$1,175.19

Comments:

Planning Approval: _____

Building Permit Issued By: _____

Date: 7/12/16

Date: 7/12/16

Issued Receipt#: R16-

2296

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or () the property owner* or () authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature _____

Date 7/12/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 7/12/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover-Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verify Setbacks			418. P/S Final Backwash Recaptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S Final - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grou Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grou Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Tub Shower			908. FINAL - MECHANICAL		
41. Lath/Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCEA SPRINKLER SYSTEMS -		
59. OCEA Fire Sprinkler - Rough			932. FINAL - OCEA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lath/Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
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 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 - 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (If applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 - 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 2200 W. Orangewood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment B #4

Valuation: \$ 50K Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] Payment: Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-1532</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/23/16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

276.22
707.37



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-2296

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$1,175.19
B16-1532 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Truss Calculations			\$1,175.19
BUILDING			\$691.97
CBSC FEE			\$3.00
PLAN CHECK			\$465.66
SMIP FEE MF AND COM			\$14.56
TOTAL FEES PAID BY RECEIPT:R16-2296			\$1,175.19

Date Paid: Tuesday, July 12, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 1941





BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
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30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-1588

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 7/18/2016

DESCRIPTION OF WORK:

Permit for truss calcs for segment 5 per attached plan. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA POLICY#: TRJUB4245B187	EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013 CONSTR. TYPE: VB OCCUPANCY TYPE: R3 Residential One and Two Family

TOTAL VALUATION: \$26,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$276.22	\$394.60	\$27.27	\$698.09
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$698.09
			TOTAL FEES PAID	\$698.09

Comments:

Planning Approval: _____
Building Permit Issued By: _____

Date: 7/18/16
Date: 7/18/16

Issued Receipt#: R16-
2376

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

Signature: _____ Date: 7/18/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Con. See either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 7/18/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB42458187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE	INSPECTION TYPE	DATE	INITIALS
72	Drywall Nailing/Finishes		
400	P/S Final Inspection for Fences		
402	P/S Pool & Equipment Loc.		
410	P/S Approval to Cover - Gunite		
412	P/S Electrical Conduit Undermd.		
414	P/S Gas Pipe Undermd Test		
416	P/S Backwash Lines, P Trap, Undermd		
418	P/S Final Backwash Receiver		
420	P/S Fencing & Access Gates		
422	P/S Pre Deck		
424	P/S Approval for Plastering		
428	P/S Final - HEATER & VENT		
430	P/S Final - PLUMBING		
432	P/S Final - ELECTRICAL		
434	P/S Final - POOL COVER		
436	P/S Final - SOLAR SYSTEM		
438	P/S Final - POOL/SPA		
502	Final - ELECTRICAL METER RELEASE		
504	Final ELECTRICAL		
506	Final - SIGN		
508	Final - MECHANICAL		
510	Final - PLUMBING		
512	Final - WATER SERVICE		
514	Final - GAS TEST		
516	Final - ACCESSIBILITY REGULATIONS		
518	Final - RE-ROOF		
520	Final - PLANNING		
522	Final - ENGINEERING/P/L		
524	Final - O.C. HEALTH		
526	Final - WATER DISTRICT		
527	Final - SMOKE DETECTOR/CO2		
528	Final - GRADING		
530	Final - O.C.F.A SPRINKLER SYSTEMS -		
532	Final - O.C.F.A PROJECT FINAL -		
533	Anti-Entrapment Device		
534	Final - BUILDING & SAFETY		
535	Final - WATER QUALITY INSPECTION		
59	Roof Framing		
48	Roof Sheathing		
46	Fire Dampers		
44	Rough Mechanical		
42	Rough Electrical		
40	Hot Mop Shower		
38	Rough Plumbing/Gas Test		
36	Roof Drains/Deck Drains		
34	Sewer Line & House Connect		
32	Floor Plywood Nailing		
30	Wall Drainage		
28	Pre Grouit Lift 2		
26	Pre Grouit Lift 1		
24	Steel Reinforce - Retain Walls		
22	Foot Tension		
20	Foundation - Slab on Grade		
19	U/FER		
18	Footings & Steel		
16	Verify Setbacks		
14	Gas Line Undermd & Test		
12	Electrical Conduit Undermd		
10	Sewer Line & House Connect		
8	Water Pipe Undermd		
6	Soil Pipe Undermd		
4	Temp Electrical Service or Pole		
2	Initial Water Quality Inspection		



Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1588
Project Address: 27742 FORBES RD
Valuation: 26000
Project Description: Permit for truss calcs for segment 5 per attached plan.
 Field verify for code compliance.

received 7/13/16

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	6/29/16	7/7/16 7/13/16	/	7/13/16	HT
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

- Attached is:
- Set of Plans
 - Set of Structural Calculations
 - Soil Report
 - Title 24 Energy Calculations
 - Set of ES Reports
 - Plan Check Correction List

School Fees Payment or Exemption Letter Received, Date: _____
 HOA Approval Received **N/A**
 Discretionary Application #(s), if applicable _____



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (If applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 22200 W. Orangewood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal

Segment 5

Calcs

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] Payment: Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-1588</u>	Received By:	<u>[Signature]</u>	Date:	<u>5/19/16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

276.22
707.37

Broadstone Laguna Niguel
27742 Forbes Rd
Laguna Niguel, CA 92677

Scope: Roof Truss

Segment 5 ONLY





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-2376

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$458.54
B16-1588 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$458.54
BUILDING			\$421.87
PLAN CHECK			\$36.67
TOTAL FEES PAID BY RECEIPT: R16-2376			\$458.54

Date Paid: Monday, July 18, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 2032





City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 - 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (if applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 - 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 202200 W. Orangewood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal

Segment 5

Calcs

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-1588</u>	Received By:	<u>[Signature]</u>	Date:	<u>5/19/16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:			Reviewed By:	Date:	
OK for issuance:			Reviewed By:	Date:	
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input checked="" type="checkbox"/> Health	<input type="checkbox"/> Grading		

276.28

707.37



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-2297

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$239.55
B16-1588 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$239.55
PLAN CHECK			\$239.55
TOTAL FEES PAID BY RECEIPT:R16-2297			\$239.55

Date Paid: Tuesday, July 12, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 1941



Broadstone Laguna Niguel
27742 Forbes Rd
Laguna Niguel, CA 92677

Scope: Roof Truss

Segment 5 ONLY



THE CITY OF LAGUNA NIGUEL
APPROVED

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS ON THE PLANS WITHOUT WRITTEN PERMISSION FROM THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF LAGUNA NIGUEL.

THE STAMPING OF THESE PLANS & SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VIOLATION OF ANY PROVISION OF ANY CITY ORDINANCE, MANUFACTURES SPECIFICATIONS OR STATE LAW.

BY *[Signature]* BUILDING OFFICIAL DATE *7/18/16*

01 FIRST LEVEL
SCALE: 1" = 32'-0"

B16-1588



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-1740

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 9/19/2016

DESCRIPTION OF WORK:

Truss calcs for Alliance Segment 6 & 7

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2016
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R3 Residential One and Two Family

TOTAL VALUATION: \$26,000.00

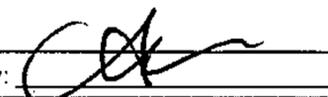
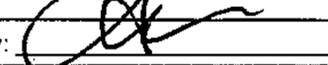
USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$276.22	\$394.60	\$28.21	\$699.03
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$699.03
			TOTAL FEES PAID	\$699.03

Comments:

Planning Approval: 
Building Permit Issued By: 

Date: 9/19/16
Date: 9/19/16

Issued Receipt#: R16-

3147

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

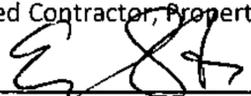
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate authorization form

Signature  Date 9/19/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 9/19/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2016

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Driveway Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underround			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underround			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underround			414. P/S Gas Pipe Underround Test		
14. Gas Line Underround & Test			416. P/S Backwash Lines, P Trap, Underround		
16. Verify Setbacks			418. P/S Final Backwash Receptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre GROUT Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre GROUT Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Top Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCA SPRINKLER SYSTEMS -		
59. OCA Fire Sprinkler - Rough			932. FINAL - OCA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-3147

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$689.75
B16-1740 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$689.75
BUILDING			\$422.81
PLAN CHECK			\$266.94
TOTAL FEES PAID BY RECEIPT:R16-3147			\$689.75

Date Paid: Monday, September 19, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 2238





Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1740
 Project Address: 27742 FORBES RD
 Valuation: 26000
 Project Description: Truss calcs for Alliance Segment 6 & 7

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	8/19/16	8/26/16	0	8/23/16	H.T.
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: _____
 Final Approval By: _____ Date: _____

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received N/A
 ___ Discretionary Application #(s), if applicable _____



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 - 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (if applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 - 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 212200 W. Orangewood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment 6 & 7

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-1740</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/19/16</u>
Planning Division					
HOA or Property Manager Approval Required: _____					
HOA or Property Manager Approval Letter Provided: _____					
OK for Plan Check: _____					
OK for issuance: _____					
Building Division					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-2379

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$9.28
B16-1740 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$9.28
PLAN CHECK			\$9.28
TOTAL FEES PAID BY RECEIPT:R16-2379			\$9.28

Date Paid: Monday, July 18, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 2032



Broadstone Laguna Niguel
27742 Forbes Rd
Laguna Niguel, CA 92677

Scope: Roof Truss

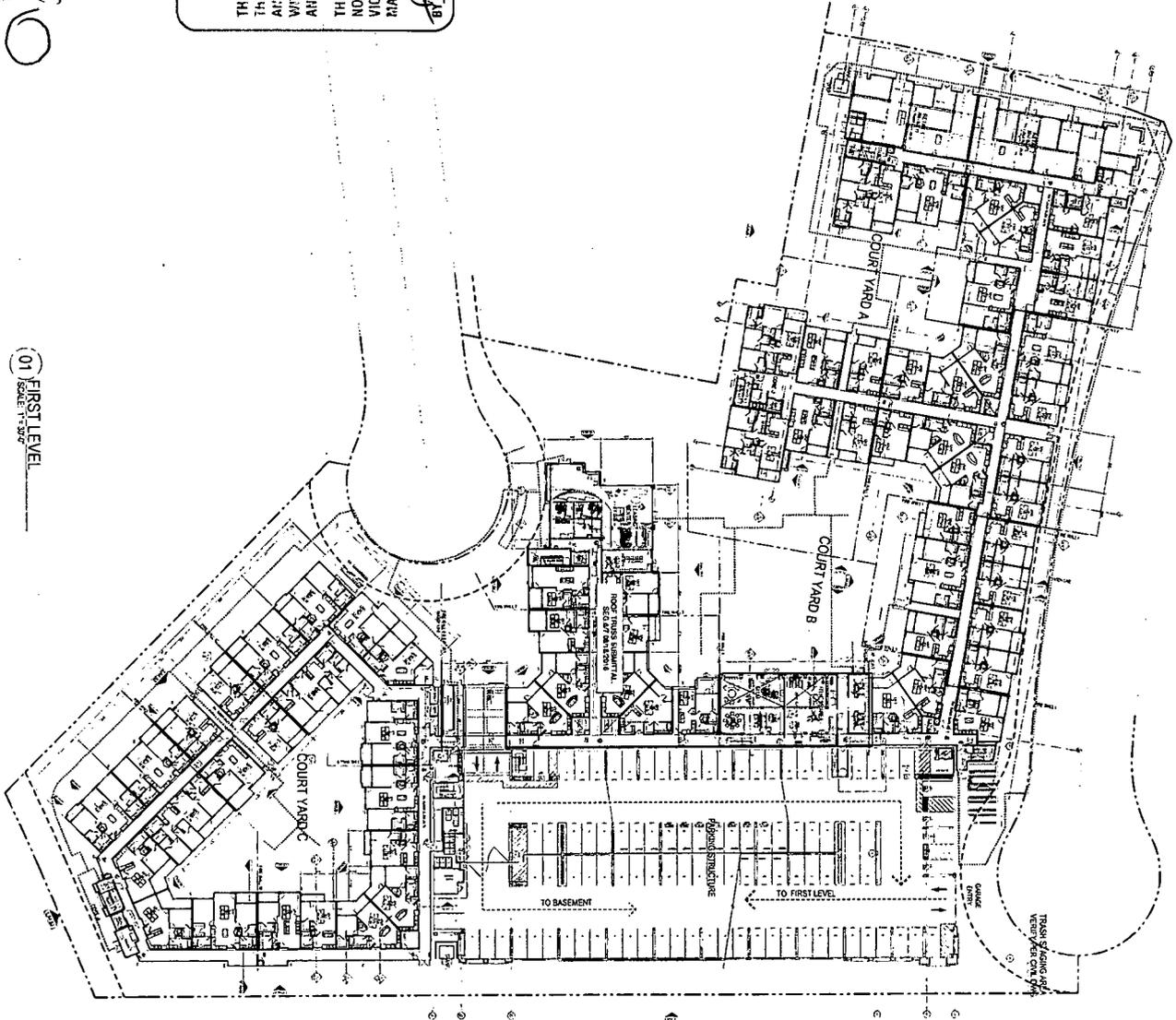
Segment 6/7 ONLY

THE CITY OF LAGUNA NIGUEL
APPROVED

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR ALTERATIONS ON THE PLANS WITHOUT THE WRITTEN APPROVAL OF THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF LAGUNA NIGUEL.

THE STAMPING OF THESE PLANS & SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VIOLATION OF ANY PROVISION OF ANY CITY ORDINANCE, MANUFACTURES SPECIFICATIONS OR STATE LAW.

[Signature]
BUILDING OFFICIAL
DATE 6/18/16



01 FIRST LEVEL
SCALE: 1/8" = 1'-0"

B16-1740



Transmittal

TO:	Alliance Residential	DATE:	8/17/16
ADDRESS:	Alliance Jobsite Office 26022 Cape Dr. Suite A Laguna Niguel, CA 92677	ATTENTION:	Eric Spector 240-508-2791
FROM:	Kris Nicolaisen	EMAIL:	Kris.Nicolaisen@vcastructural.com
SUBJECT:	Broadstone Laguna Niguel Laguna Niguel, CA	VCA JOB NO:	C1135

We are sending you the following items:

COPIES	DATE	DESCRIPTION
3		Segment 6 & 7 - Roof Truss Shop Drawings and Calculations.

CONFIDENTIALITY NOTICE: This transmittal, and any documents, files or previous transmittals attached, may contain confidential information that is legally privileged. If you are not the intended recipient, or a person responsible for delivering it to the intended recipient, you are hereby notified that any disclosure, copying, distribution or use of any of the information contained in or attached to this message is STRICTLY PROHIBITED. If you have received this transmittal in error, please immediately notify us by reply e-mail at admin@vcastructural.com or telephone at (714) 978-9780 and destroy the original transmittal and its attachments without reading them or saving them to disk. Thank you. Z:\2013\C1135 - Broadstone Laguna Niguel\Engineering\Transmittals\Transmittal 03 - Seg. 6 & 7 - Truss SHops to Eric Spector.doc



**Building Materials and
Construction Services**

TRUSS CALCULATION PACKAGE

45491 Golf Center Parkway, Indio, CA 92203
Telephone: (760) 347-3332
Fax: (760) 347-0202

To: VCA
Attn: Kris Nicolaisen
From: Ignacio Vargas
Date: 8/12/16

Number of books for *your review*: 1 (Electronic)
Number of books for *submittal*: 3
Number of books for *your records*:

REGARDING JOB: **GATEWAY VILLAGE (Phase #6 & 7)**

 "WETSEALS" will be sent upon your approval of this package.

 X "WETSEALS" included in this package.

Please call with any questions or concerns. Thank you.
If there is a problem with this transmission, call (760) 347-3332.



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AND PASSED AT LEAST EVERY 180 DAYS

Inspection requests must be entered online at www.CityofLagunaNiguel.org/etrakit or called in at (949) 362-4381. Inspection requests must be made by 4:00 p.m. the business day prior to the inspection date.

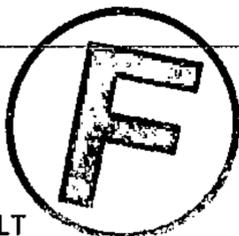
CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org
PERMIT #:

B16-1928

APN: 63603410

TRACT: 6081

Lot/PARCEL: 1



SUBPERMIT OF: B14-1484

PROJECT ADDRESS: 27742 FORBES RD

ELEC:

ZONING:

LINKED ADDRESSES: 27742 FORBES RD

TYPE: RESIDENTIAL
DESCRIPTION OF WORK:

SUBTYPE: RALT

ISSUED: 3/15/2018

Revision to B14-1484 changing 8 loft level units to include a usable balcony with an added door. (clouded delta "E")

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2019
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2018
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$8,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$146.30	\$189.00	\$29.04	\$364.34
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$365.34
			TOTAL FEES PAID	\$365.34

Comments:

Planning Approval: _____

Date: _____

Issued Receipt#: R16

Building Permit Issued By: _____

Date: _____

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature

Date 3/15/18

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2019

Signature: _____

Date: _____

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2018

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

Handwritten signature: HAZARD

INSPECTION	DATE	INITIALS	INSPECTION	DATE	INITIALS
002-WATER QUALITY			402-P/S POOL/EQUIPMENT LOCATION		
004-TEMP ELEC CRV/POLE			410-P/S APPR TO COVER STEEL		
006-SOIL PIPE UG			412-P/S ELEC COND UG		
008-WATER PIPE UG			414-P/S GAS PIPE UG		
009-SEWER LN HOUSE CONNECT			416-P/S BW LNS AND P-TRAP		
010-ELEC. CONDUIT UG			418-P/S FNL BW RECEPTOR		
014-GAS LINE UG AND TEST			420-P/S FENCE/ACCESS GATES		
016-VERIFY SETBACKS			422-PRE DECK/BONDING		
018-FOOTINGS/STEEL			424-P/S APPR FOR PLASTER		
019-U/FER			428-P/S FNL - HEAT/VENT		
020-FNDTN - SLAB ON GRADE			430-P/S FNL - PLUMBING		
021-POST TENSION			432-P/S FNL - ELECTRICAL		
022-STEEL RNF - RETAINING WALL			434-P/S FNL - POOL COVER		
024-PRE GROUT LIFT 1			436-P/S FNL - SOLAR		
026-PRE GROUT LIFT 2			438-P/S FNL - POOL/SPA**		
029-WALL DRAINAGE			700-LANDSCAPE		
030-FLR PLYWOOD NAILING			750-FNL - LANDSCAPE**		
032-SWR LINE AND HS			901-FNL - C/D VERIFICATION		
034-RF DRAINS/DECK DRAINS			902-FNL - ELEC METER RELEASE		
036-ROUGH PLMB/GAS TEST			903-FNL - SITE INVESTIGATION**		
040-HOT MOP SHOWER			904-FNL - ELECTRICAL		
041-LATHING INTERIOR			905-FNL - PV PANELS		
042-ROUGH ELECTRICAL			906-FNL - SIGN		
044-ROUGH MECHANICAL			908-FNL - MECHANICAL		
046-FIRE DAMPERS			910-FNL - PLUMBING**		
048-ROOF SHEATHING			912-FNL - WATER SERVICE		
050-ROOF FRAMING			914-FNL - GAS TEST		
051-APPROV TO COVER			916-FNL - ACCESSIBILITY REGS		
052-SHEAR WALL INTERIOR			918-FNL - REROOF**		
053-PRELIM SHEAR			920-FNL - PLANNING		
054-SHEAR WALLS EXTERIOR			922-FNL - ENGR/P.W.		
055-PRELIM INSULATION			924-FNL - OC HEALTH		
056-ROUGH FRAME FLASHING			926-FNL - WATER DISTRICT		
059-OCFA FIRE SPRINKLER-ROUGH			927-FNL - SMOKE AND CARBON		
060-T-BAR CEILING			928-FNL - GRADING**		
064-LATHING EXTERIOR			930-FNL - OCFA SPRINKLER		
070-INSULATION			932-SB407 REQUIRED		
072-DRYWALL NAIL/FIRE WALLS			933-ANTI-ENTRAPMENT		
400-P/S PRE SITE			934-FNL - BLDG/SAF**		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R18-1776

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$365.34
B16-1928 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: RALT Description: Revision to B14-1484/16-1255			\$365.34
BUILDING			\$218.04
CBSC FEE			\$1.00
PLAN CHECK			\$146.30
TOTAL FEES PAID BY RECEIPT:R18-1776			\$365.34

Date Paid: Thursday, March 15, 2018

Paid By: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: CT

Pay Method: CHECK 4121





Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1928
Project Address: 27742 FORBES RD
Valuation: 8000
Project Description: Revision to B14-1484 changing 8 loft level units to include a usable balcony with an added door. (clouded delta "E")

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	8/5/16	8/12/16		10/27/16	Jo
2nd Check:					
3rd Check:					
4th Check:					

Plan Check Reviewed By: Jo
Final Approval By: Jo **Date:** 10/27/16

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

School Fees Payment or Exemption Letter Received, Date: _____
 HOA Approval Received **N/A**
 Discretionary Application #(s), if applicable _____



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes **Suite/Unit:** _____

Applicant/Agent: _____ **Tract Lot:** _____

Address: _____ **Phone No.:** (____) ____-_____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Property Owner: Broudstone Laguna Niguel, LLC **Phone No.:** (____) ____-_____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Alliance Residential **Phone No.:** (____) ____-_____

Address: 450 Newport Center Dr. Suite 530

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

State License No.: _____ **Class:** _____ **Expiration:** _____

Workman's Comp. Policy No.: _____ **Expiration:** _____

Insurance Company (If applicable): _____

Architect: Humphrey's Partners **Reg No.:** _____ **Phone No.:** (949) 955 9400

Address: 2350 SE Bristol St. **Email:** _____

City: Newport Beach **State:** CA **Zip:** 92660

Engineer: VCA **Reg. No.:** _____ **Phone No.:** (714) 977 9780

Address: 2200 W. Orangewood Ave. **Email:** _____

City: Orange **State:** CA **Zip:** 92868

Description of Work to be Performed (please be specific): Revision to 8 loft level units to include a usable balcony with an added door. See clouded AE changes on plans. Only applicable sheets submitted.

8/14/14

Valuation: \$ 8,000 **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B11-1928</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/5/14</u>
Planning Division:	YES <input type="checkbox"/> NO <input type="checkbox"/>	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:					
OK for issuance:					
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

\$ 11928 350.91



Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1928
Project Address: 27742 FORBES RD
Valuation: 8000
Project Description: Revision to B14-1484 changing 8 loft level units to include a usable balcony with an added door. (clouded delta "E")

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check:	8/5/16	8/12/16	8-12-16		GH
2nd Check:					
3rd Check:					
4th Check:					

→ See Red Line CORRECTIONS ON PLANS

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes **Suite/Unit:** _____

Applicant/Agent: _____ **Tract Lot:** _____

Address: _____ **Phone No.:** (____) _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Property Owner: Broudstone Laguna Niguel, LLC **Phone No.:** (____) _____

Address: _____

City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Alliance Residential **Phone No.:** (____) _____

Address: 450 Newport Center Dr. Suite 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

State License No.: _____ **Class:** _____ **Expiration:** _____

Workman's Comp. Policy No.: _____ **Expiration:** _____

Insurance Company (if applicable): _____

Architect: Humphrey's Partners **Reg No.:** _____ **Phone No.:** (949) 955 9400

Address: 2350 SE Bristol St. **Email:** _____

City: Newport Beach **State:** CA **Zip:** 92660

Engineer: VCA **Reg. No.:** _____ **Phone No.:** (714) 979-9780

Address: 2200 W. Orangewood Ave. **Email:** _____

City: Orange **State:** CA **Zip:** 92868

Description of Work to be Performed (please be specific): Revision to 8 loft level units to include a usable balcony with an added door. See clouded AE changes on plans. Only applicable sheets submitted.

Valuation: \$ 8,000 **Type of Const:** 314-71484 **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B14-1928</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/5/16</u>
Planning Division:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Submission does not constitute Planning Approval			
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:			Reviewed By:	Date:	
OK for issuance:			Reviewed By:	Date:	
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

\$ 350.51



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes **Suite/Unit:** _____
Applicant/Agent: _____ **Tract Lot:** _____
Address: _____ **Phone No.:** (____) ____-____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Property Owner: Broadstone Laguna Niguel, LLC **Phone No.:** (____) ____-____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Contractor: Alliance Residential **Phone No.:** (____) ____-____
Address: 450 Newport Center Dr. Suite 550
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: _____ **Class:** _____ **Expiration:** _____
Workman's Comp. Policy No.: _____ **Expiration:** _____
Insurance Company (if applicable): _____

Architect: Humphrey's + Partners **Reg No.:** _____ **Phone No.:** (949) 955 9400
Address: 2350 SE Bristol St.
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Engineer: VCA **Reg. No.:** _____ **Phone No.:** (714) 978-9780
Address: 2200 W. Orangewood Ave.
City: Orange **State:** CA **Zip:** 92868 **Email:** _____

Description of Work to be Performed (please be specific): Revision to 8 loft level units to include a usable balcony with an added door. See clouded AE changes on plans. Only applicable sheets submitted.

Valuation: \$ 8,000 **Type of Const:** B14-7484 **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B14-1928</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/5/16</u>
Planning Division:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required: _____					
HOA or Property Manager Approval Letter Provided: _____					
OK for Plan Check: _____			Reviewed By: _____ Date: _____		
OK for issuance: _____			Reviewed By: _____ Date: _____		
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

\$ 350.91

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Permit No: _____

Address: _____

Signs					
Sign	Type (Circle One)	Size (Sq Ft)	Res or Comm (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1928
Project Address: 27742 FORBES RD
Valuation: 8000
Project Description: Revision to B14-1484 changing 8 loft level units to include a usable balcony with an added door. (clouded delta "E")

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	8/5/16	8/12/16			
2nd Check:					
3rd Check:					
4th Check:					

NO CAA per GH

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

- Attached is:
- ___ Set of Plans
 - ___ Set of Structural Calculations
 - ___ Soil Report
 - ___ Title 24 Energy Calculations
 - ___ Set of ES Reports
 - ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-1946

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 12/16/2016

DESCRIPTION OF WORK:

Permit for Steel Stair treads, landing. Deferred submittal to B14-1549

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2017
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$17,000.00

USE TYPE:

USE DESCRIPTION:



SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$211.75	\$302.50	\$28.21	\$542.46
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$543.46
			TOTAL FEES PAID	\$543.46

Comments:

Planning Approval: [Signature]

Building Permit Issued By: [Signature]

Date: 12/16/16

Date: 12/16/16

Issued Receipt#: R16-

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature [Signature]

Date 12/16/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 12/16/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2017

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
72. Drywall Nailing/Firewalls			935. FINAL - WATER QUALITY INSPECTION		
71. Temp Electrical Service or Pole			934. FINAL - BUILDING & SAFETY		
6. Soil Pipe Underground			933. Anti-Entrapment Device		
5. Water Pipe Underground			932. FINAL - OCFR PROJECT FINAL - Name ID#		
4. Sewer Line & House Connect			930. FINAL - OCFR SPRINKLER SYSTEMS - Name ID#		
3. Sewer Line & House Connect			928. FINAL - GRADING		
2. Initial Water Quality Inspection			927. FINAL - SMOKE DETECTOR/CO2		
			926. FINAL - WATER DISTRICT		
			924. FINAL - O.C. HEALTH		
			922. FINAL - ENGINEERING/P.W.		
			920. FINAL - PLANNING		
			918. FINAL - RE-ROOF		
			916. FINAL - ACCESSIBILITY REGULATIONS		
			914. FINAL - GAS TEST		
			912. FINAL - WATER SERVICE		
			910. FINAL - PLUMBING		
			908. FINAL - MECHANICAL		
			906. FINAL - SIGN		
			904. FINAL ELECTRICAL		
			902. FINAL - ELECTRICAL METER RELEASE		
			438. P/S FINAL - POOL/SPA		
			436. P/S FINAL - SOLAR SYSTEM		
			434. P/S FINAL - POOL COVER		
			432. P/S FINAL - ELECTRICAL		
			430. P/S FINAL - PLUMBING		
			428. P/S FINAL - HEATER & VENT		
			424. P/S Approved for Plastering		
			422. P/S Pre Deck		
			420. P/S Fencing & Access Gates		
			418. P/S Final Backwash Receptor		
			416. P/S Backwash Lines, P Trap, Underground		
			414. P/S Gas Pipe Underground Test		
			412. P/S Electrical Conduit Undermd.		
			410. P/S Approval to Cover - Gunite		
			402. P/S Pool & Equipment Loc.		
			400. P/S Pre Inspection for Fences		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd **Suite/Unit:** _____
Applicant/Agent: Eric Spector **Phone No.:** (____) ____-____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Property Owner: Broadstone Laguna Niguel, LLC **Phone No.:** (____) ____-____
Address: 2415 E Camelback Rd 600
City: Phoenix **State:** AZ **Zip:** 85016 **Email:** _____

Contractor: Alliance Residential **Phone No.:** 949 706-8460
Address: 450 Newport Center Dr. Suite 550
City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____
State License No.: 897318 **Class:** _____ **Expiration:** 5/31/2017
Workman's Comp. Policy No.: TRJUB4245B187 **Expiration:** 9/15/2016
Insurance Company (If applicable): Travelers Property Casualty Company of America

Architect: _____ **Reg No.:** _____ **Phone No.:** (____) ____-____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Engineer: _____ **Reg. No.:** _____ **Phone No.:** (____) ____-____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific): Steel stair treads, landing
deferred submittal to B14-1549

Valuation: \$10,000 ~~\$67,000~~ **Type of Const:** _____ **Occupancy Type:** _____ **Occupant Load:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC/Disc

Activity Number:	<u>B16-1946</u>	Received By:	<u>[Signature]</u>	Date:	<u>8/31/16</u>
Planning Division:		<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:				Reviewed By:	Date:
OK for issuance:				Reviewed By:	Date:
Building Division:					
<input checked="" type="checkbox"/> Gary	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

3 sets sub
 2 calcs
 site plan

✓ P/C 540.21

[Handwritten signature]



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R16-3449

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$3.25
B16-1946 Address: 27742 FORBES RD -Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Deferred submittal Steel stair treads			\$3.25
BUILDING			\$3.25
TOTAL FEES PAID BY RECEIPT:R16-3449			\$3.25

Date Paid: Wednesday, October 12, 2016

Paid By: ALLIANCE RESIDENTIAL BUILDERS II G P INC/ERIC SPECTOR

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CHECK 2331





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-3150

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$540.21
B16-1946 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Deferred submittal Steel stair treads			\$540.21
BUILDING			\$327.46
CBSC FEE			\$1.00
PLAN CHECK			\$211.75
TOTAL FEES PAID BY RECEIPT:R16-3150			\$540.21

Date Paid: Friday, September 02, 2016

Paid By: ALLIANCE RESIDENTIAL BUILDERS II G P INC/ERIC SPECTOR

Payee Address: 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660

Cashier: AK

Pay Method: CHECK 2141





Cash Register Receipt

City of Laguna Niguel

Receipt Number
R16-2975

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$540.21
B16-1946 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Deferred submittal Steel stair treads			
			\$540.21
PLAN CHECK			
			\$540.21
TOTAL FEES PAID BY RECEIPT:R16-2975			\$540.21

*6714
Unpaid
Orig Val
Includes
Third Party*

Date Paid: Friday, September 02, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 2141





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-2975

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$540.21
B16-1946 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Deferred submittal Steel stair treads			
			\$540.21
PLAN CHECK			\$540.21
TOTAL FEES PAID BY RECEIPT:R16-2975			\$540.21

Date Paid: Friday, September 02, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 2141





Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-1946
Project Address: 27742 FORBES RD
Valuation: 67000
Project Description: Permit for Steel Stair treads, landing. Deferred submittal to B14-1549

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	9/2/16	9/12/16			
2nd Check:					
3rd Check:					
4th Check:					

NO EXTERIOR MODIFICATIONS

Plan Check Reviewed By: do
 Final Approval By: do Date: 10/12/16

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

School Fees Payment or Exemption Letter Received, Date: _____
 HOA Approval Received N/A
 Discretionary Application #(s), if applicable _____

Steel Stairs in Parking Structure
Ref. B14-1549

STRUCTURAL CALCULATIONS

Stairs & Railing Design

08-12-2016

For:
Eli Industries Inc.
8950 Fullbright Ave.
Chatsworth, CA 91311

Job:
Gate Way Village
27742 Forbes Road
Laguna Niguel, CA. 92677

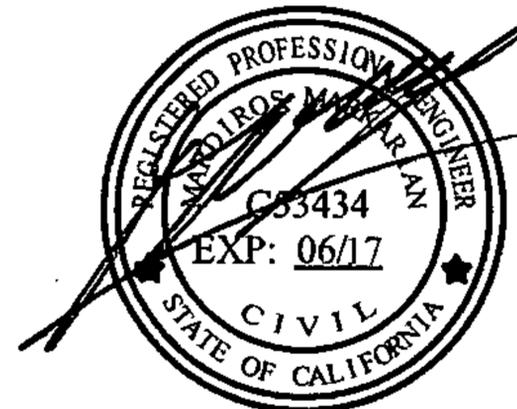
By:
Mardiros Markarian PE.

Reviewed
Rejected
Make Corrections Noted
Revise and Resubmit

Checking is for general conformance with the design concept and the information contained in the contract documents. This shop drawing is not a contract document and, therefore, does not constitute an authorization to deviate from the terms and conditions of the contract.

SENECA STRUCTURAL ENGINEERING, INC.

By: VMS Date: 8/29/16



J

L

12'-0"

8T. @ 11" = 7'-4"

4'-7"

10
SD-1 TYP.

12

MC12x10.6 ST1

MC12x10.6 J1

PL 6x6 TO BE ON THE FACE OF SLAB AND FLASH ON TOP

4'-3"

MC12x10.6 ST1

MC12x10.6 BM1

MC12x10.6

9'-0"

6"

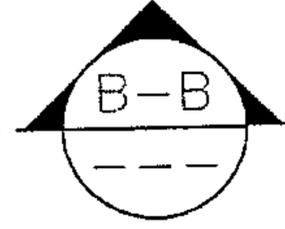
MC12x10.6 ST1

4'-3"

DN.

MC12x10.6 ST1

MC12x10.6



8T. @ 11" = 7'-4"

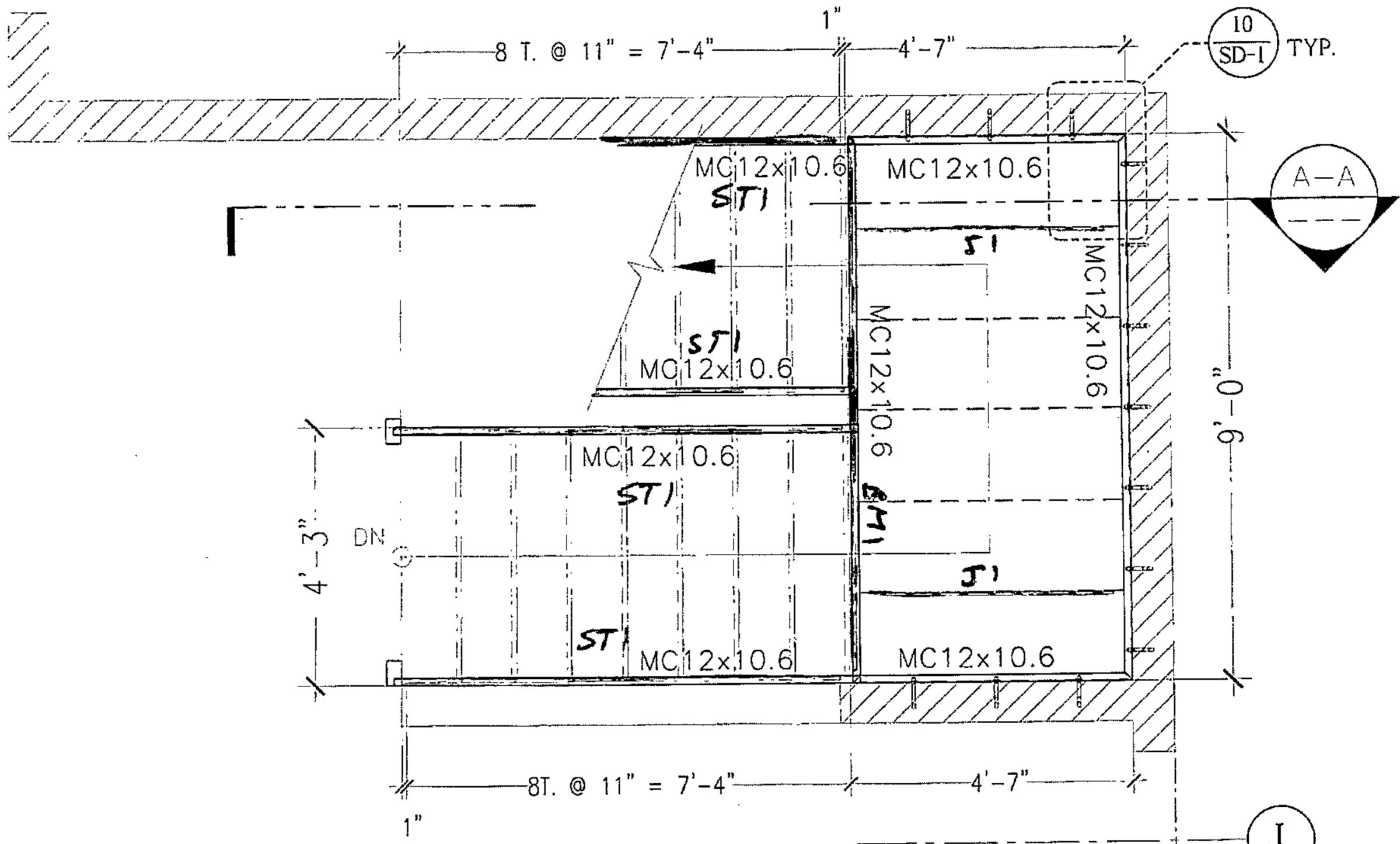
4'-7"

12'-0"

PL 6x6 TO BE ON THE FACE OF SLAB AND FLASH ON TOP

ST1 = 7'-4"
BM1 = 9'-00"
J1 = 4'-7"

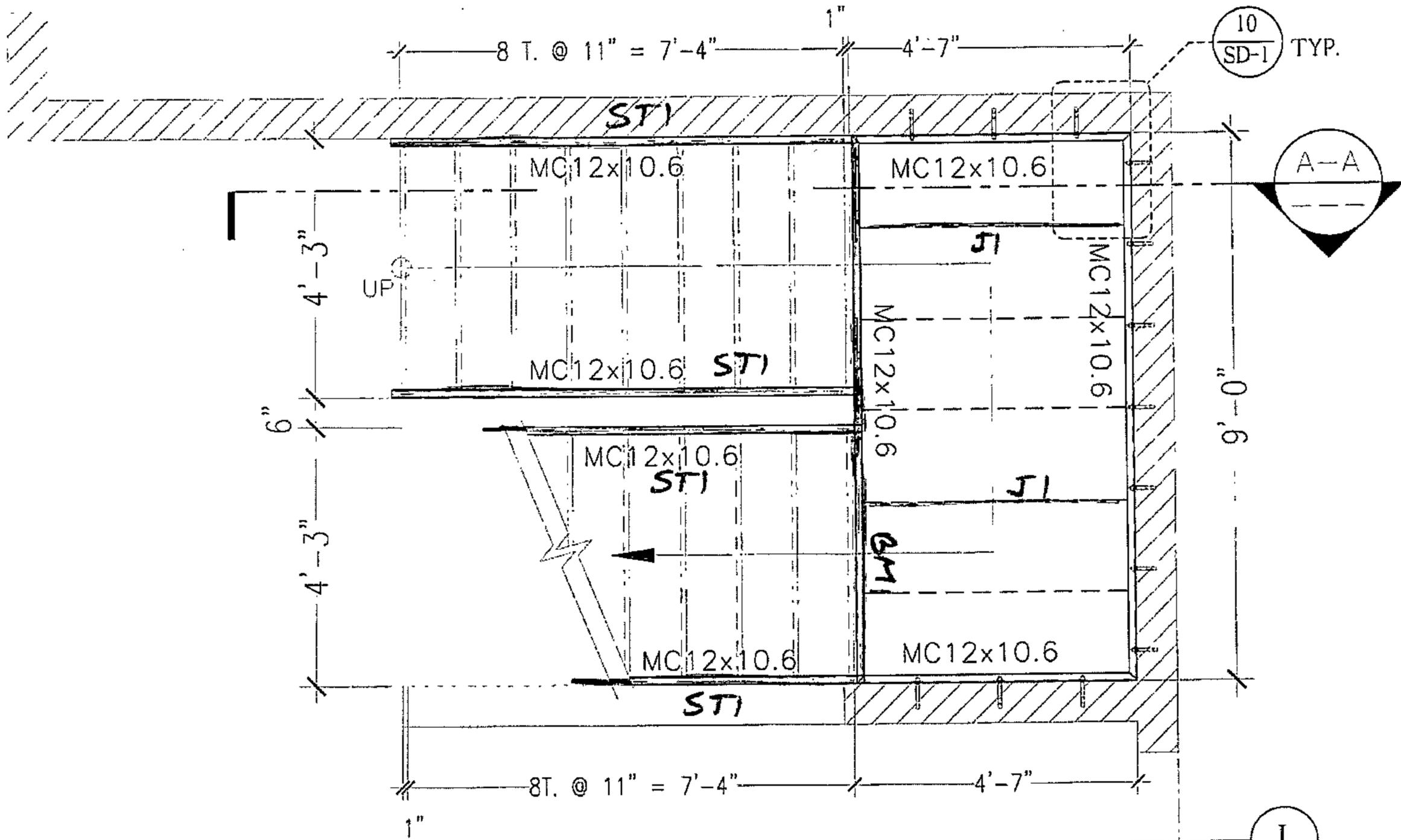
2 STAIR @ GRID 12&L - FIRST TIER



5 STAIR @ CORE G2 - FIRST TIER

14

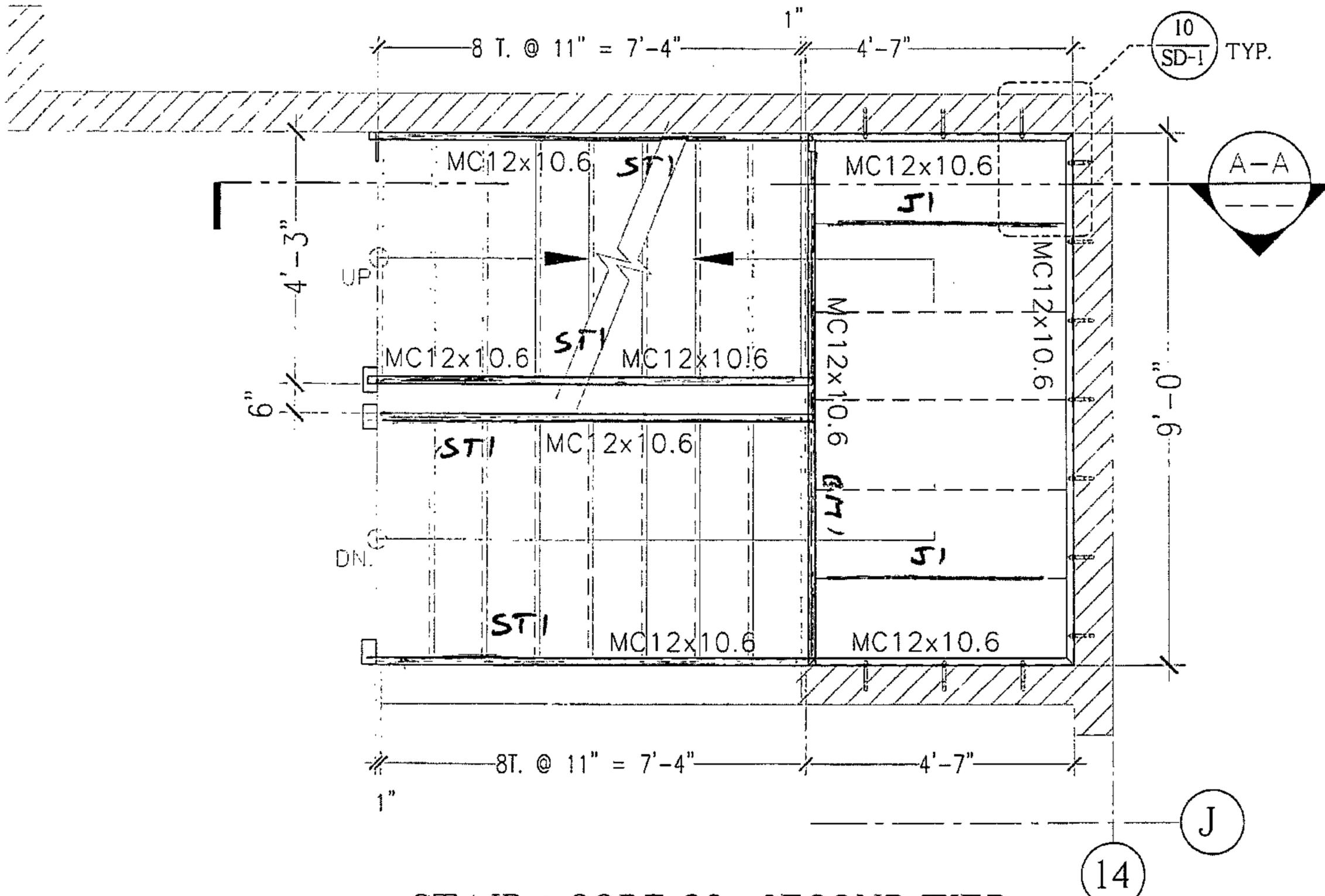
J



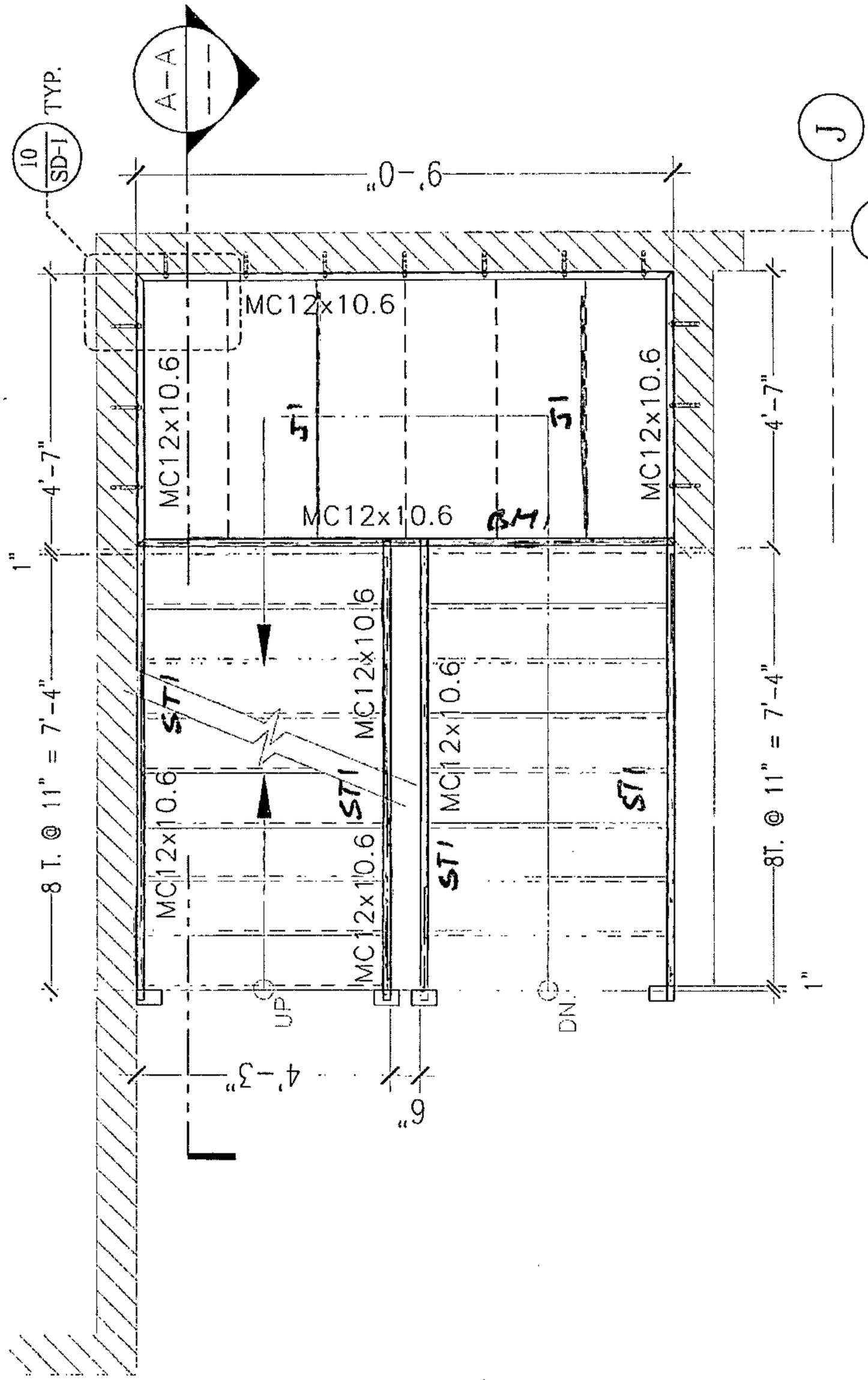
1 STAIR @ CORE G2 - FIRST TIER

14

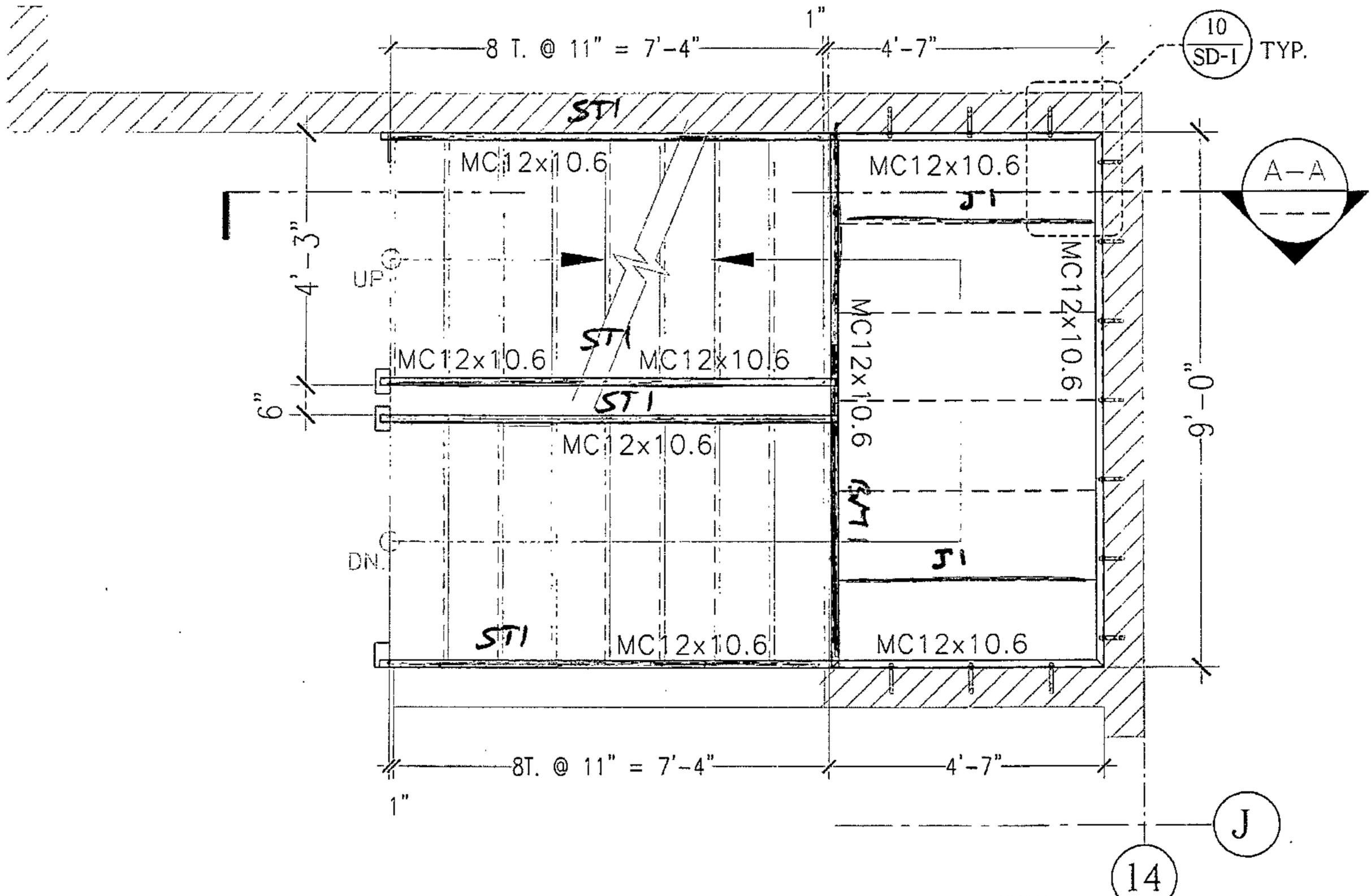
J



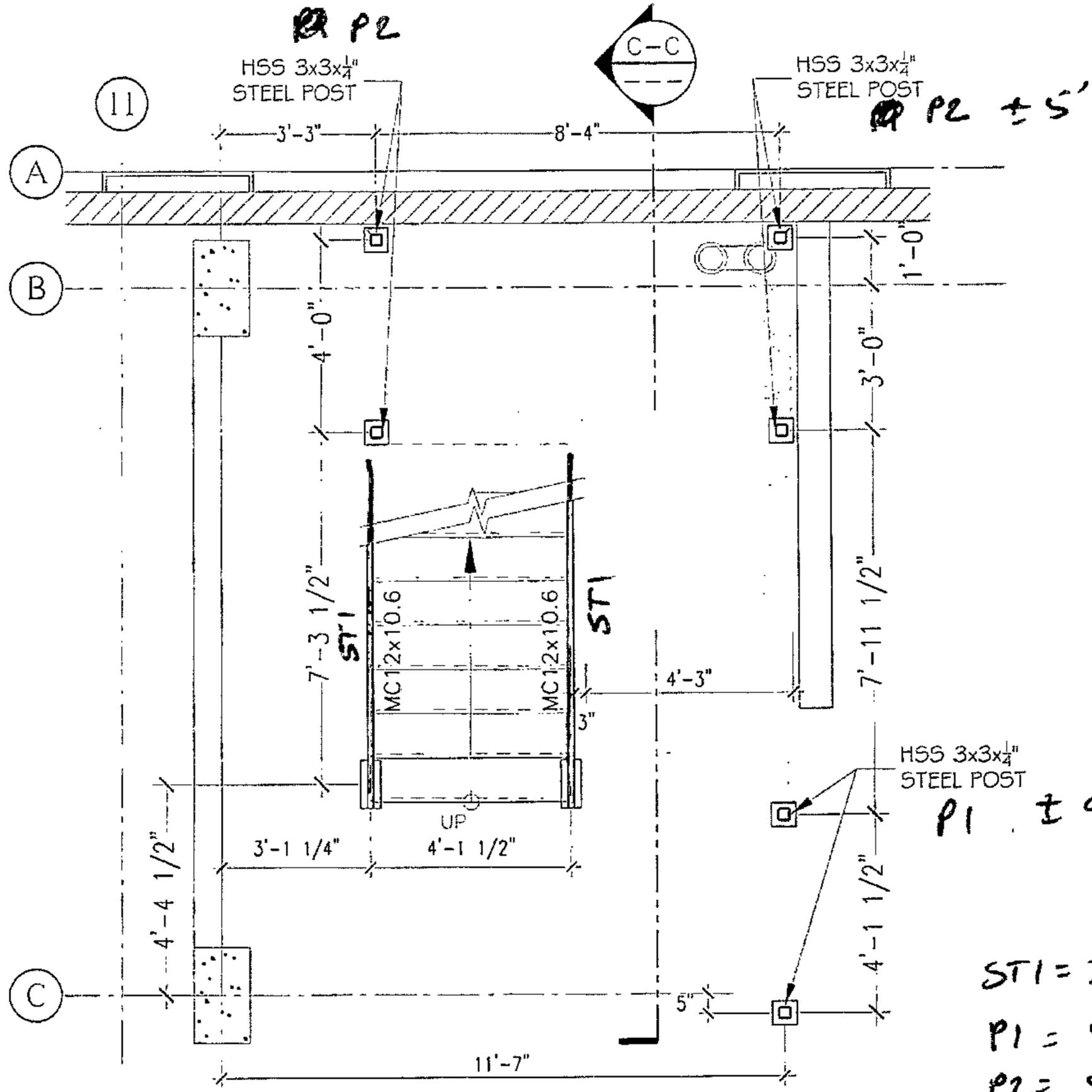
2 STAIR @ CORE G2 - SECOND TIER



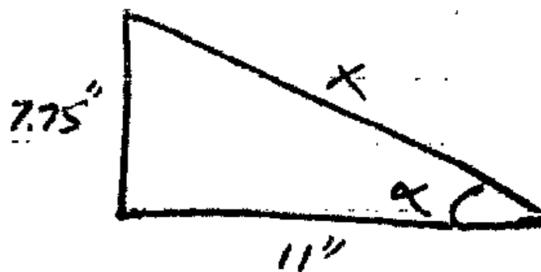
3 STAIR @ CORE G2 - THIRD TIER



④ STAIR @ CORE G2 - FOURTH TIER



① STAIR @ GRID 11&A - FIFTH TIER



$$\cos \alpha = 0.8342$$

$$\alpha = 32^\circ$$

$$\Rightarrow x = \frac{7'-4''}{0.8342} = 8'-9''$$

LONGEST STRANGLER = 7'-4''
 $\Rightarrow 8'-9''$

$$ST1 = 7'-4''$$

$$BM1 = 9'-0''$$

$$SI = 4'-7''$$

$$ST1 \quad L = 8'-9'' \approx 9'$$

$$P1 = 9'-0''$$

$$P2 = 5'-0''$$

$$TA = 4'-5\frac{1}{2}'' = 2.5'$$

BM1 LOADING FROM SI TA = $5\frac{1}{2} = 2.5$
 + ST1 IN A PLACES.

SKD COMPUTED PREVIOUS USE MC12x10.6

$$ST1 \quad L = 9'$$

$$DL = 50 \text{ PSF}$$

$$LL = 100 \text{ PSF}$$

$$TA = 4.5\frac{1}{2} = 2.25$$

USE MC12x10.6

REACTION OF ST1

$$DL = 0.492$$

$$LL = 0.9$$



JOB: _____
 SHEET NO: _____ OF: _____
 CALCULATED BY: _____ DATE: _____
 CHECKED BY: _____ DATE: _____
 SCALE: _____

BMI L = 9'-00"

DL = 50 PSF
 LL = 100 PSF
 TA = 5/2

LANDING

POINT LOAD FROM ST1
 @ 0.5, 4.5, 5', 8.5

USE MC 12x10.6

SEE PRINTOUT.

POST DESIGN

L = 9'-0"

HSS 3x3x1/4

LOADING FROM ST1 + BMI + SI

D = .992 D = 1.594

L = .9 L = 2.925

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

File: C:\Calc\Environ\Data\FreeSteel\Steel.scd
 ENERCALC, INC. 1983-2014, Suite 614 123, York PA 17403

Steel Beam

Description: BM

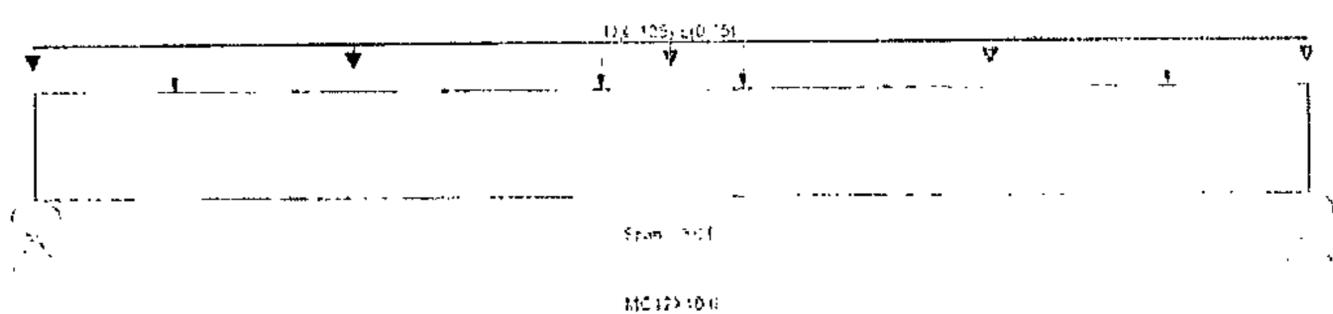
CODE REFERENCES

2006 IBC & ASCE 7-05
 2006 IBC & ASCE 7-05

Material Properties

Analysis Method: Allowable Strength Design
 Beam Bracing: Beam is Fully Braced against lateral-torsional buckling
 Bending Axis: Major Axis Bending
 Load Combination: 2006 IBC & ASCE 7-05

Fy Steel Yield: 50.0 ksi
 E Modulus: 29,000.0 ksi



Applied Loads

Service loads entered. Load Factors will be applied for calculations

Beam self weight calculated and added to loads
 Uniform Load: D = 0.050, L = 0.10 ksf, Tributary Width = 2.50 ft
 Point Load: D = 0.4920, L = 0.90 k @ 5.0 ft
 Point Load: D = 0.4920, L = 0.90 k @ 4.0 ft
 Point Load: D = 0.4920, L = 0.90 k @ 1.0 ft
 Point Load: D = 0.4920, L = 0.90 k @ 8.0 ft

DESIGN SUMMARY

Maximum Bending Stress Ratio = 0.375 : 1
 Section used for this span: MC12X10.6
 Ma Applied: 10.864 k-ft
 Mn / Omega Allowable: 28.942 k-ft
 Load Combination: +D+L+H
 Location of maximum on span: 4.500 ft
 Span # where maximum occurs: Span # 1

Maximum Shear Stress Ratio = 0.410 : 1
 Section used for this span: MC12X10.6
 Va Applied: 4.510 k
 Vn / Omega Allowable: 40.958 k
 Load Combination: +D+L+H
 Location of maximum on span: 0.000 ft
 Span # where maximum occurs: Span # 1

Maximum Deflection
 Max Downward L+Lr+S Deflection: 0.062 in Ratio = 1.730
 Max Upward L+Lr+S Deflection: 0.000 in Ratio = 0 < 360
 Max Downward Total Deflection: 0.096 in Ratio = 1.126
 Max Upward Total Deflection: 0.000 in Ratio = 0 < 180

Maximum Forces & Stresses for Load Combinations

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax -	Ms - Max	Max	Max/Omega	Ob	Rm	Va Max	Vn	Vn/Omega
D Only														
Dsgn, L = 9.00 ft		1	0.132	0.039	3.83									
+D+L+H														
Dsgn, L = 9.00 ft		1	0.375	0.110	10.86	10.86	48.33	28.94	1.00	1.00	4.52	68.40	40.95	
+D+Lr+H														
Dsgn, L = 9.00 ft		1	0.132	0.039	3.83	3.83	48.33	28.94	1.00	1.00	1.59	68.40	40.95	
+D+S+H														
Dsgn, L = 9.00 ft		1	0.132	0.039	3.83	3.83	48.33	28.94	1.00	1.00	1.59	68.40	40.95	
+D+0.750Lr+0.750L+H														
Dsgn, L = 9.00 ft		1	0.315	0.092	9.11	9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.95	
+D+0.750L+0.750S+H														
Dsgn, L = 9.00 ft		1	0.315	0.092	9.11	9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.95	
+D+W+H														
Dsgn, L = 9.00 ft		1	0.132	0.039	3.83	3.83	48.33	28.94	1.00	1.00	1.59	68.40	40.95	
+D+0.70E+H														
Dsgn, L = 9.00 ft		1	0.132	0.039	3.83	3.83	48.33	28.94	1.00	1.00	1.59	68.40	40.95	
+D+0.750Lr+0.750L+0.750W+H														
Dsgn, L = 9.00 ft		1	0.315	0.092	9.11	9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.95	
+D+0.750L+0.750S+0.750W+H														
Dsgn, L = 9.00 ft		1	0.315	0.092	9.11	9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.95	

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Beam

File: G:\Calc\Enercalc Data Files\steel.sta 608
 ENERCALC, INC. 1983-2014, Build 6.14.1.23, Ver 6.14.23

UNASSIGNED

Description: SK11

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax	Ma - Max	Mnx	Mx/Omega CB	Rat	Va Max	Vnx	Vx/Omega	
+D+0.750Lr+0.750L+0.5250E+H	Dsgn. L = 9.00 ft	1	0.315	0.092	9.11		9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.96
+D+0.750L+0.750S+0.5250E+H	Dsgn. L = 9.00 ft	1	0.315	0.092	9.11		9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.96
+0.60D+W+H	Dsgn. L = 9.00 ft	1	0.079	0.023	2.30		2.30	48.33	28.94	1.00	1.00	0.96	68.40	40.96
+0.60D+0.70E+H	Dsgn. L = 9.00 ft	1	0.079	0.023	2.30		2.30	48.33	28.94	1.00	1.00	0.96	68.40	40.96

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max. Defl	Location in Span	Load Combination	Max. Defl	Location in Span
D+L	1	0.0959	4.515		0.0000	0.000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall Maximum	4.519	4.519
D Only	1.594	1.594
L Only	2.925	2.925
D+L	4.519	4.519

Support rotation, Far left s #1

values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Beam

EMERCAD INC 1983-2014, Build E 1A 123, Ver 05 11, 21

Description: J1

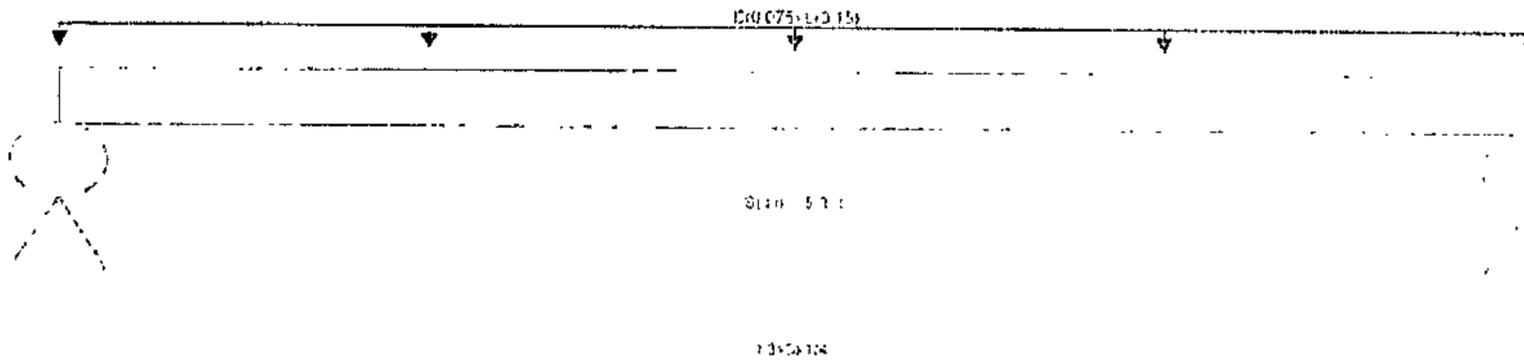
CODE REFERENCES

ASCE 7-10
 ASCE 7-10

Material Properties

Analysis Method: Allowable Strength Design
 Beam Bracing: Beam is Fully Braced against lateral-torsional buckling
 Bending Axis: Major Axis Bending
 Load Combination: ASCE 7-10

Fy: Steel Yield: 50.0 ksi
 E: Modulus: 29,000.0 ksi



Applied Loads

Service loads entered. Load Factors will be applied for calculations.

Beam self weight calculated and added to loads
 Uniform Load: D = 0.050, L = 0.10 ksf, Tributary Width = 1.50 ft

DESIGN SUMMARY

Maximum Bending Stress Ratio =	0.338 : 1	Maximum Shear Stress Ratio =	0.043
Section used for this span	L3x3x1/4	Section used for this span	L3x3x1/4
Ma: Applied	0.718 k-ft	Va: Applied	0.5748 k
Mn / Omega: Allowable	2.127 k-ft	Vn/Omega: Allowable	13.473 k
Load Combination	+D+L+H	Load Combination	+D+L+H
Location of maximum on span	2.500 ft	Location of maximum on span	0.000 ft
Span # where maximum occurs	Span # 1	Span # where maximum occurs	Span # 1
Maximum Deflection			
Max Downward L+Lr+S Deflection	0.060 in	Ratio =	1.006
Max Upward L+Lr+S Deflection	0.000 in	Ratio =	0 < 360
Max Downward Total Deflection	0.091 in	Ratio =	0.57
Max Upward Total Deflection	0.000 in	Ratio =	0 < 180

Maximum Forces & Stresses for Load Combinations

Load Combination	Segment Length	Span #	Max Stress Ratios			Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax -	Ma - Max	Mnx	Mnx/Omega	Cb	Rm	Va Max	Vnx	Vnx/Omega	
+D+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25										
+D+L+H	Dsgn. L = 5.00 ft	1	0.338	0.043	0.72	0.25	3.55	2.13	1.00	1.00	0.20	22.50	13.47		
+D+Lr+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	22.50	13.47		
+D+S+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	22.50	13.47		
+D+0.750Lr+0.750L+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.48	22.50	13.47		
+D+0.750L+0.750S+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.48	22.50	13.47		
+D+0.60W+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	22.50	13.47		
+D+0.70E+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	22.50	13.47		
+D+0.750Lr+0.750L+0.450W+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.48	22.50	13.47		
+D+0.750L+0.750S+0.450W+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.48	22.50	13.47		
+D+0.750L+0.750S+0.5750E+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.48	22.50	13.47		
+0.60D+0.60W+0.60H	Dsgn. L = 5.00 ft	1	0.070	0.009	0.15	0.15	3.55	2.13	1.00	1.00	0.12	22.50	13.47		

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID

Steel Beam

File = 2-Cable_Economic Data Files\steel\stans.c03
 EMERSON, INC. 1983-2014, Build 6.14.1.23, Ver 6.14.1.23

UNASSIGNED | **UNLICENSED DESIGNER** | **UNLICENSED DESIGNER**

Description: J1

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax -	Ma - Max	Minx	Mhd/Omega Cb	Rm	Va Max	Vmx	Vmx/Omega	
+0.60D+0.70E+0.60H Dsgn L = 5.00 ft		1	0.070	0.009	0.15		0.15	3.55	2.13	1.00	1.00	0.12	22.50	13.47

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max. Defl	Location in Span	Load Combination	Max. Defl	Location in Span
D+L	1	0.0914	2.525		0.0000	0.000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall Maximum	0.575	0.575
D Only	0.200	0.200
L Only	0.375	0.375
D+L	0.575	0.575

Support rotation, Far left s #1
 values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Beam

File = C:\Calc\Enercalc Data Files\steel.stars.ec6
 ENERCALC, INC. 1983-2014, Build 6.14.1.23 Ver.6.14.1.23

License: UNLICENSED DEMO US\$1 DEMO EXPIRES IN 2014

Description: J1

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax -	Ma - Max	Mlx	Mlx/Omega Cb	Rm	Va Max	Vnx	Vnx/Omega	
+0.60D+0.70E+0.60H	Dsgn. L = 5.00 ft	1	0.070	0.009	0.15		0.15	3.55	2.13	1.00	1.00	0.12	22.50	13.47

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max. "v" Defl	Location in Span	Load Combination	Max. "v" Defl	Location in Span
D+L	1	0.0914	2.525		0.0000	0.000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall MAXimum	0.575	0.575
D Only	0.200	0.200
L Only	0.375	0.375
D+L	0.575	0.575

Support rotation: Far left is #1

Values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Column

File: C:\Users\... \Data\Steel\Steel.mdb
 ENERCALC, INC. 1983-2014, Build 6.14.120, Ver 16.11.20

UNLICENSED DEMO VERSION

Description: P1

Code References

AISC 360-10, Allowable Stress Design and Plastic Design, 6th Edition, 2010
 ASCE 7-10, Minimum Design Loads and Associated Criteria for Buildings and Other Structures, 2010

General Information

Steel Section Name :	HSS3x3x1/4	Overall Column Height:	10.0 ft
Analysis Method :	Allowable Strength	Top & Bottom Fixity:	Top & Bottom Pinned
Steel Stress Grade		Brace condition for deflection (buckling) along column:	
Fy Steel Yield	36.0 ksi	X-X (width) axis:	
E Elastic Bending Modulus	29,000.0 ksi	Unbraced Length for X-X Axis buckling:	10 ft, K = 1.0
Load Combination :	ASCE 7-10	Y-Y (depth) axis:	Fully braced against buckling along Y-Y Axis

Applied Loads

Column self weight included : 87.780 lbs * Dead Load Factor

AXIAL LOADS ...

ST1: Axial Load at 10.0 ft, D = 0.4920, L = 0.90 k
 BM1: Axial Load at 10.0 ft, D = 1.590, L = 2.925 k
 J1: Axial Load at 10.0 ft, D = 0.2080, L = 0.3750 k

DESIGN SUMMARY

Bending & Shear Check Results

PASS Max. Axial+Bending Stress Ratio = 0.2314 1
 Load Combination +D+L+H
 Location of max above base 0.0 ft
 At maximum location values are ...
 Pa Axial 6.578 k
 Pn / Omega : Allowable 28.429 k
 Ma-x Applied 0.0 k-ft
 Mn-x / Omega : Allowable 4.455 k-ft
 Ma-y Applied 0.0 k-ft
 Mn-y / Omega : Allowable 4.455 k-ft

PASS Maximum Shear Stress Ratio = 0.0 1
 Load Combination
 Location of max above base 0.0 ft
 At maximum location values are ...
 Va Applied 0.0 k
 Vn / Omega : Allowable 0.0 k

Maximum SERVICE Load Reactions ...

Top along X-X 0.0 k
 Bottom along X-X 0.0 k
 Top along Y-Y 0.0 k
 Bottom along Y-Y 0.0 k

Maximum SERVICE Load Deflections ...

Along Y-Y 0.0 in at 0.0 ft above base
 for load combination :
 Along X-X 0.0 in at 0.0 ft above base
 for load combination :

Load Combination Results

Load Combination	Maximum Axial + Bending Stress Ratios			Maximum Shear Ratios		
	Stress Ratio	Status	Location	Stress Ratio	Status	Location
+D+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+L+H	0.231	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+Lr+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+S+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750Lr+0.750L+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750L+0.750S+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.60W+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.70E+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750Lr+0.750L+0.450W+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750L+0.750S+0.450W+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750L+0.750S+0.5250E+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+0.60D+0.60W+0.60H	0.050	PASS	0.00 ft	0.000	PASS	0.00 ft
+0.60D+0.70E+0.60H	0.050	PASS	0.00 ft	0.000	PASS	0.00 ft

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

File: G:\Calc\Environ\Data\Fir\06\06_06
 ENERCALC, INC. 1983-2014, Build 14.123, Ver 6.11.24

Steel Column

UNLICENSED DEMO USER DEMO EXPIRES IN 30 DAYS

Description: P1

Maximum Reactions - Unfactored

Note: Only non-zero reactions are listed

Load Combination	X-X Axis Reaction		Y-Y Axis Reaction		Axial Reaction
	@ Base	@ Top	@ Base	@ Top	
D Only		k		k	2.373 k
L Only		k		k	4.203 k
D+L		k		k	3.573 k

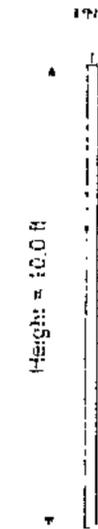
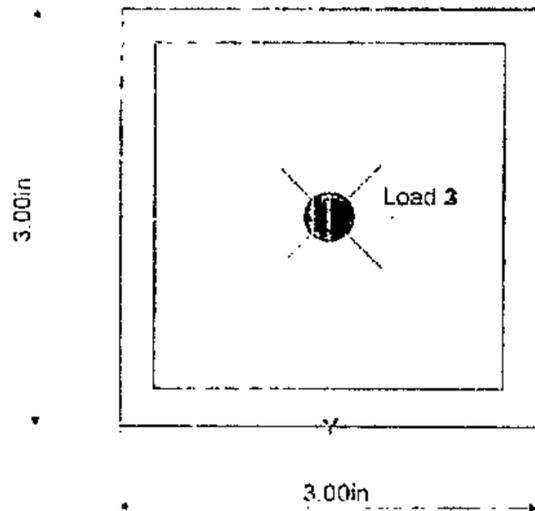
Maximum Deflections for Load Combinations - Unfactored Loads

Load Combination	Max. X-X Deflection		Max. Y-Y Deflection	
	Distance		Distance	
D Only	0.000 in	0.000 ft	0.000 in	0.000 ft
L Only	0.000 in	0.000 ft	0.000 in	0.000 ft
D+L	0.000 in	0.000 ft	0.000 in	0.000 ft

Steel Section Properties :

HSS3x3x1/4

Depth	=	3.000 in	I _{xx}	=	3.02 in ⁴	J	=	5.283 in ⁴
			S _{xx}	=	2.01 in ³			
Width	=	3.000 in	R _{xx}	=	1.110 in			
Wall Thick	=	0.250 in	Z _x	=	2.480 in ³			
Area	=	2.440 in ²	I _{yy}	=	3.020 in ⁴	C	=	3.523 in ³
Weight	=	8.778 plf	S _{yy}	=	2.010 in ³			
			R _{yy}	=	1.110 in			
Ycg	=	0.000 in						



Loads are total entered value. Arrows do not reflect absolute direction.

CONNECTION CALC'S

COLUMN TO STR-BEAM RR

LOADING. $DL = 1.25$ K
 $LL = 2.08$ K

USE 4 #70 ALBERTA 005 \Rightarrow WELD = 20 KSI @ 0.66
 = 46 KSI
 FOR $\frac{1}{8}$ " WELD.

DIRECT WELD COLUMN TO BEAM ALLOWABLE = 21 K

NEED TO RESIST $1.25 + 2.08 = 3.33$ K

\Rightarrow SHEAR CAPACITY $\frac{21}{3.33} = 6.3"$ OF WELD NEEDED

\Rightarrow USE 3.5" EACH SIDE OK

CONNECTION CALCS

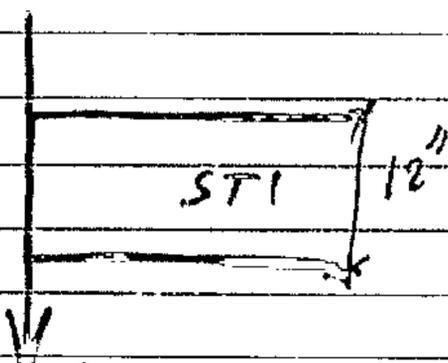
STRENGTHS TO LANDING (WELDING)

USE E70 ELECTRODES

\Rightarrow WELD = 70 KSI \times 0.66 = 46 KSI

FOR 1/4" WELD. RECALCULATION

MAX LOADING ON ST1 = DL = 814 lbs
 LL = 1,500 lbs.



MC 12x10.6
 THEOR. 0.19
 0.31

SEE COMPUTER PRINTOUT.

$P \left\{ \begin{array}{l} 814 \text{ lbs} \\ 1,500 \text{ lbs} \end{array} \right.$

PLATE THICKNESS = 3/8"
 WELD 1/4"

$\frac{2,314 \text{ lbs}}{\rightarrow 2.5 \text{ K}}$

SEE COMPUTER PRINTOUT 1/4" ALL AROUND IS MORE THAN SATISFACTORY

ONLY NEED 5" OF WELDING

\Rightarrow
 5" OF 1/4" WELD.

Mark Markarian, P.E.

PROJECT :
CLIENT :
JOB NO. :

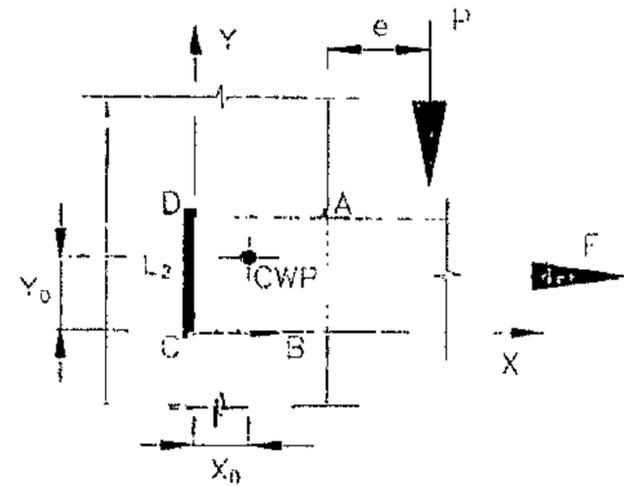
DATE :

PAGE :
DESIGN BY :
REVIEW BY :

Weld Capacity of Eccentric Connection Based on AISC 360-10

INPUT DATA & DESIGN SUMMARY

THICKER PART JOINTED $t = 0.375$ in $\leftarrow 1/4"$
 WELD SIZE $w = 0.25$ in $\leftarrow 1/4"$
 GRAVITY LOAD, ASD $P = 2.5$ kips
 ECCENTRICITY TO EDGE $e = 4$ in
 LATERAL LOAD, ASD $F = 1$ kips
 WELD LENGTH, DA $L_2 = 5$ in $\leftarrow 5"$
 WELD LENGTH, DC $L_3 = 0$ in
 WELD LENGTH, CB



THE CONNECTION DESIGN IS ADEQUATE.

ANALYSIS

MIN WELD SIZE (AISC 360-10 Tab. J2.4) $w_{min} = 0.19$ in
 MAX WELD SIZE (AISC 360-10 J2.2b) $w_{max} = 0.31$ in
 EFFECTIVE THROAT THICKNESS $t_e = 0.707 w = 0.18$ in
 CENTROID OF WELD GROUP $X_0 = \frac{\sum X_i A_i}{\sum A_i} = 0.00$ in
 $Y_0 = \frac{\sum Y_i A_i}{\sum A_i} = 2.5$ in
 CENTROIDAL MOMENT OF INERTIA $I_x = \frac{\sum (b h^3 / 12 + A d^2)}{2} = 2$ in⁴
 $I_y = \frac{\sum (b h^3 / 12 + A d^2)}{2} = 0$ in⁴
 TOTAL ECCENTRICITY $e_{total, P} = e + L_1 - X_0 = 4.0$ in
 $e_{total, F} = 0.5 L_2 - Y_0 = 0.0$ in
 ALLOWABLE STRESS (AISC 360-10 J2.4) $F_v = 0.6 F_{EXX} / \Omega = 21.0$ ksi \leftarrow

DETERMINE SHEAR STRESS @ POINTS A, B, C, D

Point A : $f_x = F / A_w + \frac{\sum M y_A}{(I_x + I_y)} = 14.7$ ksi $f_y = -P / A_w - \frac{\sum M x_A}{(I_x + I_y)} = -2.8$ ksi
 Point B : $f_x = F / A_w - \frac{\sum M y_B}{(I_x + I_y)} = -12.4$ ksi $f_y = -P / A_w - \frac{\sum M x_B}{(I_x + I_y)} = -2.8$ ksi
 Point C : $f_x = F / A_w - \frac{\sum M y_C}{(I_x + I_y)} = -12.4$ ksi $f_y = -P / A_w + \frac{\sum M x_C}{(I_x + I_y)} = -2.8$ ksi
 Point D : $f_x = F / A_w + \frac{\sum M y_D}{(I_x + I_y)} = 14.7$ ksi $f_y = -P / A_w + \frac{\sum M x_D}{(I_x + I_y)} = -2.8$ ksi

CHECK SHEAR CAPACITY @ POINTS A, B, C, D

Point A : $f_v = (f_x^2 + f_y^2)^{0.5} = 15.0$ ksi $< F_v = 21.0$ ksi [Satisfactory]
 Point B : $f_v = (f_x^2 + f_y^2)^{0.5} = 12.7$ ksi $< F_v = 21.0$ ksi [Satisfactory]
 Point C : $f_v = (f_x^2 + f_y^2)^{0.5} = 12.7$ ksi $< F_v = 21.0$ ksi [Satisfactory]
 Point D : $f_v = (f_x^2 + f_y^2)^{0.5} = 15.0$ ksi $< F_v = 21.0$ ksi [Satisfactory]

CONNECTION BOLTING.
 STRINGER TO LANDING.
 USE $5/8$ BOLTS MIN A307 TOTAL OF 2

LOADING ON CONNECTION 2.5 K

FROM ST1 WITH PLATE TO WOOD BEAM.

SEE COMPUTER PRINTOUT OK

LOADING TO THE WALLS (MASONRY).

TOTAL WEIGHT OF STAIRS + LANDING.

$$4 \times (\text{ST1 BEAM}) + (4 \times 8.5) \begin{pmatrix} 50 \text{ PSF} \\ 100 \text{ PSF} \end{pmatrix}$$

814
1500

$$\Rightarrow 4 \times 814 + 34 \times 50 = 4,956$$

$$4 \times 1500 + 34 \times 100 = 9,400$$

$$\Rightarrow \text{TOTAL} = 14,360 \text{ lbs.}$$

SEE COMPUTER PRINTOUT NEED 6 - $3/4$ HELIX

TO HOLD PLATFORM UP

AVAILABLE BOLTS. $3/4$ @ 14" C.

$4' + 4' + 8' = 16'$ PERIMETER \Rightarrow AVAILABLE 14 BOLTS.

Mark Markarian, P.E.

PROJECT :
CLIENT :
JOB NO. :

DATE :

PAGE :
DESIGN BY :
REVIEW BY :

Bolt Connection Design Based on AISC Manual 14th Edition (AISC 360-10)

INPUT DATA & DESIGN SUMMARY

STEEL YIELD STRESS $F_y = 50$ ksi

SIDE PLATE THICKNESS $t_s = 0.25$ in by 1 One Side
THINNEST

BASE PLATE THICKNESS $t_b = 0.25$ in

TOTAL AXIAL LOAD, ASD $T = 2.5$ kips. (Single Shear)
 $e = 4$ in. (to bolts center)

BOLT DIAMETER $\phi = 0.625$ in (5/8 in)

BOLT MATERIAL (A307, A325, A490) ASTM = A307

HOLE TYPE (STD, NSL, OVS, SSL, LSL) => STD

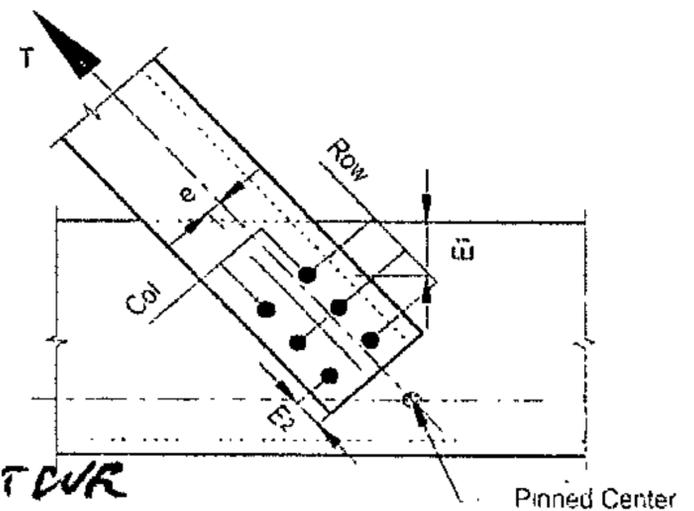
- STD = Standard round holes ($d + 1/16$ ")
- NSL = Long or short-slotted hole normal to load direction
- OVS = Oversize round holes
- SSL = Short-slotted holes
- LSL = Long-slotted holes

CONNECTION TYPE (SC, N, X) => N

- SC = Slip critical connection
- N = Bearing-type connection with threads included in the shear plane
- X = Bearing-type connection with threads excluded from the shear plane

BOLTS NUMBER 2 Rows 1 Column, (Total 2 Bolts)

MINIMUM BOLT SPACING $s = 3$ in



CONSERVATIVE

THE DESIGN IS ADEQUATE.

ANALYSIS

CHECK DIMENSION LIMITATIONS (AISC 360-10 J3)

Bolt spacing required = 3.00 in. (Tab J3.3) < 3 in [Satisfactory]

Edge spacing required = 1.50 in. (Tab J3.4) < $Min(E_1, E_2)$ [Satisfactory]

CHECK BOLT CAPACITY (AISC 360-10 J3)

Maximum single bolt shear $v = (T/2) \times 2.00 = 2.5$ kips / bolt < [Satisfactory]

Allowable shear capacity $R_n / \Omega_v = 3.7$ kips / bolt, (AISC 14th Table 7)

CHECK NET TENSION FRACTURE OF SIDE PLATE (AISC 360-10 J4.1)

$F_{up} = 58$ ksi (for plate, AISC Manual 14th Edition, page 2-39)

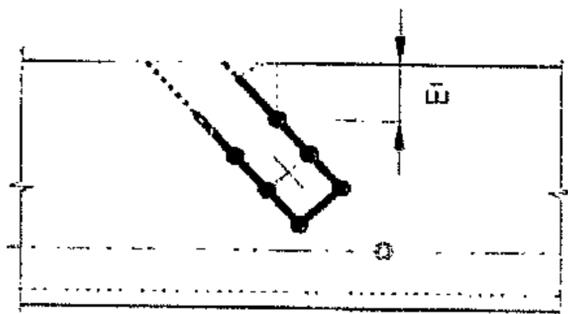
$(F_{up} / \Omega) [A_b - Col(\phi + 1/8) t_s] = 141$ kips > T [Satisfactory]

CHECK BASE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 29$ kips > $2v = T \times 2.00 = 5$ kips [Satisfactory]

Where $A_v = 1.6875$ in², (Total Shear Area)

$A_t = 0.00$ in², (End Tension Area)



CHECK SIDE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 29$ kips > $2v = T \times 2.00 = 5$ kips [Satisfactory]

Where $A_v = 1.69$ in², (Total Shear Area)

$A_t = 0.00$ in², (End Tension Area)

Mark Markarian, P.E.

PROJECT :
CLIENT :
JOB NO. :

DATE :

PAGE :
DESIGN BY :
REVIEW BY :

Bolt Connection Design Based on AISC Manual 14th Edition (AISC 360-10)

INPUT DATA & DESIGN SUMMARY

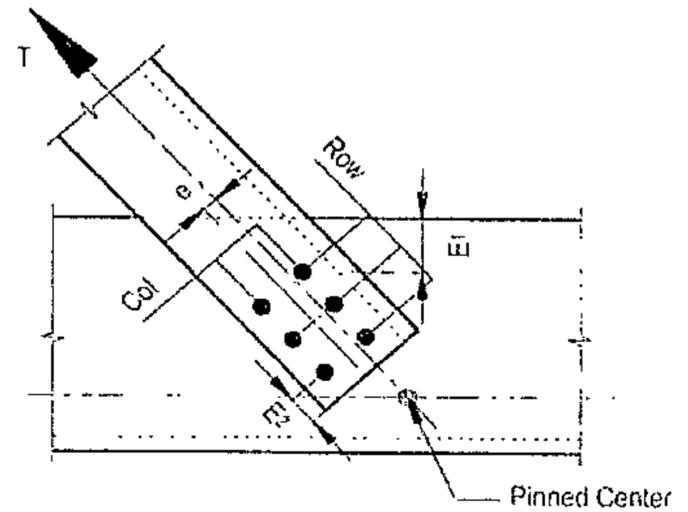
STEEL YIELD STRESS $F_y = 50$ ksi
 SIDE PLATE THICKNESS $t_s = 0.25$ in by 1 One Side
 $A_b = 5$ in², (Total Section Area)
 $E_2 = 1.5$ in
 BASE PLATE THICKNESS $t_b = 0.25$ in
 $E_1 = 1.5$ in
 TOTAL AXIAL LOAD, ASD $T = 14.36$ kips. (Single Shear)
 $e = 4$ in. (to bolts center)

BOLT DIAMETER $\phi = 0.75$ in (3/4 in)
 BOLT MATERIAL (A307, A325, A490) ASTM = A307
 HOLE TYPE (STD, NSL, OVS, SSL, LSL) => STD

STD = Standard round holes (d + 1/16")
 NSL = Long or short-slotted hole normal to load direction
 OVS = Oversize round holes
 SSL = Short-slotted holes
 LSL = Long-slotted holes

CONNECTION TYPE (SC, N, X) => N
 SC = Slip critical connection
 N = Bearing-type connection with threads included in the shear plane
 X = Bearing-type connection with threads excluded from the shear plane

BOLTS NUMBER 6 Rows 1 Column. (Total 6 Bolts)
 MINIMUM BOLT SPACING $s = 3$ in



THE DESIGN IS ADEQUATE.

ANALYSIS

CHECK DIMENSION LIMITATIONS (AISC 360-10 J3)

Bolt spacing required = 3.00 in. (Tab J3.3) < 3 in [Satisfactory]
 Edge spacing required = 1.50 in. (Tab J3.4) < Min(E_1, E_2) [Satisfactory]

CHECK BOLT CAPACITY (AISC 360-10 J3)

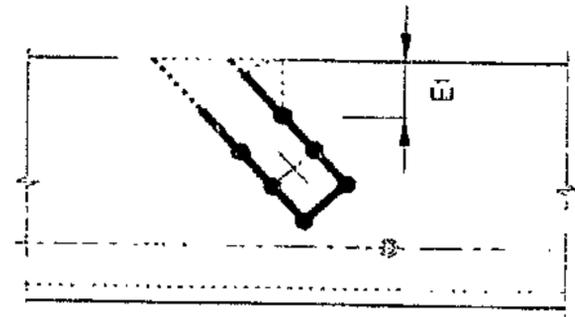
Maximum single bolt shear $v = (T/6) \times 2.00 = 4.8$ kips / bolt
 Allowable shear capacity $R_n / \Omega_v = 5.3$ kips / bolt, (AISC 14th Table 7)

CHECK NET TENSION FRACTURE OF SIDE PLATE (AISC 360-10 J4.1)

$F_{up} = 58$ ksi (for plate, AISC Manual 14th Edition, page. 2-39)
 $(F_{up} / \Omega) [A_b - Col(\phi + 1/8) t_s] = 140$ kips > T [Satisfactory]

CHECK BASE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 102$ kips
 > $6v = T \times 2.00 = 29$ kips [Satisfactory]
 Where $A_v = 5.84375$ in², (Total Shear Area)
 $A_t = 0.00$ in², (End Tension Area)



CHECK SIDE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 102$ kips
 > $6v = T \times 2.00 = 29$ kips [Satisfactory]
 Where $A_v = 5.84$ in², (Total Shear Area)
 $A_t = 0.00$ in², (End Tension Area)

RTS

BOLTS, THREADED PARTS AND RIVETS Shear Allowable load in kips

R BOLTS

Type of Material ^a	Headed or Unheaded
C	H
C, QT	H
A, QT	H, U
A, QT	H, U
C, QT	H, U
A, QT	H
A, QT, NT	U
C	U
HSLA	U
HSLA, ACR	U

Characteristics comparable to

Specifications can be obtained from material suppliers as connectors or for use as bolts. The material supplier should be consulted.

A563. These bolts may be welded or heated. Specifications may be obtained from material suppliers. These bolts may be quenched and tempered.

TABLE I-D. SHEAR

ASTM Designation	Connection Type ^a	Rivet Type ^b	F _v ksi	Load Type ^c	Nominal Diameter d, in.								
					Area (Based on Nominal Diameter d, in.) ^d								
					3/8	1/2	5/8	3/4	7/8	1	1 1/8	1 1/4	
Bolts	A307	STD, NSL	10.0	S	3.1	3.5	4.0	4.7	5.3	6.2	7.0	8.0	9.0
			10.0	D	6.1	7.0	8.0	9.4	10.6	12.3	14.1	16.0	18.0
	A325	SC ^e Class A	17.0	S	5.22	7.51	10.2	13.4	16.9	20.7	25.2	30.0	35.3
			17.0	D	10.4	15.0	20.4	26.7	33.8	41.7	50.5	60.1	
		OVS, SSL	15.0	S	4.60	6.63	8.92	11.8	14.8	18.4	22.3	26.5	30.9
			15.0	D	9.20	13.3	18.0	23.6	29.5	36.0	44.6	53.0	
		N	21.0	S	3.63	5.30	7.22	9.42	11.9	14.7	17.8	21.2	24.9
			21.0	D	7.26	10.6	14.4	18.8	23.7	29.4	35.6	42.4	
	X	30.0	S	9.2	13.3	18.0	23.6	29.5	36.0	44.6	53.0	60.1	
		30.0	D	18.4	26.5	36.1	47.1	59.0	73.5	89.1	106.0		
	A490	SC ^e Class A	21.0	S	6.44	9.20	12.6	16.5	20.7	25.9	31.2	37.1	43.4
			21.0	D	12.9	18.0	25.3	33.0	41.3	51.5	62.4	74.2	
OVS, SSL		18.0	S	5.52	7.95	10.8	14.1	17.8	22.1	26.7	31.9	37.6	
		18.0	D	11.0	15.9	21.6	28.2	35.5	44.1	53.5	63.6		
N		28.0	S	4.60	6.63	9.02	11.9	14.8	18.1	22.3	26.5	30.9	
		28.0	D	9.20	13.3	18.0	23.6	29.5	36.0	44.6	53.0		
X	40.0	S	9.6	13.8	18.8	24.8	31.4	39.1	47.6	57.0	67.3		
	40.0	D	19.2	27.6	37.6	49.6	62.8	79.1	95.2	114.0			
Rivets	A502-1	17.5	S	5.4	7.7	10.5	13.7	17.4	21.5	26.0	30.9	36.3	
		17.5	D	10.7	15.5	21.0	27.5	34.8	42.9	52.0	61.8		
A502-2, A502-3	22.0	S	6.7	9.7	13.2	17.3	21.9	27.0	32.7	38.9	45.6		
	22.0	D	13.5	19.4	26.5	34.6	43.8	54.0	65.3	77.7			
Threaded Parts	A36 (F _v = 58 ksi)	9.9	S	3.0	4.4	6.0	7.9	9.9	12.1	14.7	17.5	20.3	
		9.9	D	6.1	8.7	11.9	15.8	19.7	24.1	29.4	35.0		
	X	13.8	S	3.9	5.7	7.7	10.1	12.9	15.7	19.0	22.8	26.6	
		13.8	D	7.9	11.3	15.4	20.1	25.8	31.4	38.0	45.2		
	A572, Gr. 50 (F _v = 65 ksi)	11.1	S	3.4	4.9	6.7	8.7	11.0	13.8	16.9	20.3	23.9	
		11.1	D	6.8	9.8	13.3	17.4	22.1	27.2	33.0	39.2		
X	14.3	S	4.4	6.3	8.6	11.2	14.2	17.5	21.2	25.3	29.3		
	14.3	D	8.8	12.6	17.2	22.5	28.4	35.1	42.5	50.5			
A588 (F _v = 70 ksi)	11.9	S	3.7	5.3	7.2	9.3	11.8	14.6	17.7	21.0	24.6		
	11.9	D	7.3	10.5	14.3	18.7	23.7	29.1	35.3	42.1			
X	15.3	S	4.7	6.8	9.3	12.1	15.3	18.9	22.9	27.2	31.8		
	15.3	D	9.4	13.6	18.5	24.2	30.5	37.3	45.7	54.4			

^aSC = Slip critical connection.
^bN: Bearing-type connection with threads included in shear plane
^cX: Bearing-type connection with threads excluded from shear plane.
^dSTD: Standard round holes (d = 1/16 in.) OVS: Oversize round holes
 LSL: Long-slotted holes normal to load direction SSL: Short-slotted holes
 NSL: Long or short-slotted holes normal to load direction (required in bearing-type connections).
^eS: Single shear D: Double shear.
 For threaded parts of materials not listed, use F_v = 0.17F_u when threads are included in a shear plane, and F_v = 0.22F_u when threads are excluded from a shear plane.
 To fully pretension bolts 1/2-in. dia. and greater, special impact wrenches may be required.
 When bearing-type connections used to splice tension members have a fastener pattern or hole length measured parallel to the line of force, exceeds 50 in., tabulated values shall be reduced by 20%. See AISI ASD Commentary Sect. 3.3.4.

Tension Loads for Carbon-Steel Wedge-All® (and Tie-Wire) Anchors
in Normal-Weight Concrete

Size In. (mm)	Embed. Depth In. (mm)	Critical Edge Dist. In. (mm)	Critical Spacing In. (mm)	Tension Load						Ultimate Torque In.-lbs. (N-m)		
				f _c ≥ 2000 psi (13.8 MPa) Concrete			f _c ≥ 3000 psi (20.7 MPa) Concrete				f _c ≥ 4000 psi (27.6 MPa) Concrete	
				Ultimate lbs. (kN)	Std. Dev. lbs. (kN)	Allowable lbs. (kN)	Allowable lbs. (kN)	Ultimate lbs. (kN)	Std. Dev. lbs. (kN)		Allowable lbs. (kN)	
1/4 (6.4)	1 1/4 (29)	2 1/4 (64)	1 1/4 (41)	680 (3.0)	167 (0.7)	170 (0.8)	205 (0.9)	960 (4.3)	230 (1.0)	210 (1.1)	80 (10.8)	
	2 1/4 (57)	2 1/4 (54)	3 1/4 (79)	1,920 (8.5)	286 (1.3)	480 (2.1)	530 (2.4)	2,320 (10.3)	105 (0.5)	580 (2.6)		
3/8 (9.5)	1 3/4 (44)	3 3/4 (95)	2 3/4 (69)	1,560 (6.9)	261 (1.2)	390 (1.7)	555 (2.5)	2,880 (12.8)	530 (2.4)	720 (3.2)	90 (120.7)	
	2 3/4 (67)	3 3/4 (95)	3 3/4 (92)	3,360 (14.9)	464 (2.1)	840 (3.7)	1,180 (4.9)	5,440 (24.2)	550 (2.5)	1,350 (6.0)		
	3 3/4 (86)	3 3/4 (95)	4 3/4 (121)	3,600 (15.4)	695 (2.6)	920 (4.1)	1,140 (5.1)	5,440 (24.2)	318 (1.4)	1,350 (6.0)		
1/2 (12.7)	2 1/2 (57)	5 (127)	3 1/2 (79)	3,280 (14.6)	871 (3.9)	820 (3.6)	1,070 (4.8)	5,280 (23.5)	849 (3.8)	1,320 (5.9)	90 (51.3)	
	3 1/2 (86)	5 (127)	4 1/2 (121)	6,840 (26.9)	654 (2.9)	1,510 (6.7)	1,935 (8.8)	9,840 (43.8)	1,380 (5.8)	2,460 (10.9)		
	4 1/2 (114)	5 (127)	6 1/2 (159)	6,960 (31.0)	839 (3.7)	1,740 (7.7)	2,350 (10.5)	11,840 (52.7)	2,462 (11.0)	2,960 (13.2)		
5/8 (15.9)	2 3/4 (70)	6 1/4 (159)	3 3/4 (98)	4,520 (20.1)	120 (0.5)	1,130 (5.0)	1,040 (7.3)	8,600 (38.9)	729 (3.2)	1,150 (9.6)	90 (122.0)	
	4 1/2 (114)	6 1/4 (159)	6 1/4 (159)	8,200 (36.5)	612 (2.7)	2,050 (9.1)	2,990 (13.3)	15,720 (69.9)	1,224 (5.4)	1,930 (17.5)		
	5 1/2 (140)	6 1/4 (159)	7 1/4 (197)	8,200 (36.5)	639 (2.8)	2,050 (9.1)	2,990 (13.3)	15,720 (69.9)	1,118 (5.0)	1,930 (17.5)		
3/4 (19.1)	3 3/4 (86)	7 1/2 (191)	4 3/4 (121)	6,760 (30.1)	1,452 (6.5)	1,690 (7.5)	2,090 (9.3)	9,960 (44.3)	1,324 (5.9)	1,490 (11.1)	150 (203.4)	
	5 (127)	7 1/2 (191)	7 (178)	10,040 (44.7)	544 (2.4)	2,510 (11.2)	3,225 (14.3)	15,760 (70.1)	1,550 (6.9)	1,940 (17.5)		
	6 1/4 (171)	7 1/2 (191)	9 1/2 (241)	10,040 (44.7)	1,566 (7.1)	2,510 (11.2)	3,380 (15.0)	17,000 (75.5)	1,668 (7.4)	1,250 (10.9)		
7/8 (22.2)	3 3/4 (98)	8 3/4 (222)	5 3/8 (137)	7,480 (33.3)	821 (3.7)	1,870 (8.3)	2,275 (10.1)	10,720 (47.7)	1,253 (5.6)	2,680 (11.9)	200 (271.2)	
	7 3/4 (200)	8 3/4 (222)	11 (279)	17,040 (75.8)	1,566 (7.0)	4,200 (18.9)	4,670 (20.8)	29,320 (130.4)	2,401 (10.7)	5,080 (22.6)		
1 (25.4)	4 1/2 (114)	10 (254)	6 1/2 (159)	15,400 (62.5)	2,440 (10.9)	3,550 (17.1)	3,885 (17.3)	15,580 (69.7)	1,871 (8.3)	3,920 (17.4)	300 (406.7)	
	9 (229)	10 (254)	12 1/2 (321)	20,760 (92.3)	3,116 (13.9)	5,190 (23.1)	6,355 (28.3)	30,080 (133.8)	1,611 (7.2)	7,520 (33.5)		
1 1/4 (31.8)	5 1/2 (143)	12 1/2 (318)	7 3/4 (200)	15,160 (67.4)	1,316 (6.0)	3,780 (16.9)	4,090 (22.2)	24,760 (110.1)	625 (2.8)	6,190 (27.5)	400 (542.3)	
	9 1/2 (241)	12 1/2 (318)	13 1/4 (337)	20,160 (89.7)	3,250 (14.5)	6,040 (22.4)	8,635 (38.4)	48,920 (217.6)	1,691 (7.5)	12,230 (54.4)		

- The allowable loads listed are based on a safety factor of 4.0.
- Allowable loads may be increased by 33% for short-term loading due to wind or seismic forces where permitted by code.
- Refer to allowable load adjustment factors for edge distance and spacing on pages 141 and 145.
- Drill bit diameter used in base material corresponds to nominal anchor diameter.
- Allowable loads may be linearly interpolated between concrete strengths listed.
- Allowable loads for 1/4-inch size at 1 1/4-inch embedment apply to both the Wedge-All® and Tie-Wire anchors. If station torque does not apply to the Tie-Wire anchor.
- The minimum concrete thickness is 1 1/2 times the embedment depth.

*See page 10 for an explanation of the load table icons.

Shear Loads for Carbon-Steel Wedge-All® (and Tie-Wire) Anchors in Normal-Weight Concrete



Size In. (mm)	Embed. Depth In. (mm)	Critical Edge Dist. In. (mm)	Critical Spacing In. (mm)	Shear Load					Instal. Torque ft-lbs (N-m)
				f'c ≥ 2000 psi (13.8 MPa) Concrete			f'c ≥ 3000 psi (20.7 MPa) Concrete	f'c ≥ 4000 psi (27.6 MPa) Concrete	
				Ultimate lbs. (kN)	Std. Dev. lbs. (kN)	Allowable lbs. (kN)	Allowable lbs. (kN)	Allowable lbs. (kN)	
1/4" (6.4)	1 1/4" (29)	2 1/4" (64)	1 1/4" (41)	920 (4.1)	47 (0.2)	230 (1.0)	230 (1.0)	230 (1.0)	8 (10.8)
	2 1/4" (57)	2 1/2" (64)	3" (79)	.	.	230 (1.0)	230 (1.0)	230 (1.0)	
3/8" (9.5)	1 3/4" (44)	3 1/4" (95)	2 3/4" (68)	2,280 (10.1)	96 (0.4)	570 (2.5)	570 (2.5)	570 (2.5)	30 (40.7)
	2" (67)	3 1/4" (95)	3" (92)	4,220 (18.8)	304 (1.7)	1,055 (4.7)	1,055 (4.7)	1,055 (4.7)	
	3" (86)	3 3/4" (95)	4" (121)	.	.	1,055 (4.7)	1,055 (4.7)	1,055 (4.7)	
1/2" (12.7)	2 1/4" (57)	5" (127)	3 1/4" (79)	6,560 (29.2)	358 (3.8)	1,345 (5.0)	1,485 (6.6)	1,625 (7.2)	60 (81.3)
	3" (86)	5" (127)	4" (121)	8,160 (36.3)	680 (3.9)	1,675 (7.5)	1,850 (8.2)	2,020 (9.0)	
	4" (114)	5" (127)	6" (159)	.	.	1,675 (7.5)	1,850 (8.2)	2,020 (9.0)	
5/8" (15.9)	2 3/4" (70)	6 1/4" (159)	3 3/4" (98)	8,720 (38.8)	1,609 (7.6)	1,520 (7.2)	1,900 (8.5)	2,180 (9.7)	90 (122.0)
	4 1/4" (114)	6 1/4" (159)	6" (159)	12,570 (55.9)	396 (1.8)	2,330 (10.4)	2,740 (12.2)	3,145 (14.0)	
	5 1/4" (140)	6 1/4" (159)	7" (197)	.	.	2,330 (10.4)	2,740 (12.2)	3,145 (14.0)	
3/4" (19.1)	3 3/4" (86)	7 1/2" (191)	4" (121)	11,360 (50.5)	792 (3.5)	2,840 (12.6)	2,840 (12.6)	2,840 (12.6)	150 (203.4)
	5" (127)	7 1/2" (191)	7" (178)	18,430 (82.0)	1,921 (0.5)	4,610 (20.5)	4,610 (20.5)	4,610 (20.5)	
	6 1/4" (171)	7 1/2" (191)	9 1/2" (241)	.	.	4,610 (20.5)	4,610 (20.5)	4,610 (20.5)	
7/8" (22.2)	3" (98)	8" (222)	5" (137)	13,780 (61.2)	2,059 (9.2)	5,440 (15.3)	5,440 (15.3)	5,440 (15.3)	200 (271.2)
	7" (200)	8" (222)	11" (273)	22,300 (99.2)	477 (2.1)	5,575 (24.8)	5,575 (24.8)	5,575 (24.8)	
1" (25.4)	4 1/4" (114)	10" (254)	6 1/4" (159)	22,519 (100.2)	1,156 (5.1)	5,730 (25.5)	5,730 (25.5)	5,730 (25.5)	300 (405.7)
	9" (229)	10" (254)	12" (321)	25,300 (112.9)	729 (3.2)	6,345 (28.2)	6,345 (28.2)	6,345 (28.2)	
1 1/4" (31.8)	5 1/4" (143)	12 1/4" (318)	7" (200)	20,320 (130.4)	2,059 (9.3)	7,330 (32.6)	7,330 (32.6)	7,330 (32.6)	400 (542.3)
	9 1/2" (241)	12 1/4" (318)	13 1/4" (337)	.	.	7,330 (32.6)	7,330 (32.6)	7,330 (32.6)	

- The allowable loads listed are based on a safety factor of 1.0.
- Allowable loads may be increased by 33% for short-term loading due to wind or seismic forces when permitted by code.
- Refer to allowable load-adjustment factors for spacing and edge distance on pages 144, 145 and 147.
- Drill bit diameter used in base material corresponds to nominal anchor diameter.
- Allowable loads may be linearly interpolated between concrete strengths listed.
- Allowable loads for 1/2-inch size at 1 1/4-inch embedment apply to both the Wedge-All® and Tie-Wire anchors. Installation torque does not apply to the Tie-Wire anchor.
- The minimum concrete thickness is 1 1/2 times the embedment depth.

*See page 10 for an explanation of the load table icons

Steel Stairs in Parking Structure
[Ref. B14-1549]

STRUCTURAL CALCULATIONS

Stairs & Railing Design

OLD

08-12-2016

For:
Eli Industries Inc.
8950 Fullbright Ave.
Chatsworth, CA 91311

Job:
Gate Way Village
27742 Forbes Road
Laguna Niguel, CA. 92677

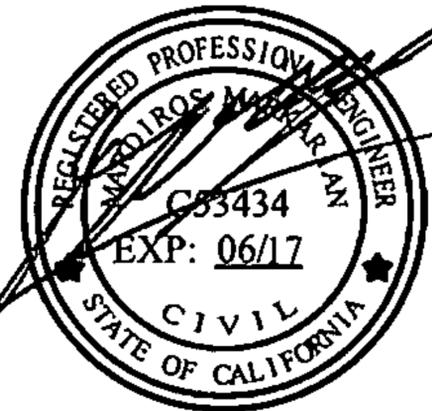
By:
Mardiros Markarian PE.

Reviewed
Rejected
Make Corrections Noted
Revise and Resubmit
Checking is for general conformance with the design concept and the information contained in the contract documents. This shop drawing is not a contract document and, therefore, does not constitute an authorization to deviate from the terms and conditions of the contract.
SENECA STRUCTURAL ENGINEERING, INC.

By: [Signature] Date: 8/29/16

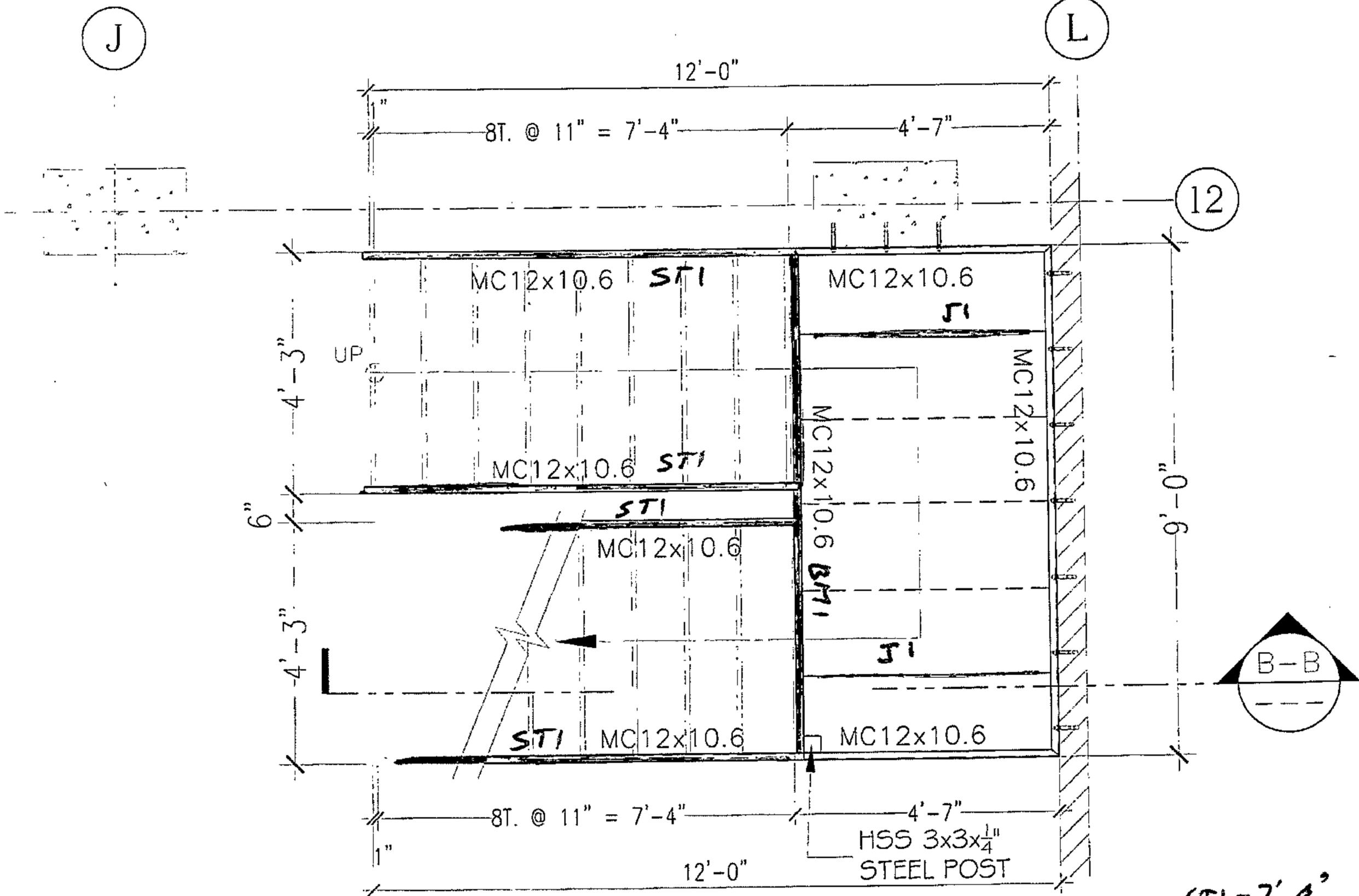
CITY LAGUNA NIGUEL
RECEIVED

SEP 02 2015
COMMUNITY DEVELOPMENT



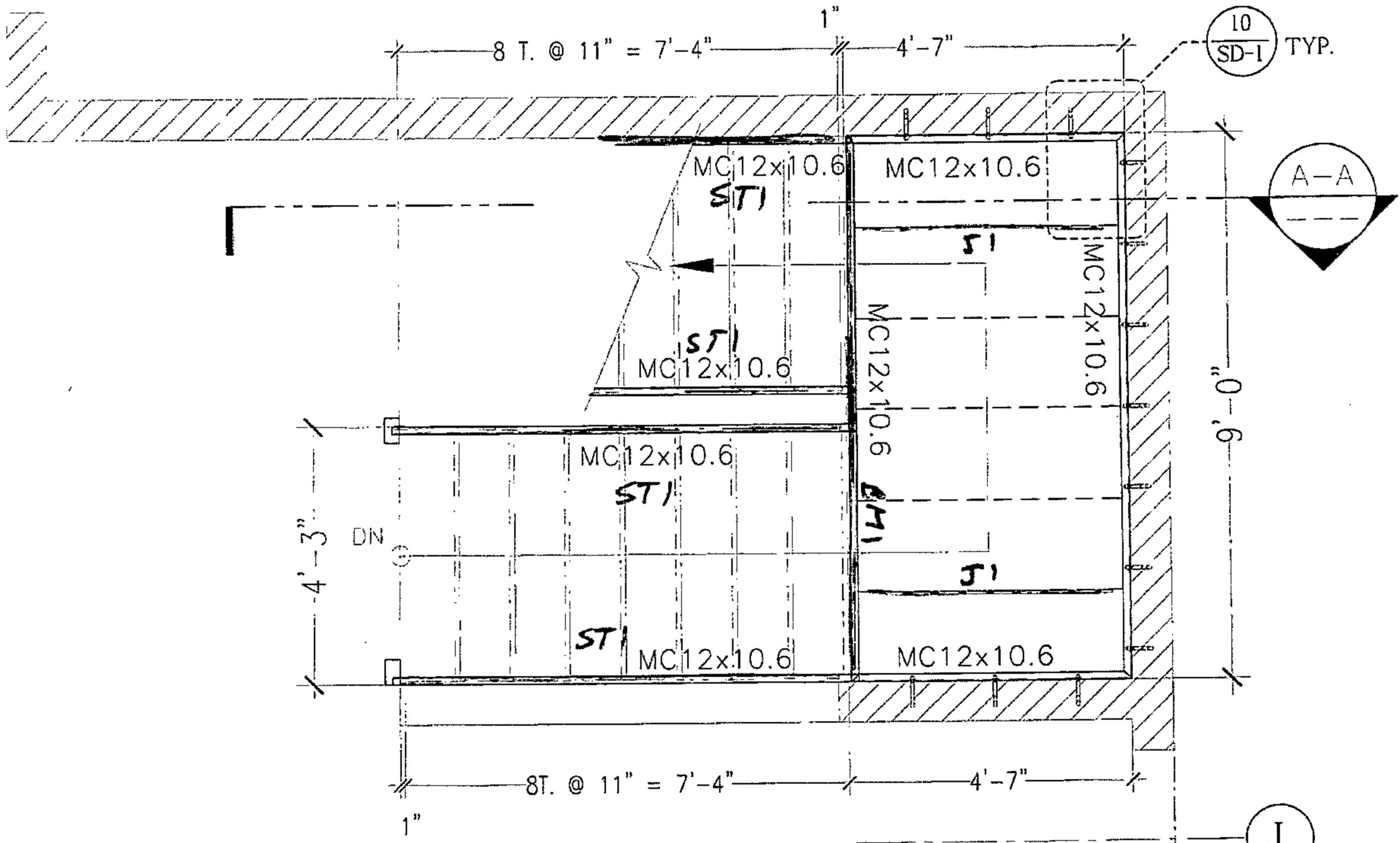
OLD

B14-1946



① STAIR @ GRID 12&L - FIRST TIER

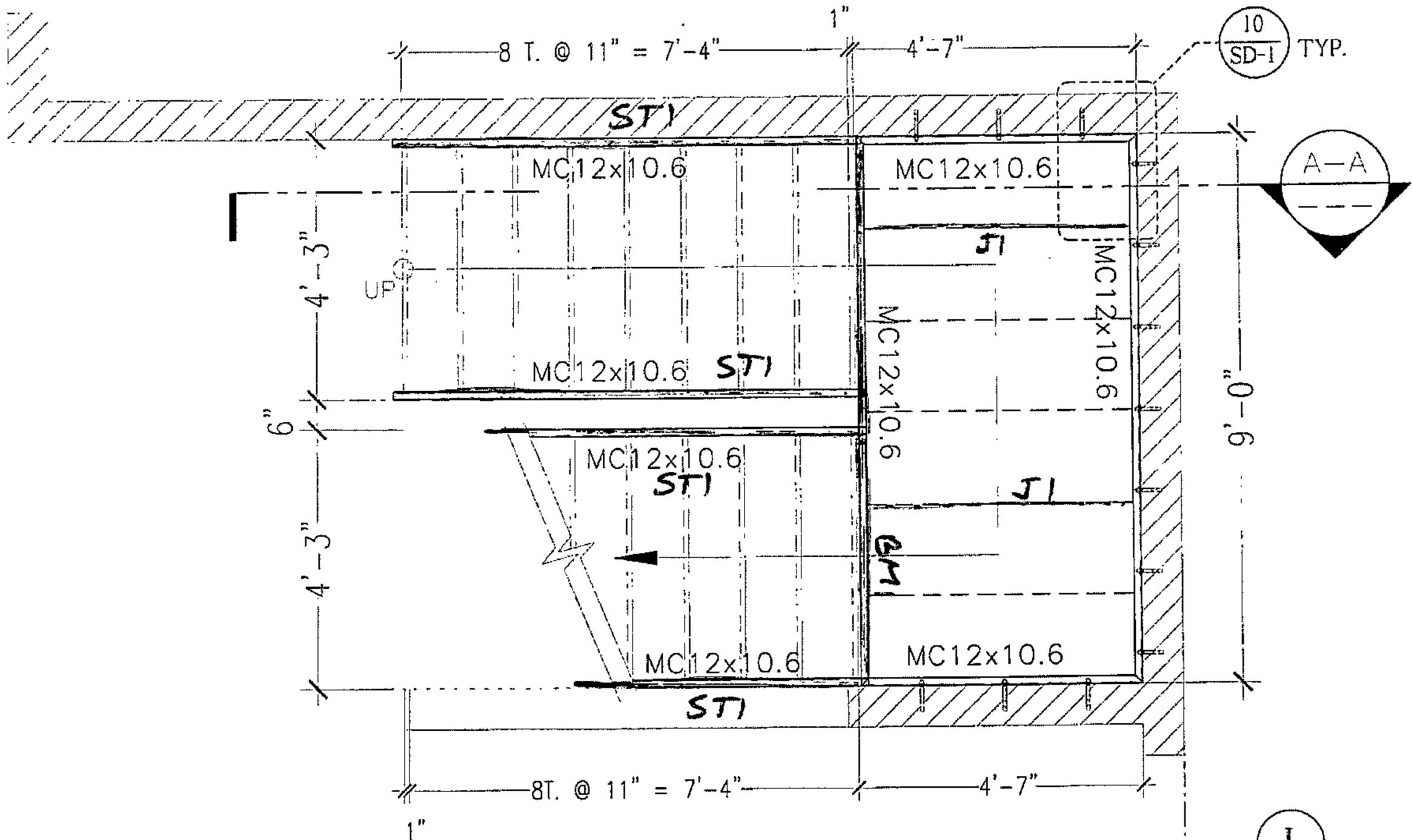
STI = 7'-4"
 BMI = 9'-0"
 JI = 4'-7"



5 STAIR @ CORE G2 - FIRST TIER

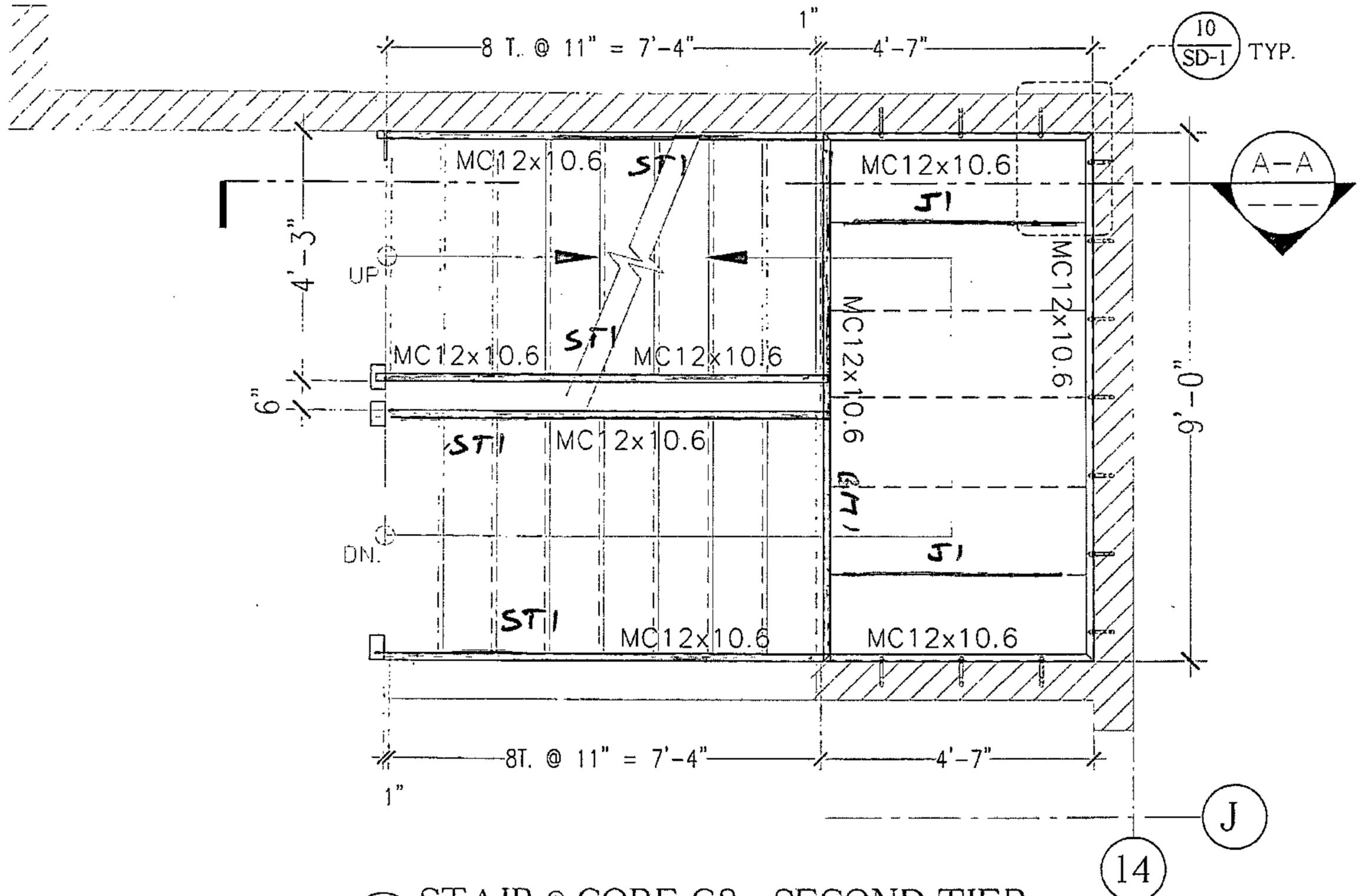
14

J

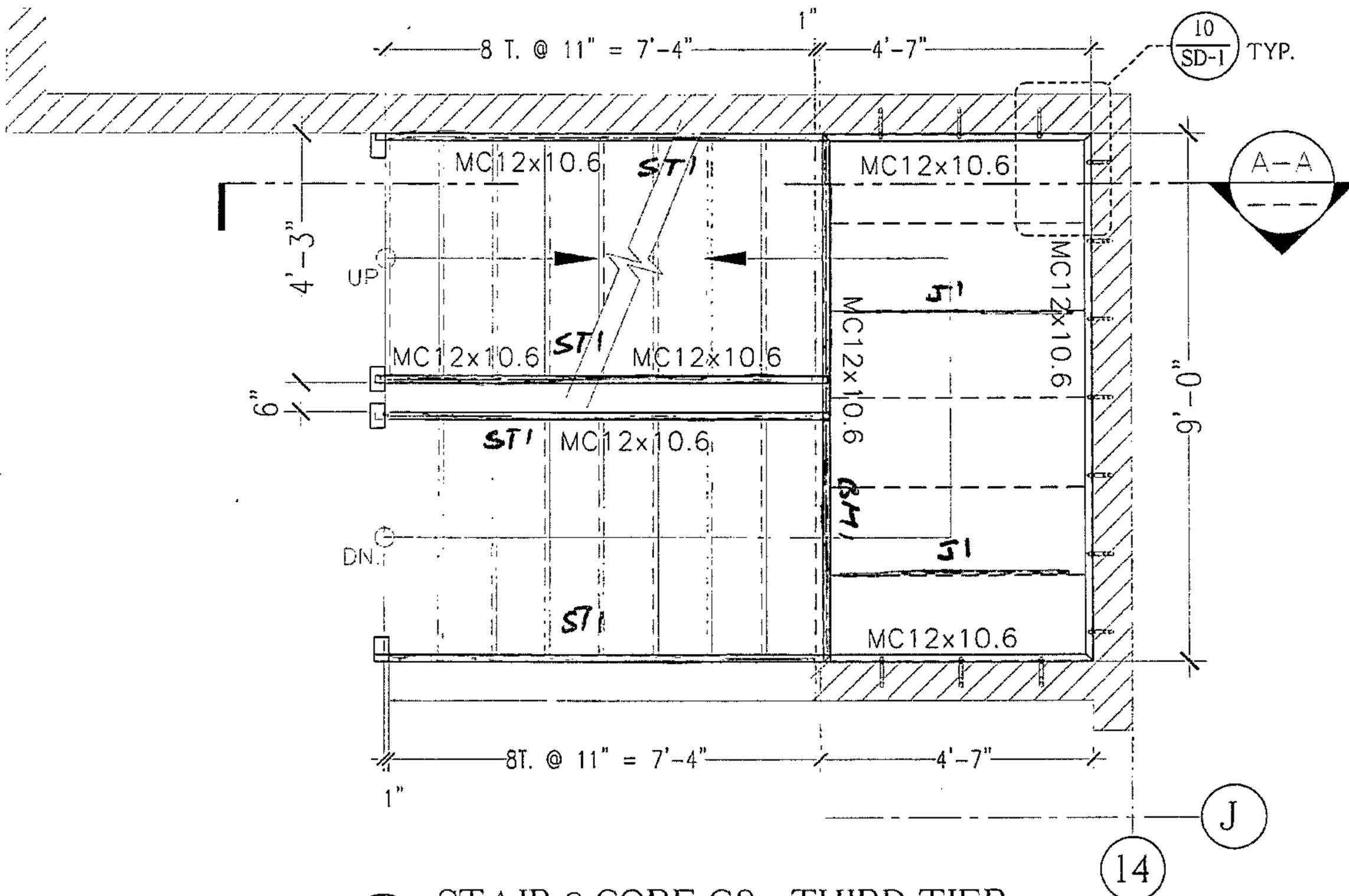


1 STAIR @ CORE G2 - FIRST TIER

14

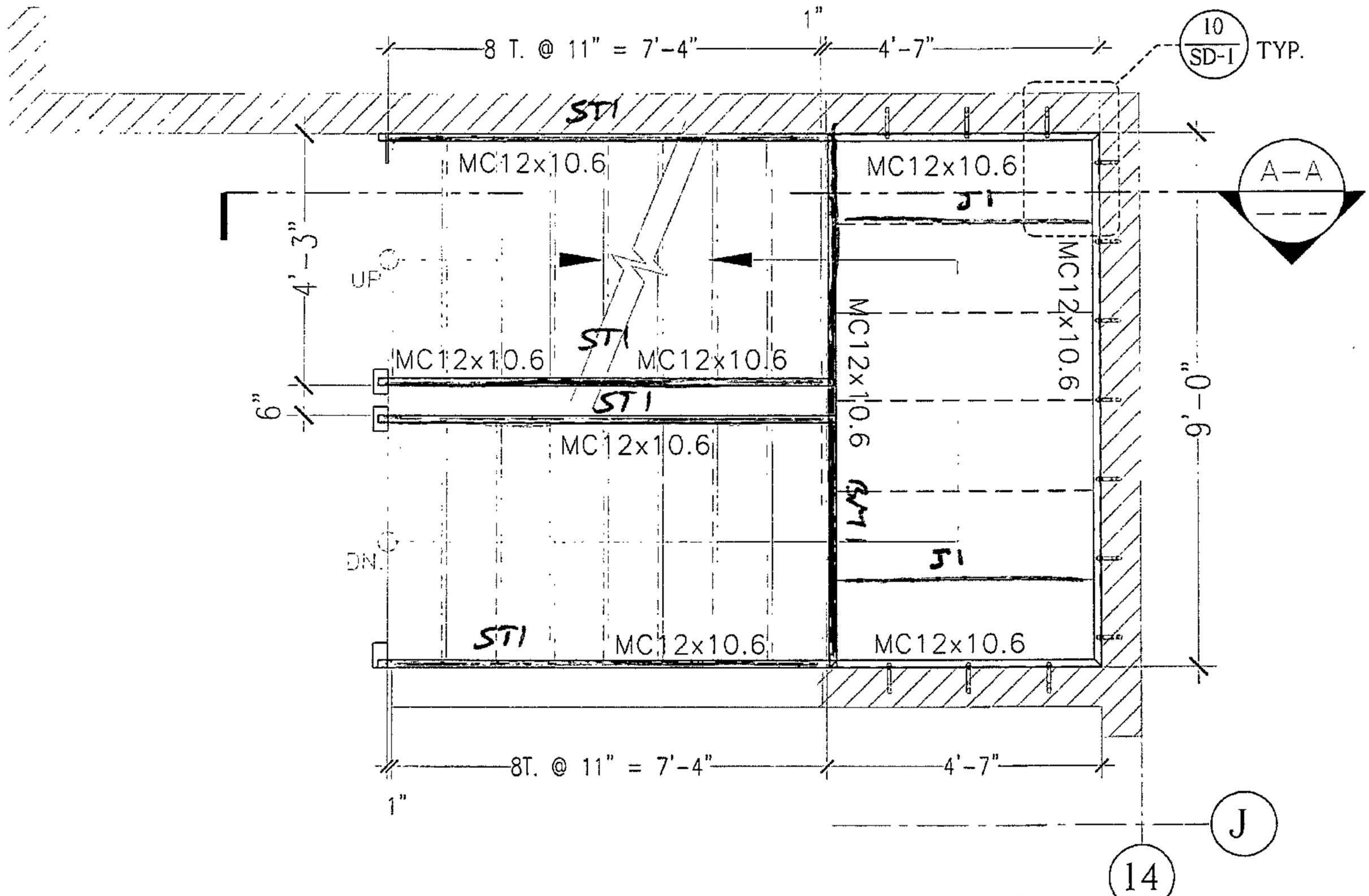


② STAIR @ CORE G2 - SECOND TIER



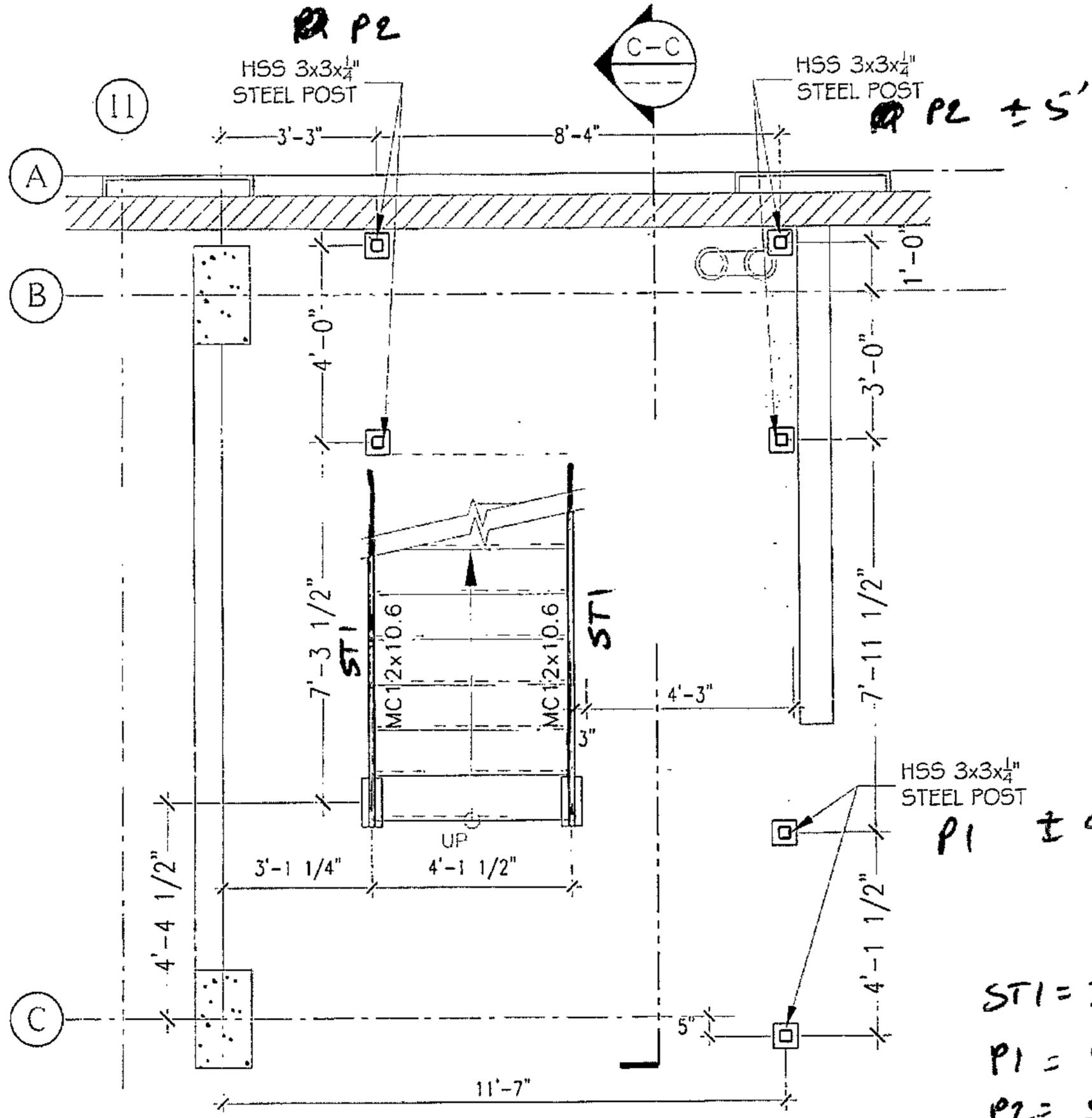
3 STAIR @ CORE G2 - THIRD TIER

14 J

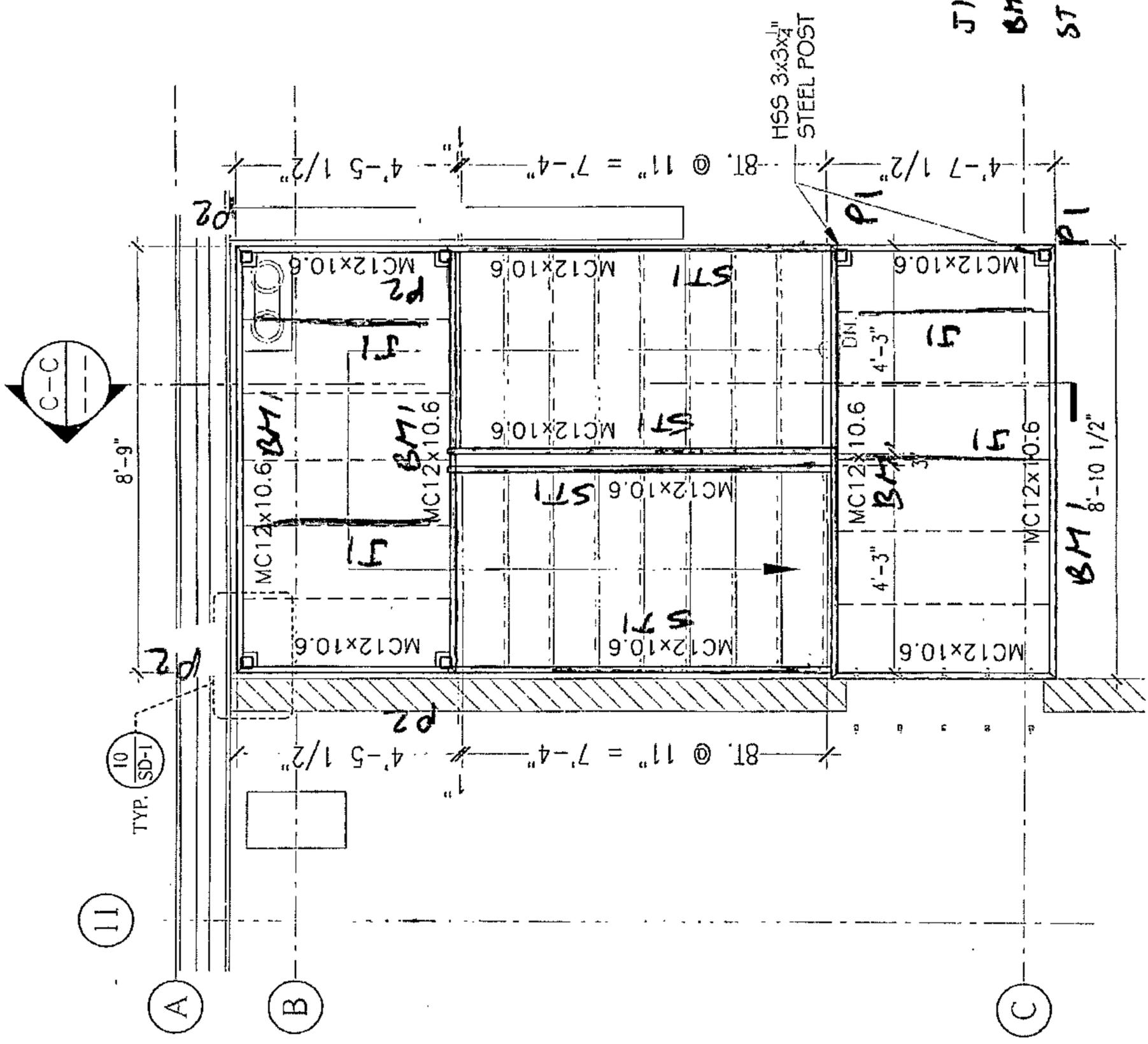


④ STAIR @ CORE G2 - FOURTH TIER

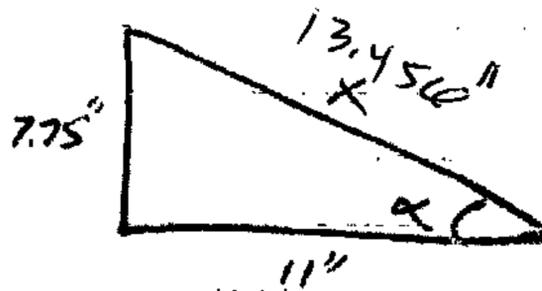
14 J



I STAIR @ GRID 11&A - FIFTH TIER



STAIR @ GRID 11&A - FIFTH TIER



$\cos \alpha = 0.8342$
 $\alpha = 32^\circ$
 $35.17^\circ \Rightarrow x = \frac{7'-4''}{0.8342} = 8'-9''$

LONGEST STRINGER = 7'-4"
 $\Rightarrow 8'-9''$

$ST1 = 7'-4''$
 $BM1 = 9'-0''$
 $SI = 4'-7''$

ST1 $L = 8'-9'' \approx 9' \checkmark$

$P1 = 9'-0''$
 $P2 = 5'-0''$

$TA = 4'-5''/2 = 2'-5''$

BM1 LOADING FROM SI $TA = 5/2 = 2.5$
 + ST1 IN 4 PLACES.

SKID COMPUTED PREVIOUS USE MC12x10.6

ST1 $L = 9'$

$DL = 50 \text{ PSF}$
 $LL = 100 \text{ PSF}$
 $TA = 4.5/2 = 2.25$

USE MC12x10.6

REACTION OF ST1
 $DL = 0.492$
 $LL = 0.9$



JOB: _____
 SHEET NO: _____ OF: _____
 CALCULATED BY: _____ DATE: _____
 CHECKED BY: _____ DATE: _____
 SCALE: _____

BMI L = 9'-00

DL = 50 PSF
 LL = 100 PSF
 TA = 5/2

LANDING

POINT LOAD FROM ST1
 @ 0.5, 4.5, 5', 8.5

USE MC 12x10.6

SEE PRINTOUT.

POST DESIGN L = 9'-0" HSS 3x3 1/4

LOADING FROM ST1 + BMI + J1

D = .992 D = 1.594
 L = .9 L = 2.925

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title
 Engineer:
 Project Descr:

Project ID:

File = G:\Calc\Terra\Bart\Terra\Bart\Bart.rvt
 ENTECALC INC. 1985-2014, Build 6.14.1.25, Ver 6.14.1.25

Steel Beam

License: **Unassigned**
 Description: ST1

License: **UNLICENSED DEMO**

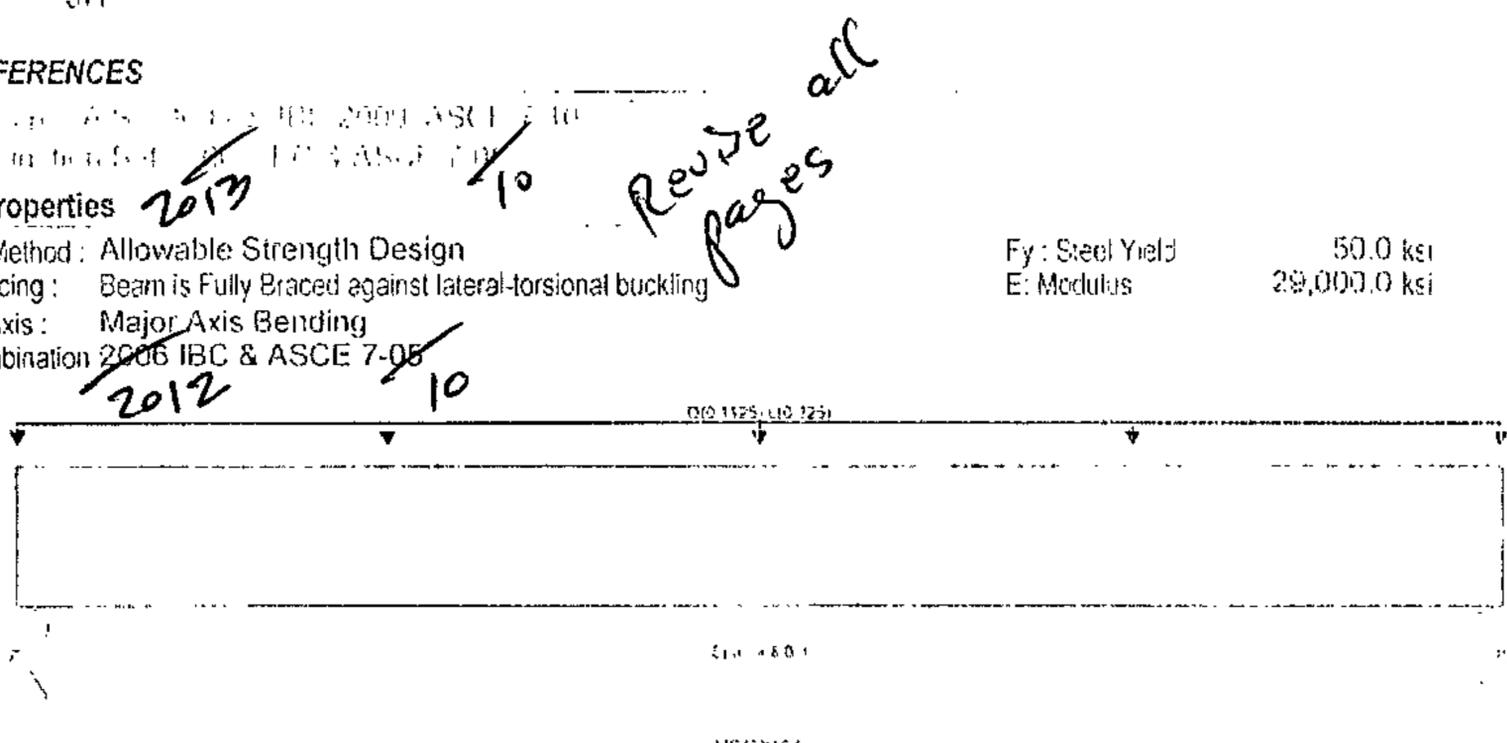
CODE REFERENCES

AISC 360-10
 ASCE 7-10

Material Properties

Analysis Method: Allowable Strength Design
 Beam Bracing: Beam is Fully Braced against lateral-torsional buckling
 Bending Axis: Major Axis Bending
 Load Combination: 2006 IBC & ASCE 7-05

Fy: Steel Yield 50.0 ksi
 E: Modulus 29,000.0 ksi



Applied Loads

Service loads entered. Load Factors will be applied for calculations

Beam self weight calculated and added to loads
 Uniform Load D = 0.050, L = 0.10 ksf. Tributary Width = 2.250 ft

DESIGN SUMMARY

Design OK

Maximum Bending Stress Ratio = 0.096 : 1
 Section used for this span **MC12X10.6**
 Ma Applied 2.785 k-ft
 Mn / Omega : Allowable 28.942 k-ft
 Load Combination +D+L+H
 Location of maximum on span 4.000 ft
 Span # where maximum occurs Span # 1

Maximum Shear Stress Ratio = 0.034 : 1
 Section used for this span **MC12X10.6**
 Va Applied 1.392 k
 Vn/Omega : Allowable 40.958 k
 Load Combination +D+L+H
 Location of maximum on span 0.000 ft
 Span # where maximum occurs Span # 1

Maximum Deflection
 Max Downward L+Lr+S Deflection 0.013 in Ratio = 7.365
 Max Upward L+Lr+S Deflection 0.000 in Ratio = 0 < 360
 Max Downward Total Deflection 0.020 in Ratio = 4.761
 Max Upward Total Deflection 0.000 in Ratio = 0 < 180

Maximum Forces & Stresses for Load Combinations

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax -	Ma - Max	Mnx	Max/Omega	CD	Rm	Va Max	Vnx	Vn/Omega
D Only														
Dsgn. L = 8.00 ft		1	0.034	0.012	0.98		0.98	48.33	28.94	1.00	1.00	0.49	68.40	40.95
+D+L+H														
Dsgn. L = 8.00 ft		1	0.096	0.034	2.78		2.78	48.33	28.94	1.00	1.00	1.39	68.40	40.95
+D+Lr+H														
Dsgn. L = 8.00 ft		1	0.034	0.012	0.98		0.98	48.33	28.94	1.00	1.00	0.49	68.40	40.95
+D+S+H														
Dsgn. L = 8.00 ft		1	0.034	0.012	0.98		0.98	48.33	28.94	1.00	1.00	0.49	68.40	40.95
+D+0.750Lr+0.750L+H														
Dsgn. L = 8.00 ft		1	0.081	0.029	2.33		2.33	48.33	28.94	1.00	1.00	1.17	68.40	40.95
+D+0.750L+0.750S+H														
Dsgn. L = 8.00 ft		1	0.081	0.029	2.33		2.33	48.33	28.94	1.00	1.00	1.17	68.40	40.95
+D+W+H														
Dsgn. L = 8.00 ft		1	0.034	0.012	0.98		0.98	48.33	28.94	1.00	1.00	0.49	68.40	40.95
+D+0.70E+H														
Dsgn. L = 8.00 ft		1	0.034	0.012	0.98		0.98	48.33	28.94	1.00	1.00	0.49	68.40	40.95
+D+0.750Lr+0.750L+0.750W+H														
Dsgn. L = 8.00 ft		1	0.081	0.029	2.33		2.33	48.33	28.94	1.00	1.00	1.17	68.40	40.95
+D+0.750L+0.750S+0.750W+H														
Dsgn. L = 8.00 ft		1	0.081	0.029	2.33		2.33	48.33	28.94	1.00	1.00	1.17	68.40	40.95
+D+0.750Lr+0.750L+0.5250E+H														
Dsgn. L = 8.00 ft		1	0.081	0.029	2.33		2.33	48.33	28.94	1.00	1.00	1.17	68.40	40.95
+D+0.750L+0.750S+0.5250E+H														
Dsgn. L = 8.00 ft		1	0.081	0.029	2.33		2.33	48.33	28.94	1.00	1.00	1.17	68.40	40.95

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

File - G:\Calcs\Enercalc Data\11\steel\st1.rvt
 ENERCALC, INC. 1985-2014, Build 6.14.1.23, Ver 6.14.1.23

Steel Beam

~~License: Unassigned~~ ~~Consent: UNLICENSED DEMO USE ONLY. DEMO EXPIRES IN 30 DAYS~~

Description: ST1

Load Combination	Segment Length	Span #	Max Stress Ratios			Summary of Moment Values					Summary of Shear Values			
			M	V	Mmax +	Mmax -	Ma - Max	Mlx	Mlx/Omega Cb	Rm	Va Max	Vlx	Vlx/C mega	
+0.60D+W+H	Dsgn L = 8.00 ft	1	0.020	0.007	0.59		0.59	48.33	28.94	1.00	1.00	0.30	68.40	40.96
+0.60D+0.70E+H	Dsgn L = 8.00 ft	1	0.020	0.007	0.59		0.59	48.33	28.94	1.00	1.00	0.30	68.40	40.96

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max. "v" Defl	Location in Span	Load Combination	Max. "v" Defl	Location in Span
D+L	1	0.0202	4.046		0.0000	0.000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall MAXimum	1.392	1.392
D Only	0.492	0.492
L Only	0.900	0.900
D+L	1.392	1.392

Support rotation: Far left is #1

values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

File = G:\Codes\Enercalc Data Files\steel\stas\006
 ENERCALC, INC. 1982-2014, Build # 14, 1/23, Ver 6.11.12

Steel Beam

License: UNLICENSED DEMO USER DEMO EXPIRES 01/01/2014

Description: BR11

Load Combination	Segment Length	Span #	Max Stress Ratios		Mmax +	Mmax	Summary of Moment Values				Summary of Shear Values			
			M	V			Ma - Max	Max	Max/Omega Cb	Rm	Va Max	Vmax	Vmax/Omega	
+D+0.750L+0.750L+0.5250E+H	Dsgn L = 9.00 ft	1	0.315	0.092	9.11		9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.96
+D+0.750L+0.750S+0.5250E+H	Dsgn L = 9.00 ft	1	0.315	0.092	9.11		9.11	48.33	28.94	1.00	1.00	3.79	68.40	40.96
+0.60D+W+H	Dsgn L = 9.00 ft	1	0.079	0.023	2.30		2.30	48.33	28.94	1.00	1.00	0.96	68.40	40.96
+0.60D+0.70E+H	Dsgn L = 9.00 ft	1	0.079	0.023	2.30		2.30	48.33	28.94	1.00	1.00	0.96	68.40	40.96

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max " Defl	Location in Span	Load Combination	Max " Defl	Location in Span
D+L	1	0.0959	4.545		0.0000	0.000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall MAXimum	4.519	4.519
D Only	1.594	1.594
L Only	2.925	2.925
D+L	4.519	4.519

Support rotation - Far left is #1

Values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Beam

File: S:\Calc\Enclac Data\Steel\steel.dwg
 ENERCAD, INC. 1985-2014, Build E 14.1.23, Ver 6.11.20

License: UNLICENSED DEMO USER. DEMO EXPIRES IN 2017

Description: J1

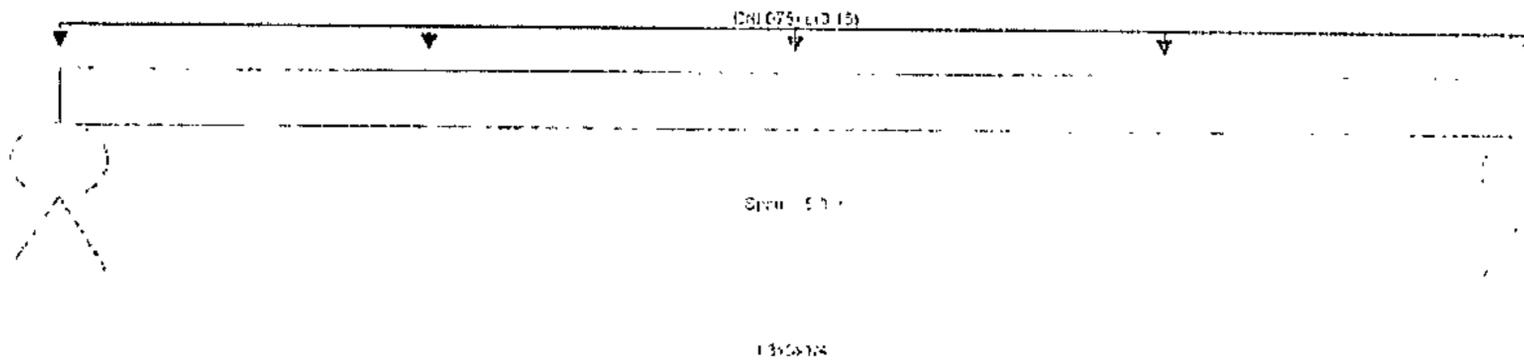
CODE REFERENCES

AISC 360-10 (AISC 360) ASCE 7-10
 AISC 360-10 (AISC 360)

Material Properties

Analysis Method: Allowable Strength Design
 Beam Bracing: Beam is Fully Braced against lateral-torsional buckling
 Bending Axis: Major Axis Bending
 Load Combination: ASCE 7-10 ✓

Fy: Steel Yield: 50.0 ksi
 E: Modulus: 29,000.0 ksi



Applied Loads

Beam self weight calculated and added to loads
 Uniform Load, D = 0.050, L = 0.10 ksf, Tributary Width = 1.50 ft

Service loads entered. Load Factors will be applied for calculations

DESIGN SUMMARY

Maximum Bending Stress Ratio =	0.338 : 1	Maximum Shear Stress Ratio =	0.043 : 1
Section used for this span	L3x3x1/4	Section used for this span	L3x3x1/4
Ma Applied	0.718 k-ft	Va Applied	0.5743 k
Mn / Omega : Allowable	2.127 k-ft	Vn/Omega : Allowable	13.473 k
Load Combination	+D+L+H	Load Combination	+D+L+H
Location of maximum on span	2.500ft	Location of maximum on span	0.000 ft
Span # where maximum occurs	Span # 1	Span # where maximum occurs	Span # 1

Maximum Deflection			
Max Downward L+Lr+S Deflection	0.060 in	Ratio =	1.006
Max Upward L+Lr+S Deflection	0.000 in	Ratio =	0 < 360
Max Downward Total Deflection	0.091 in	Ratio =	657
Max Upward Total Deflection	0.000 in	Ratio =	0 < 180

Maximum Forces & Stresses for Load Combinations

Load Combination	Segment Length	Span #	Max Stress Ratios			Summary of Moment Values					Summary of Shear Values					
			M	V	Mmax +	Mmax -	Ma - Max	Mnx	Mnx/Omega	Qr	Rm	Va Max	Vax	Vax/Omega		
+D+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25											
+D+L+H	Dsgn. L = 5.00 ft	1	0.338	0.043	0.72	0.25	3.55	2.13	1.00	1.00	0.20	12.50	13.47			
+D+Lr+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	12.50	13.47			
+D+S+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	12.50	13.47			
+D+0.750Lr+0.750L+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	12.50	13.47			
+D+0.750L+0.750S+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.46	12.50	13.47			
+D+0.60W+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.46	12.50	13.47			
+D+0.70E+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	12.50	13.47			
+D+0.750Lr+0.750L+0.450W+H	Dsgn. L = 5.00 ft	1	0.117	0.015	0.25	0.25	3.55	2.13	1.00	1.00	0.20	12.50	13.47			
+D+0.750L+0.750S+0.450W+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.46	12.50	13.47			
+D+0.750L+0.750S+0.5250E+H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.46	12.50	13.47			
+D+0.60D+0.60W+0.60H	Dsgn. L = 5.00 ft	1	0.283	0.036	0.60	0.60	3.55	2.13	1.00	1.00	0.46	12.50	13.47			
Dsgn. L = 5.00 ft		1	0.070	0.009	0.15	0.15	3.55	2.13	1.00	1.00	0.12	12.50	13.47			

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID

File = C:\Calc\Enbarca\c Data Files\steel\stlvs06
 ENERDANC INC 1983-2014, Build 6.14.1.23, Ver 6.14.1.23

Steel Beam

License: Unassigned

License: UNLICENSED DEMO USER DEMO EXPIRES IN 30 DAYS

Description: J1

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mmax -	Ma - Max	Mnx	Mnx/Omega Cb	Rm	Va Max	Vnx	Vnx/Omega	
+0.60D+0.70E+0.60H	Dsgn. L = 5.00 ft	1	0.070	0.009	0.15		0.15	3.55	2.13	1.00	1.00	0.12	22.50	13.47

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max. " Defl	Location in Span	Load Combination	Max. " Defl	Location in Span
D+L	1	0.0914	2.50 ft		0.0000	0.0000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall Maximum	0.575	0.575
D Only	0.200	0.200
L Only	0.375	0.375
D+L	0.575	0.575

Support rotation, Far left s #1

values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Beam

File: C:\Cable\neacac Data\Fire\steel slabs.rcd
 ENGRCALC INC. 1988-2014, Build 6.14.1.23 Ver:6.14.1.23

~~UNLICENSED COPY OF ENGRCALC SOFTWARE~~

Description: J1

Load Combination	Segment Length	Span #	Max Stress Ratios		Summary of Moment Values					Summary of Shear Values				
			M	V	Mmax +	Mlmax -	Ma - fMax	Mlx	Max/Omega Ob	Rm	Va Max	Vnx	Vnx/Omega	
+0.60D+0.70E+0.60H	Dsgn. L = 5.00 ft	1	0.070	0.009	0.15		0.15	3.55	2.13	1.00	1.00	0.12	22.50	13.47

Overall Maximum Deflections - Unfactored Loads

Load Combination	Span	Max. "-" Defl	Location in Span	Load Combination	Max. "+" Defl	Location in Span
D+L	1	0.0914	2.525		0.0000	0.000

Vertical Reactions - Unfactored

Load Combination	Support 1	Support 2
Overall MAXimum	0.575	0.575
D Only	0.200	0.200
L Only	0.375	0.375
D+L	0.575	0.575

Support rotation: Far left is #1
 Values in KIPS

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID:

Steel Column

File: C:\Users\Phonoc\Documents\Steel\Steel\Steel.stn
 ENERCALC, INC. 1985-2014, Build: 14.1.23, Ver: 14.1.23

Info: -Unassigned
 Description: P1

Code References

AISC 360-10, Allowable Stress Design and Plastic Design, 10th Edition, 2010
 ASCE 7-10, Minimum Design Loads and Associated Criteria for Buildings and Other Structures, 2010

General Information

Steel Section Name: HSS3x3x1/4
 Analysis Method: Allowable Strength
 Steel Stress Grade
 Fy Steel Yield: 36.0 ksi
 E Elastic Bending Modulus: 29,000.0 ksi
 Load Combination: ASCE 7-10

Overall Column Height: 10.0 ft
 Top & Bottom Fixity: Top & Bottom Pinned
 Brace condition for deflection (buckling) along columns:
 X-X (width) axis:
 Unbraced Length for X-X Axis buckling = 10 ft, K = 1.0
 Y-Y (depth) axis:
 Fully braced against buckling along Y-Y Axis

Applied Loads

Service loads entered. Load Factor will be applied to dead and live

Column self weight included: 87.780 lbs * Dead Load Factor
 AXIAL LOADS ...

ST1: Axial Load at 10.0 ft, D = 0.4920, L = 0.90 k
 BM1: Axial Load at 10.0 ft, D = 1.590, L = 2.925 k
 J1: Axial Load at 10.0 ft, D = 0.2080, L = 0.3750 k

DESIGN SUMMARY

Bending & Shear Check Results

PASS Max. Axial+Bending Stress Ratio = 0.2314 1
 Load Combination: +D+L+H
 Location of max. above base: 0.0 ft
 At maximum location values are ...
 Pa Axial: 6.578 k
 Pn / Omega : Allowable: 28.429 k
 Max Applied: 0.0 k-ft
 Mn-x / Omega : Allowable: 4.455 k-ft
 Ma-y Applied: 0.0 k-ft
 Mn-y / Omega : Allowable: 4.455 k-ft

PASS Maximum Shear Stress Ratio = 0.0 1
 Load Combination
 Location of max. above base: 0.0 ft
 At maximum location values are ...
 Va Applied: 0.0 k
 Vn / Omega : Allowable: 0.0 k

Maximum SERVICE Load Reactions ...

Top along X-X: 0.0 k
 Bottom along X-X: 0.0 k
 Top along Y-Y: 0.0 k
 Bottom along Y-Y: 0.0 k

Maximum SERVICE Load Deflections ...

Along Y-Y: 0.0 in at 0.0 ft above base
 for load combination:
 Along X-X: 0.0 in at 0.0 ft above base
 for load combination:

Load Combination Results

Load Combination	Maximum Axial + Bending Stress Ratios			Maximum Shear Ratios		
	Stress Ratio	Status	Location	Stress Ratio	Status	Location
+D+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+L+H	0.231	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+Lr+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+S+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750Lr+0.750L+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750L+0.750S+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.60W+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.70E+H	0.084	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750Lr+0.750L+0.450W+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750L+0.750S+0.450W+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+D+0.750L+0.750S+0.5250E+H	0.194	PASS	0.00 ft	0.000	PASS	0.00 ft
+0.60D+0.60W+0.60H	0.050	PASS	0.00 ft	0.000	PASS	0.00 ft
+0.60D+0.70E+0.60H	0.050	PASS	0.00 ft	0.000	PASS	0.00 ft

User Spec'd Line 1
 User Spec'd Line 2
 User Spec'd Line 3
 User Spec'd Line 4
 User Spec'd Line 5
 User Spec'd Line 6

Project Title:
 Engineer:
 Project Descr:

Project ID

Steel Column

File = G:\Calc\Enercalc Data Files\steel\slr\slr.cad
 ENERCALC, INC. 1988-2014, Build E 14.1.23, Ver 6.11.23

License: UNLICENSED DEMO USER, DEMO EXPIRES IN 2014

Description: P1

Maximum Reactions - Unfactored

Note: If there are zero reactions are listed

Load Combination	X-X Axis Reaction		Y-Y Axis Reaction		Axial Reaction @ Base
	@ Base	@ Top	@ Base	@ Top	
D Only		k		k	2.373 k
L Only		k		k	4.203 k
D+L		k		k	3.573 k

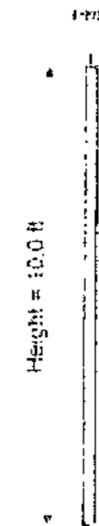
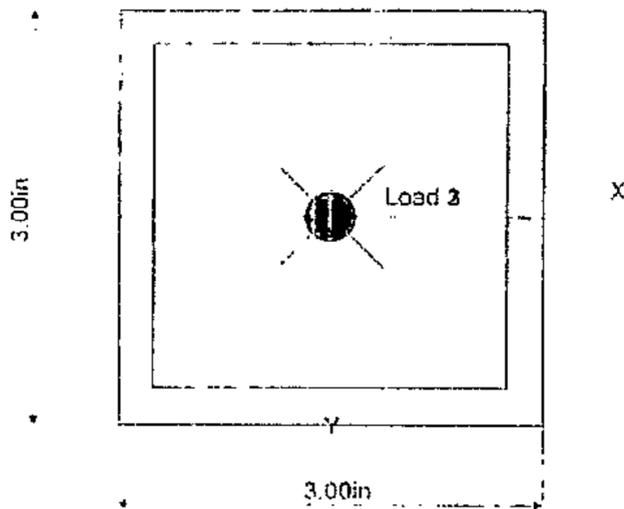
Maximum Deflections for Load Combinations - Unfactored Loads

Load Combination	Max X-X Deflection		Distance	Max Y-Y Deflection		Distance		
D Only	0.000	in	0.000	ft	0.000	in	0.000	ft
L Only	0.000	in	0.000	ft	0.000	in	0.000	ft
D+L	0.000	in	0.000	ft	0.000	in	0.000	ft

Steel Section Properties :

HSS3x3x1/4

Depth	=	3.000 in	I _{xx}	=	3.02 in ⁴	J	=	5.380 in ⁴
			S _{xx}	=	2.01 in ³			
Width	=	3.000 in	R _{xx}	=	1.110 in			
Wall Thick	=	0.250 in	Z _x	=	2.480 in ³			
Area	=	2.440 in ²	I _{yy}	=	3.020 in ⁴	C	=	3.520 in ³
Weight	=	8.778 plf	S _{yy}	=	2.010 in ³			
			R _{yy}	=	1.110 in			
Ycg	=	0.000 in						



Loads are total entered value. Arrows do not reflect absolute direction.



JOB: _____
SHEET NO: _____ OF: _____
CALCULATED BY: _____ DATE: _____
CHECKED BY: _____ DATE: _____
SCALE: _____

CONNECTION CALC'S COLUMN TO STRONG FLOOR

LOADING. $DL = 1.25$ K
 $LL = 2.08$ K

USE A70 ALUMINUM \Rightarrow WELD = 70 KSI @ 0.60
= 42 KSI
FOR $\frac{1}{4}$ " WELD.

DESIGN WELD COLUMN TO BRM ALLOWABLE = 21 K

NEED TO RESIST $1.25 + 2.08 = 3.33$ K

\Rightarrow SHEAR CAPACITY $\frac{21}{3.33} = 6.3$ " OF WELD REQUIRED

\Rightarrow USE 3.5" EACH SIDE OK

CONNECTION CALCS

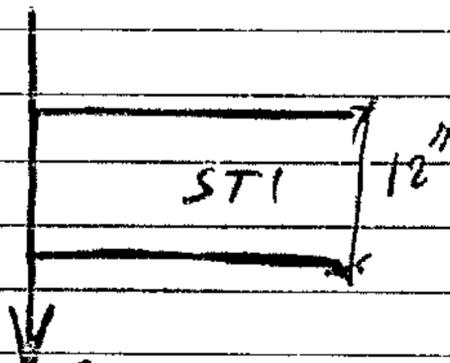
STRINGERS TO LANDING (WELDING)

USE E70 ELECTRODES

\Rightarrow WELD = 70 KSI x 0.66 = 46 KSI

FOR 1/4" WELD. RESECTION

MAX LOADING ON ST1 = DL = 814 lbs
 LL = 1,500 lbs.



THICK.
 MC 12x10.6 0.19
 0.31

SEE COMPUTER PRINTOUT.

P { 814 lbs
 1,500 lbs

PLATE THICKNESS = 3/8"
 WELD 1/4"

$\frac{2,314 \text{ lbs}}{\Rightarrow 2.5 \text{ K}}$

SEE COMPUTER PRINTOUT 1/4" ALL AROUND IS MORE THAN SATISFACTORY

ONLY NEED 5" OF WELDEN

$\frac{5"}{=} 5" \text{ OF } 1/4" \text{ WELD.}$

Mark Markarian, P.E.

PROJECT :
CLIENT :
JOB NO. :

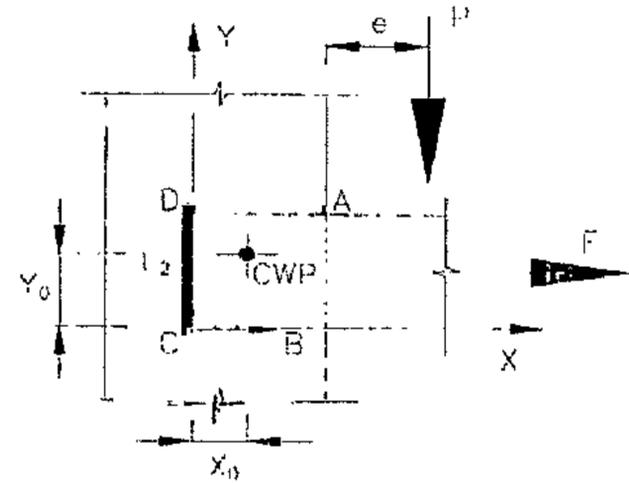
DATE :

PAGE :
DESIGN BY :
REVIEW BY :

Weld Capacity of Eccentric Connection Based on AISC 360-10

INPUT DATA & DESIGN SUMMARY

THICKER PART JOINED $t = 0.375$ in
 WELD SIZE $w = 0.25$ in $\leftarrow 1/4"$
 GRAVITY LOAD, ASD $P = 2.5$ kips
 ECCENTRICITY TO EDGE $e = 4$ in
 LATERAL LOAD, ASD $F = 1$ kips
 WELD LENGTH, DA $L_2 = 5$ in $\leftarrow 5'$
 WELD LENGTH, DC $L_3 = 0$ in
 WELD LENGTH, CB



THE CONNECTION DESIGN IS ADEQUATE.

ANALYSIS

MIN WELD SIZE (AISC 360-10 Tab. J2.4) $w_{min} = 0.19$ in
 MAX WELD SIZE (AISC 360-10 J2.2b) $w_{max} = 0.31$ in
 EFFECTIVE THROAT THICKNESS $t_e = 0.707 w = 0.18$ in
 CENTROID OF WELD GROUP $X_0 = \frac{\sum X_i A_i}{\sum A_i} = 0.00$ in
 $Y_0 = \frac{\sum Y_i A_i}{\sum A_i} = 2.5$ in
 CENTROIDAL MOMENT OF INERTIA $I_x = \frac{\sum (b h^3}{12} + A d^2) = 2$ in⁴
 $I_y = \frac{\sum (b h^3}{12} + A d^2) = 0$ in⁴
 TOTAL ECCENTRICITY $e_{total, P} = e + L_1 - X_0 = 4.0$ in
 $e_{total, F} = 0.5 L_2 - Y_0 = 0.0$ in
 ALLOWABLE STRESS (AISC 360-10 J2.4) $F_v = 0.6 F_{EXX} / \Omega = 21.0$ ksi \leftarrow

DETERMINE SHEAR STRESS @ POINTS A, B, C, D

Point A: $f_x = F / A_w + \sum M y_A / (I_x + I_y) = 14.7$ ksi $f_y = -P / A_w - \sum M x_A / (I_x + I_y) = -2.8$ ksi
 Point B: $f_x = F / A_w - \sum M y_B / (I_x + I_y) = -12.4$ ksi $f_y = -P / A_w - \sum M x_B / (I_x + I_y) = -2.8$ ksi
 Point C: $f_x = F / A_w - \sum M y_C / (I_x + I_y) = -12.4$ ksi $f_y = -P / A_w + \sum M x_C / (I_x + I_y) = -2.8$ ksi
 Point D: $f_x = F / A_w + \sum M y_D / (I_x + I_y) = 14.7$ ksi $f_y = -P / A_w + \sum M x_D / (I_x + I_y) = -2.8$ ksi

CHECK SHEAR CAPACITY @ POINTS A, B, C, D

Point A: $f_v = (f_x^2 + f_y^2)^{0.5} = 15.0$ ksi $< F_v = 21.0$ ksi [Satisfactory]
 Point B: $f_v = (f_x^2 + f_y^2)^{0.5} = 12.7$ ksi $< F_v = 21.0$ ksi [Satisfactory]
 Point C: $f_v = (f_x^2 + f_y^2)^{0.5} = 12.7$ ksi $< F_v = 21.0$ ksi [Satisfactory]
 Point D: $f_v = (f_x^2 + f_y^2)^{0.5} = 15.0$ ksi $< F_v = 21.0$ ksi [Satisfactory]

CONNECTION BOLTING.
 STRINGER TO LANDING.
 USE $5/8"$ BOLTS PER A307 TOTAL OF 2

LOADING ON CONNECTION 2.5 K
 FROM ST1 WITH PLATE TO WOOD BEAM.
 SEE COMPUTER PRINTOUT OK

LANDING TO THE WALLS (MASONRY).

TOTAL WEIGHT OF STAIRS + LANDING.

$$4 \times (\text{ST1 BEAM}) + (4 \times 8.5) \begin{pmatrix} 50 \text{ PSF} \\ 100 \text{ PSF} \end{pmatrix}$$

814
1500

$$\Rightarrow 4 \times 814 + 34 \times 50 = 4,956$$

$$4 \times 1500 + 34 \times 100 = 4,400$$

$$\Rightarrow \text{TOTAL} = 14,360 \text{ lbs.}$$

SEE COMPUTER PRINTOUT NEED 6 - $3/4"$ HELIX

TO HOLD PLATFORM UP

AVAILABLE BOLTS. $3/4"$ @ 14" O.C.

$4' + 4' + 8' = 16'$ PERIMETER \Rightarrow AVAILABLE 14 BOLTS.

Mark Markarian, P.E.

PROJECT :
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JOB NO. :

DATE :

PAGE :
DESIGN BY :
REVIEW BY :

Bolt Connection Design Based on AISC Manual 14th Edition (AISC 360-10)

INPUT DATA & DESIGN SUMMARY

STEEL YIELD STRESS $F_y = 50$ ksi

SIDE PLATE THICKNESS $t_s = 0.25$ in by 1 One Side

THINNESS $A_b = 5$ in². (Total Section Area)

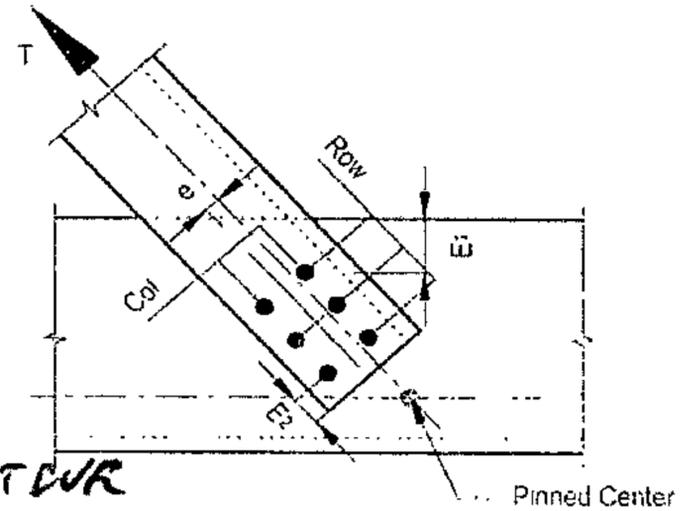
$E_2 = 1.5$ in

BASE PLATE THICKNESS $t_b = 0.25$ in

$E_1 = 1.5$ in

TOTAL AXIAL LOAD, ASD $T = 2.5$ kips. (Single Shear)

$e = 4$ in. (to bolts center)



BOLT DIAMETER $\phi = 0.625$ in (5/8 in)

BOLT MATERIAL (A307, A325, A490) $ASTM = A307$

HOLE TYPE (STD, NSL, OVS, SSL, LSL) \Rightarrow STD

CONSERVATIVE

- STD = Standard round holes ($d + 1/16$ ")
- NSL = Long or short-slotted hole normal to load direction
- OVS = Oversize round holes
- SSL = Short-slotted holes
- LSL = Long-slotted holes

THE DESIGN IS ADEQUATE.

CONNECTION TYPE (SC, N, X) \Rightarrow N

- SC = Slip critical connection
- N = Bearing-type connection with threads included in the shear plane
- X = Bearing-type connection with threads excluded from the shear plane

BOLTS NUMBER 2 Rows 1 Column, (Total 2 Bolts)

MINIMUM BOLT SPACING $s = 3$ in

ANALYSIS

CHECK DIMENSION LIMITATIONS (AISC 360-10 J3)

Bolt spacing required = 3.00 in. (Tab J3.3) < 3 in [Satisfactory]

Edge spacing required = 1.50 in. (Tab J3.4) < $Min(E_1, E_2)$ [Satisfactory]

CHECK BOLT CAPACITY (AISC 360-10 J3)

Maximum single bolt shear $v = (T/2) \times 2.00 = 2.5$ kips / bolt

< [Satisfactory]

Allowable shear capacity $R_n / \Omega_v = 3.7$ kips / bolt. (AISC 14th Table 7)

CHECK NET TENSION FRACTURE OF SIDE PLATE (AISC 360-10 J4.1)

$F_{up} = 58$ ksi (for plate, AISC Manual 14th Edition, page 2-39)

$(F_{up} / \Omega) [A_b - Col(\phi + 1/8) t_s] = 141$ kips > T [Satisfactory]

CHECK BASE PLATE BLOCK SHEAR (AISC 360-10 J4)

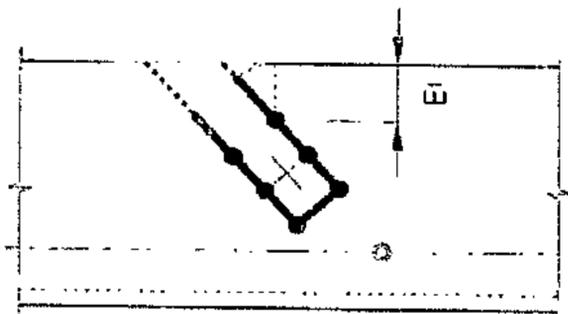
$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 29$ kips

> $2v = T \times 2.00 = 5$ kips

[Satisfactory]

Where $A_v = 1.6875$ in². (Total Shear Area)

$A_t = 0.00$ in². (End Tension Area)



CHECK SIDE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 29$ kips

> $2v = T \times 2.00 = 5$ kips

[Satisfactory]

Where $A_v = 1.69$ in². (Total Shear Area)

$A_t = 0.00$ in². (End Tension Area)

Mark Markarian, P.E.

PROJECT :
CLIENT :
JOB NO. :

DATE :

PAGE :
DESIGN BY :
REVIEW BY :

Bolt Connection Design Based on AISC Manual 14th Edition (AISC 360-10)

INPUT DATA & DESIGN SUMMARY

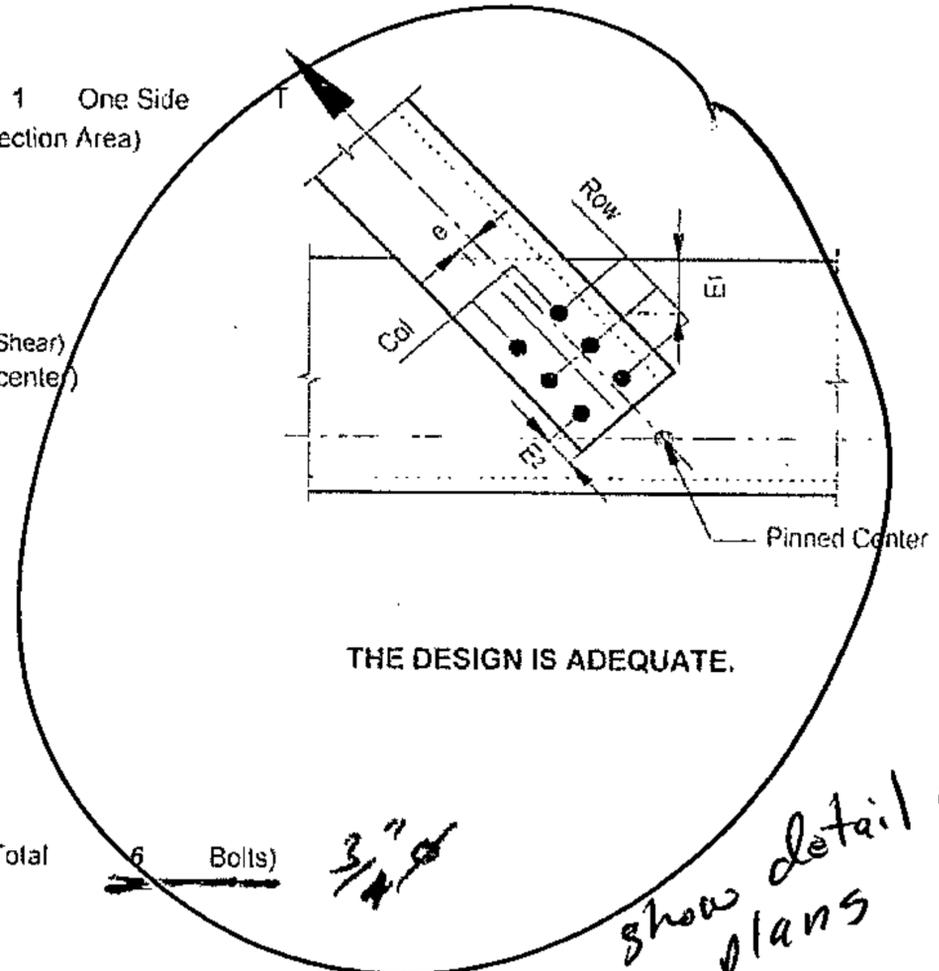
STEEL YIELD STRESS $F_y = 50$ ksi
 SIDE PLATE THICKNESS $t_s = 0.25$ in by 1 One Side
 $A_b = 5$ in², (Total Section Area)
 $E_2 = 1.5$ in
 BASE PLATE THICKNESS $t_b = 0.25$ in
 $E_1 = 1.5$ in
 TOTAL AXIAL LOAD, ASD $T = 14.36$ kips, (Single Shear)
 $e = 4$ in, (to bolts center)

BOLT DIAMETER $\phi = 0.75$ in (3/4 in)
 BOLT MATERIAL (A307, A325, A490) ASTM = A307
 HOLE TYPE (STD, NSL, OVS, SSL, LSL) => STD

STD = Standard round holes (d + 1/16")
 NSL = Long or short-slotted hole normal to load direction
 OVS = Oversize round holes
 SSL = Short-slotted holes
 LSL = Long-slotted holes

CONNECTION TYPE (SC, N, X) => N
 SC = Slip critical connection
 N = Bearing-type connection with threads included in the shear plane
 X = Bearing-type connection with threads excluded from the shear plane

BOLTS NUMBER 6 Rows 1 Column, (Total)
 MINIMUM BOLT SPACING $s = 3$ in



ANALYSIS

CHECK DIMENSION LIMITATIONS (AISC 360-10 J3)

Bolt spacing required = 3.00 in, (Tab J3.3) < 3 in [Satisfactory]
 Edge spacing required = 1.50 in, (Tab J3.4) < $Min(E_1, E_2)$ [Satisfactory]

CHECK BOLT CAPACITY (AISC 360-10 J3)

Maximum single bolt shear $v = (T/6) \times 2.00 = 4.8$ kips / bolt
 Allowable shear capacity $R_n / \Omega_v = 5.3$ kips / bolt, (AISC 14th Table 7) [Satisfactory]

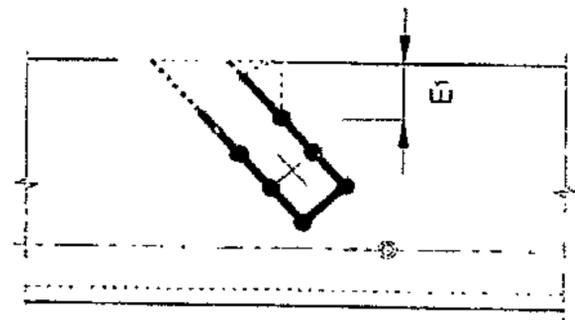
CHECK NET TENSION FRACTURE OF SIDE PLATE (AISC 360-10 J4.1)

$F_{up} = 58$ ksi (for plate, AISC Manual 14th Edition, page. 2-39)
 $(F_{up} / \Omega) [A_b - Col(\phi + 1/8) t_s] = 140$ kips > T [Satisfactory]

CHECK BASE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 102$ kips
 > $6v = T \times 2.00 = 29$ kips [Satisfactory]

Where $A_v = 5.84375$ in², (Total Shear Area)
 $A_t = 0.00$ in², (End Tension Area)



CHECK SIDE PLATE BLOCK SHEAR (AISC 360-10 J4)

$0.6 A_v F_{up} / \Omega + A_t F_{up} / \Omega = 102$ kips
 > $6v = T \times 2.00 = 29$ kips [Satisfactory]

Where $A_v = 5.84$ in², (Total Shear Area)
 $A_t = 0.00$ in², (End Tension Area)

RTS

BOLTS, THREADED PARTS AND RIVETS

Shear

Allowable load in kips

R BOLTS

Type of Material ^a	Headed or Unheaded
C	H
C, QT	H
A, QT	H, U
A, QT	H, U
C, QT	H, U
A, QT	H
A, QT, NT	U
C	U
HSLA	U
HSLA	U
HSLA, ACR	U

characteristics comparable to

specifications can be obtained as connectors or for welded or heated. Specifications may be obtained quenched and tempered

TABLE I-D. SHEAR

ASTM Designation	Connection Type ^a	Rivet Type ^b	F _v ksi	Loading ^c	Nominal Diameter d, in.								
					Area Based on Nominal Diameter d, in. ^d								
					3/8	1/2	5/8	3/4	7/8	1	1 1/8	1 1/4	
Bolts	A307	STD	10.0	S	3.1	4.4	6.0	7.9	9.5	12.0	14.8	17.7	
		NSL	10.0	D	6.1	8.5	12.0	15.7	19.3	24.5	29.7	35.3	
	A325	SC ^e Class A	STD	17.0	S	5.23	7.51	10.2	13.4	16.5	20.9	25.2	30.0
			OVS. SSL	15.0	S	4.60	6.53	8.92	11.8	14.5	18.4	22.3	26.9
			D	8.20	D	13.3	18.0	23.6	29.9	36.8	44.6	53.0	
		N	STD	21.0	S	3.63	5.30	7.22	9.42	11.9	14.7	17.8	21.3
			NSL	21.0	D	7.38	10.6	14.4	18.8	23.9	29.4	35.6	42.4
			X	STD	30.0	S	9.4	13.3	18.0	23.6	29.1	36.1	44.5	53.0
	A490	SC ^e Class A	STD	21.0	S	6.44	9.28	12.6	16.5	20.7	25.9	31.2	37.1
			OVS. SSL	18.0	S	5.52	7.95	10.8	14.1	17.8	22.1	26.7	31.9
			D	11.0	D	15.9	21.6	28.3	35.7	44.2	53.5	63.6	
		N	STD	23.0	S	9.0	12.4	16.8	22.0	27.5	34.1	41.6	49.5
NSL			23.0	D	17.2	24.7	33.7	44.0	55.7	68.7	83.2	99.3	
X			STD	30.0	S	12.0	17.7	24.1	31.4	39.1	48.1	58.4	70.7
Rivets	A502-1	STD	17.5	S	5.4	7.7	10.5	13.7	17.4	21.5	26.0	30.9	
	D	10.7	D	15.5	21.0	27.5	34.3	42.3	52.0	61.8			
Threaded Parts	A36 (F _v = 53 ksi)	STD	9.9	S	3.0	4.4	6.0	7.9	9.5	12.0	14.8	17.7	
		D	6.1	D	8.7	11.9	15.6	19.7	24.1	29.4	35.3		
	A572, Gr. 50 (F _v = 65 ksi)	STD	12.0	S	3.9	5.7	7.7	10.1	12.3	15.7	19.0	22.8	
		D	7.9	D	11.3	15.4	20.1	25.4	31.4	38.0	45.2		
	A588 (F _v = 70 ksi)	STD	11.1	S	3.4	4.9	6.7	8.7	10.6	13.0	15.6	18.0	
		D	8.0	D	9.3	13.3	17.4	22.1	27.2	33.0	39.2		
	A590	STD	14.3	S	4.4	6.3	8.6	11.2	14.0	17.3	21.2	25.3	
		D	8.8	D	12.6	17.2	22.5	28.4	35.1	42.5	50.5		
	A598	STD	11.9	S	3.7	5.3	7.2	9.3	11.5	14.6	17.7	21.0	
		D	7.3	D	10.5	14.3	18.7	23.7	29.1	35.3	42.1		
	A598	STD	15.4	S	4.7	6.8	9.3	12.1	15.1	18.7	22.9	27.2	
		D	9.4	D	13.5	18.5	24.2	30.5	37.3	45.7	54.4		

^aSC = Slip critical connection.
^bN: Bearing-type connection with threads included in shear plane
^cX: Bearing-type connection with threads excluded from shear plane.
^dSTD: Standard round holes (d = 1/16 in.) OVS. Oversize round holes
 LSL: Long-slotted holes normal to load direction SSL: Short-slotted holes
 NSL: Long or short-slotted hole normal to load direction (required in bearing-type connections).
^eS: Single shear D: Double shear.
 For threaded parts of materials not listed, use F_v = 0.17F_u when threads are included in a shear plane, and F_v = 0.22F_u when threads are excluded from a shear plane.
 To fully pretension bolts 1 1/4-in. dia. and greater, special inspect wrenches may be required.
 When bearing-type connections used to carry tension members have a fastener protrusion whose length measured parallel to the line of force, exceeds 50 in., tabulated values shall be reduced by 70%. See AISI ASD Commentary Sect. 3.4.

Tension Loads for Carbon-Steel Wedge-All® (and Tie-Wire) Anchors
in Normal-Weight Concrete

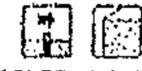


Size In. (mm)	Embed. Depth In. (mm)	Critical Edge Dist. In. (mm)	Critical Spacing In. (mm)	Tension Load						Drill Bit Torque In-lbs (N-m)	
				f _c ≥ 2000 psi (13.8 MPa) Concrete			f _c ≥ 3000 psi (20.7 MPa) Concrete				
				Ultimate lbs. (kN)	Std. Dev. lbs. (kN)	Allowable lbs. (kN)	Allowable lbs. (kN)	Ultimate lbs. (kN)	Allowable lbs. (kN)		
1/4" (6.4)	1 1/4 (29)	2 1/4 (64)	1 1/4 (41)	580 (3.0)	167 (0.7)	170 (0.8)	205 (0.9)	960 (4.3)	230 (1.0)	210 (.1)	8 (10.8)
	2 1/4 (57)	2 1/4 (64)	3 1/4 (79)	1,920 (8.5)	285 (1.3)	480 (2.1)	530 (2.4)	2,320 (10.3)	105 (0.5)	680 (3.0)	
3/8" (9.5)	1 3/4 (44)	3 1/4 (95)	2 1/4 (60)	1,560 (6.9)	261 (1.2)	390 (1.7)	555 (2.5)	2,800 (12.0)	500 (2.2)	720 (3.2)	50 (40.7)
	2 1/4 (67)	3 1/4 (95)	3 1/4 (92)	3,360 (14.9)	464 (2.1)	840 (3.7)	1,100 (4.9)	5,440 (24.2)	550 (2.5)	1,350 (6.0)	
	3 1/4 (86)	3 1/4 (95)	4 1/4 (121)	3,600 (15.4)	585 (2.6)	920 (4.1)	1,140 (5.1)	5,440 (24.2)	310 (1.4)	1,350 (6.0)	
1/2" (12.7)	2 1/4 (57)	5 (127)	3 1/4 (79)	3,280 (14.6)	871 (3.9)	820 (3.6)	1,070 (4.8)	6,280 (23.5)	849 (3.8)	1,320 (5.9)	50 (41.3)
	3 1/4 (86)	5 (127)	4 1/4 (121)	6,040 (26.9)	654 (2.9)	1,510 (6.7)	1,935 (8.9)	9,840 (43.8)	1,380 (5.8)	3,460 (15.5)	
	4 1/4 (114)	5 (127)	6 1/4 (159)	6,960 (31.0)	839 (3.7)	1,740 (7.7)	2,350 (10.5)	11,840 (52.7)	2,460 (11.0)	3,950 (17.5)	
5/8" (15.9)	2 1/4 (70)	6 1/4 (159)	3 1/4 (98)	4,520 (20.1)	120 (0.5)	1,130 (5.0)	1,040 (4.7)	6,600 (29.3)	720 (3.2)	1,150 (5.1)	90 (122.0)
	4 1/4 (114)	6 1/4 (159)	6 1/4 (159)	8,200 (36.5)	612 (2.7)	2,050 (9.1)	2,990 (13.3)	15,720 (69.9)	1,224 (5.4)	1,930 (8.7)	
	5 1/4 (140)	6 1/4 (159)	7 1/4 (197)	8,200 (36.5)	639 (2.8)	2,050 (9.1)	2,990 (13.3)	15,720 (69.9)	1,118 (5.0)	1,930 (8.7)	
3/4" (19.1)	3 1/4 (86)	7 1/2 (191)	4 1/4 (121)	6,760 (30.1)	1,452 (6.5)	1,690 (7.5)	2,090 (9.3)	9,960 (44.3)	1,324 (5.9)	1,490 (6.7)	150 (203.4)
	5 (127)	7 1/2 (191)	7 (178)	10,040 (44.7)	544 (2.4)	2,510 (11.2)	3,225 (14.3)	15,760 (70.1)	1,550 (6.9)	1,940 (8.7)	
	6 1/4 (171)	7 1/2 (191)	9 1/2 (241)	10,040 (44.7)	1,568 (7.1)	2,510 (11.2)	3,380 (15.0)	17,900 (79.5)	1,668 (7.4)	1,250 (5.6)	
7/8" (22.2)	3 1/4 (98)	8 1/4 (222)	5 1/4 (137)	7,480 (33.3)	821 (3.7)	1,070 (4.8)	2,275 (10.1)	10,720 (47.7)	1,263 (5.6)	2,660 (11.9)	200 (271.2)
	7 1/4 (200)	8 1/4 (222)	11 (279)	17,040 (75.8)	1,566 (7.0)	4,700 (20.9)	4,670 (20.8)	20,320 (90.4)	2,401 (10.7)	5,080 (22.6)	
1" (25.4)	4 1/4 (114)	10 (254)	6 1/4 (159)	15,400 (68.5)	2,440 (10.9)	3,530 (15.7)	3,885 (17.3)	15,560 (69.7)	1,871 (8.3)	3,920 (17.4)	300 (406.7)
	9 (229)	10 (254)	12 1/4 (321)	20,760 (92.3)	3,116 (13.9)	5,190 (23.1)	6,355 (28.3)	30,080 (133.8)	1,612 (7.2)	7,520 (33.5)	
1 1/4" (31.8)	5 1/4 (143)	12 1/4 (318)	7 1/4 (202)	15,160 (67.4)	1,346 (6.0)	3,780 (16.9)	4,950 (22.2)	24,760 (110.1)	625 (2.8)	6,190 (27.5)	400 (542.3)
	9 1/2 (241)	12 1/4 (318)	13 1/4 (337)	20,160 (89.7)	3,250 (14.5)	6,040 (26.9)	8,635 (38.4)	48,920 (217.6)	1,691 (7.5)	12,230 (54.3)	

- The allowable loads listed are based on a safety factor of 4.0.
- Allowable loads may be increased by 33% for short-term loading due to wind or seismic forces where permitted by code.
- Refer to allowable load adjustment factors for edge distance and spacing on pages 144 and 145.
- Drill bit diameter used in base material corresponds to nominal anchor diameter.
- Allowable loads may be linearly interpolated between concrete strengths listed.
- Allowable loads for 1/4-inch size at 1 1/4-inch embedment apply to both the Wedge-All® and Tie-Wire anchors. Installation torque does not apply to the Tie-Wire anchor.
- The minimum concrete thickness is 1 1/2 times the embedment depth.

*See page 10 for an explanation of the load table values.

Shear Loads for Carbon-Steel Wedge-All® (and Tie-Wire) Anchors in Normal-Weight Concrete



Size In. (mm)	Embed Depth In. (mm)	Critical Edge Dist. In. (mm)	Critical Spacing In. (mm)	Shear Load					Install. Torque ft-lbs (N-m)
				f'c ≥ 2000 psi (13.8 MPa) Concrete			f'c ≥ 3000 psi (20.7 MPa) Concrete	f'c ≥ 4000 psi (27.6 MPa) Concrete	
				Ultimate lbs. (kN)	Std. Dev. lbs. (kN)	Allowable lbs. (kN)	Allowable lbs. (kN)	Allowable lbs. (kN)	
1/4" (6.4)	1 1/4" (29)	2 1/4" (54)	1 1/4" (41)	920 (4.1)	47 (0.2)	230 (1.0)	230 (1.0)	230 (1.0)	8 (10.8)
	2 1/4" (57)	2 1/4" (54)	3 1/4" (79)	-	-	230 (1.0)	230 (1.0)	230 (1.0)	
3/8" (9.5)	1 3/4" (44)	3 3/4" (95)	2 3/4" (60)	2,280 (10.1)	96 (0.4)	570 (2.5)	570 (2.5)	570 (2.5)	30 (40.7)
	2 3/4" (67)	3 3/4" (95)	3 3/4" (92)	4,220 (18.8)	304 (1.7)	1,055 (4.7)	1,055 (4.7)	1,055 (4.7)	
	3 3/4" (85)	3 3/4" (95)	4 3/4" (121)	-	-	1,055 (4.7)	1,055 (4.7)	1,055 (4.7)	
1/2" (12.7)	2 1/4" (57)	5 (127)	3 3/4" (79)	5,560 (29.2)	350 (3.5)	1,345 (5.0)	1,485 (6.6)	1,625 (7.2)	60 (81.3)
	3 3/4" (85)	5 (127)	4 3/4" (121)	6,160 (35.3)	380 (3.9)	1,675 (7.5)	1,850 (8.2)	2,020 (9.0)	
	4 3/4" (114)	5 (127)	6 1/4" (159)	-	-	1,675 (7.5)	1,850 (8.2)	2,020 (9.0)	
5/8" (15.9)	2 3/4" (70)	6 1/4" (159)	3 3/4" (98)	8,720 (38.8)	1,609 (7.6)	1,620 (7.2)	1,900 (8.5)	2,180 (9.7)	90 (122.0)
	4 1/4" (114)	6 1/4" (159)	5 1/4" (159)	12,570 (55.9)	396 (1.8)	2,330 (10.4)	2,740 (12.2)	3,145 (14.0)	
	5 1/4" (140)	6 1/4" (159)	7 1/4" (197)	-	-	2,330 (10.4)	2,740 (12.2)	3,145 (14.0)	
3/4" (19.1)	3 3/4" (86)	7 1/4" (191)	4 3/4" (121)	11,360 (50.5)	792 (3.5)	2,840 (12.6)	2,940 (12.6)	2,840 (12.6)	150 (203.4)
	5 (127)	7 1/4" (191)	7 (176)	18,430 (82.6)	1,921 (8.5)	4,610 (20.5)	4,610 (20.5)	4,610 (20.5)	
	6 1/4" (171)	7 1/4" (191)	9 1/2" (241)	-	-	4,610 (20.5)	4,610 (20.5)	4,610 (20.5)	
7/8" (22.2)	3 3/4" (98)	8 3/4" (222)	5 3/4" (137)	13,760 (61.2)	2,050 (9.2)	3,440 (15.3)	3,440 (15.3)	3,440 (15.3)	200 (271.2)
	7 1/4" (200)	8 3/4" (222)	11 (279)	22,300 (99.2)	477 (2.1)	5,575 (24.8)	5,575 (24.8)	5,575 (24.8)	
1" (25.4)	4 1/4" (114)	10 (254)	6 1/4" (159)	22,519 (100.2)	1,156 (5.1)	5,730 (25.5)	5,730 (25.5)	5,730 (25.5)	300 (405.7)
	9 (229)	10 (254)	12 3/4" (321)	25,360 (112.9)	729 (3.2)	6,345 (28.2)	6,345 (28.2)	6,345 (28.2)	
1 1/4" (31.8)	5 3/4" (143)	12 1/4" (318)	7 1/4" (200)	29,320 (130.4)	2,099 (9.3)	7,330 (32.6)	7,330 (32.6)	7,330 (32.6)	400 (542.3)
	9 1/4" (241)	12 1/4" (318)	13 1/4" (337)	-	-	7,330 (32.6)	7,330 (32.6)	7,330 (32.6)	

- The allowable loads listed are based on a safety factor of 4.0.
- Allowable loads may be increased by 33% for short-term loading due to wind or seismic forces where permitted by code.
- Refer to allowable load-adjustment factors for spacing and edge distance on pages 144, 145 and 147.
- Drill bit diameter used in base material corresponds to nominal anchor diameter.
- Allowable loads may be linearly interpolated between concrete strengths listed.
- Allowable loads for 1/4-inch size at 1 1/4-inch embedment apply to both the Wedge-All® and Tie-Wire anchors. Installation torque does not apply to the Tie-Wire anchor.
- The minimum concrete thickness is 1 1/2 times the embedment depth.

*See page 10 for an explanation of the load table notes.



Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: **B16-1946**
Project Address: **27742 FORBES RD**
Valuation: **67000**
Project Description: **Permit for Steel Stair treads, landing. Deferred**
 submittal to B14-1549

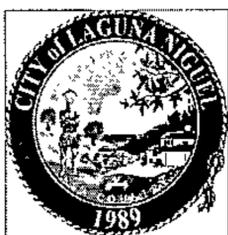
	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	9/2/16	9/12/16	9-13-16		SC
2nd Check:	11/20/16	12/5/16		12-1-16	SC
3rd Check:					
4th Check:					

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

School Fees Payment or Exemption Letter Received, Date: _____
 HOA Approval Received **N/A**
 Discretionary Application #(s), if applicable _____



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-2677

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 12/5/2016

DESCRIPTION OF WORK:

Permit for deferred submittal for truss calcs in reference to B14-1484. Segment 8 & 9. Field verify for code compliance

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	EXPIRES: 9/15/2017
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:



CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION \$52,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$465.66	\$664.70	\$27.27	\$1,157.63
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$3.00
GMU				
MISC				\$14.56
			TOTAL PERMIT FEES:	\$1,175.19
			TOTAL FEES PAID	\$1,175.19

Comments:

Planning Approval: _____

Date: _____

Building Permit Issued By: [Signature]

Date: 12/5/16

Issued Receipt#: R16-

R16-3979

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature [Signature]

Date 12/5/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

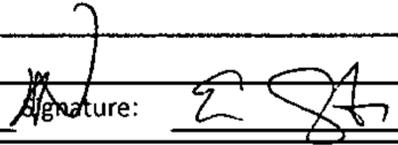
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 12/5/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2017
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
72. Driveway Nailing/Firewalls			935. FINAL - WATER QUALITY INSPECTION		
4. Taped Electrical Service or Pole			934. FINAL - BUILDING & SAFETY		
2. Initial Water Quality Inspection			933. Anti-Entrapment Device		
72. Driveway Nailing/Firewalls			932. FINAL - OCFPA PROJECT FINAL -		
400. P/S Pre Inspection for Fences			930. FINAL - OCFPA SPRINKLER SYSTEMS -		
400. P/S Pre Inspection for Fences			928. FINAL - GRADING		
6. Soil Pipe Underaround			927. FINAL - SMOKE DETECTOR/CO2		
8. Water Pipe Underaround			926. FINAL - WATER DISTRICT		
9. Sewer Line & House Connect			924. FINAL - O.C. HEALTH		
10. Electrical Conduit Underaround			922. FINAL - ENGINEERING/P.W.		
14. Gas Line Underaround & Test			920. FINAL - PLANNING		
16. Verify Setbacks			918. FINAL - RE-ROOF		
18. Footings & Steel			916. FINAL - ACCESSIBILITY REGULATIONS		
19. UFER			914. FINAL - GAS TEST		
20. Foundation - Slab on Grade			912. FINAL - WATER SERVICE		
21. Post Tension			910. FINAL - PLUMBING		
22. Steel Reinforce - Retain. Walls			908. FINAL - MECHANICAL		
24. Pre Grout Lift 1			906. FINAL - SIGN		
26. Pre Grout Lift 2			904. FINAL - ELECTRICAL		
29. Wall Drainage			902. FINAL - ELECTRICAL METER RELEASE		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			436. P/S FINAL - SOLAR SYSTEM		
34. Roof Drains/Deck Drains			434. P/S FINAL - POOL COVER		
36. Rough Plumbing/Gas Test			432. P/S FINAL - ELECTRICAL		
40. Hot Mud Shower			430. P/S FINAL - PLUMBING		
41. Lathing Interior			428. P/S FINAL - HEATER & VENT		
42. Rough Electrical			424. P/S Approved for Plastering		
44. Rough Mechanical			422. P/S Pre Deck		
46. Fire Dampers			420. P/S Fencing & Access Gates		
48. Roof Sheathing			418. P/S Final Backwash Recaptor		
50. Roof Framing			416. P/S Backwash Lines, P Trap, Underaround		
51. Approval to Cover Exterior			414. P/S Gas Pipe Underaround Test		
52. Shear Walls Interior			412. P/S Electrical Conduit Underamd.		
53. Preliminary Shear			410. P/S Approval to Cover - Gunite		
54. Shear Walls Exterior			402. P/S Pool & Equipment Loc.		
55. Preliminary Insulation					
56. Rough Frame & Flashing					
59. OCFPA Fire Sprinkler - Rough					
60. T-Bar Ceiling					
64. Lathing Exterior					
70. Insulation					



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road **Suite/Unit:** _____

Applicant/Agent: Alliance Residential **Tract Lot:** Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550 **Phone No.:** (949) 706 - 8460

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc. **Phone No.:** (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** bmccann@allresco.com

State License No.: 897318 **Class:** B **Expiration:** _____

Workman's Comp. Policy No.: TRJUB4245B18714 **Expiration:** _____

Insurance Company (if applicable): Lovitt & Touche

Architect: Humphreys & Partners **Reg No.:** _____ **Phone No.:** (949) 955 - 9400

Address: 2350 SE Bristol #310 **Email:** nima@humphreys.com

City: Newport Beach **State:** CA **Zip:** 92660

Engineer: VCA **Reg. No.:** _____ **Phone No.:** 714-978-9780

Address: 22200 W. Orange wood #150 **Email:** Kris.Nicolaisen@VCAstructural.com

City: Orange **State:** CA **Zip:** 92868

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment 8 & 9

Valuation: \$ 26k **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-2677</u>	Received By:	<u>[Signature]</u>	Date:	<u>1/2/16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:		Date:	
OK for issuance:		Reviewed By:		Date:	
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

\$ 465.66 [Signature]



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-3979

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$709.53
B16-2677 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$709.53
BUILDING			\$691.97
CBSC FEE			\$3.00
SMIP FEE MF AND COM			\$14.56
TOTAL FEES PAID BY RECEIPT:R16-3979			\$709.53

Date Paid: Monday, December 05, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: CT

Pay Method: CHECK 2469





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-3705

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$465.66
B16-2677 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$465.66
PLAN CHECK			\$465.66
TOTAL FEES PAID BY RECEIPT:R16-3705			\$465.66

Date Paid: Monday, November 07, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: AK

Pay Method: CHECK 2444





Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-2677
Project Address: 27742 FORBES RD
Valuation: 52000
Project Description: Permit for deferred submittal for truss calcs in reference to B14-1484. Segment 8 & 9. Field verify for code compliance

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1 st Check :	11/2/16	11/9/16		11/7/16	HT
2 nd Check:					
3 rd Check:					
4 th Check:					

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

- Attached is:
- ___ Set of Plans
 - ___ Set of Structural Calculations
 - ___ Soil Report
 - ___ Title 24 Energy Calculations
 - ___ Set of ES Reports
 - ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
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Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-2764

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

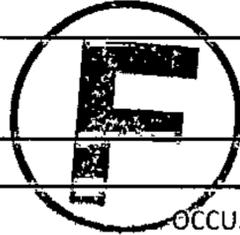
BUSINESS NAME:

ISSUED: 12/9/2016

DESCRIPTION OF WORK:

Deferred submittal for (2) elevators related to parking garage for Alliance. Elevators are 5 & 6 levels. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318	CLASS:
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#:
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:



CODE YEAR: 2013

CONSTR. TYPE: U

OCCUPANCY TYPE: U Utility Miscellaneous

TOTAL VALUATION: \$5,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$90.30	\$129.00	\$28.21	\$247.51
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$248.51
			TOTAL FEES PAID	\$248.51

Comments:

Planning Approval: _____
Building Permit Issued By: [Signature]

Date: _____
Date: 12/9/16

Issued Receipt#:

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature [Signature]

Date 12/9/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: [Signature]

Date: 12/9/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2017

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gutter		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermnd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verify Setbacks			418. P/S Final Backwash Resceptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain Walls			430. P/S FINAL - PLUMBING		
24. Pre Gout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Gout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			502. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - DCFA SPRINKLER SYSTEMS -		
59. OCFA Fire Sprinkler - Rough			932. FINAL - DCFA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Divi.
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Dr. Suite 550

Phone No.: () -

City: Newport Beach State: CA Zip: 92660

Email: _____

Property Owner: Broadstone Laguna Niguel, LLC

Phone No.: () -

Address: 450 Newport Center Dr.

City: _____ State: _____ Zip: _____

Email: _____

Contractor: Alliance Residential

Phone No.: () -

Address: 450 Newport Center Dr. Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmeccann@allresca.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (If applicable): Lovitt and Touche

Architect: ~~XXXXXXXXXX~~ AD Reg No.: _____

Phone No.: (714) 221-4922

Address: 129 N. Orange St.

City: Orange State: CA Zip: 92866

Email: JasonR@architectsorange.com

Engineer: Seneca Structural Reg. No.: _____

Phone No.: ~~XXXXXXXXXX~~ 949-545-8182

Address: 23276 South Pointe Dr. Ste. 209

City: Laguna Hills State: CA Zip: 92653

Email: Dirk@senecaststructural.com

Description of Work to be Performed (please be specific):
Deferred Submittal: Elevator connections to the structure (Parking Structure)
5
6 level

Valuation: \$ 15,000 Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] Payment: Cash or Check # _____ or Visa/MC

Activity Number:	<u>PL 16-2764</u>		Received By:	<u>[Signature]</u>	Date:	<u>11/2/16</u>
Planning Division:	YES	NO	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required:						
HOA or Property Manager Approval Letter Provided:						
OK for Plan Check:			Reviewed By:		Date:	
OK for issuance:			Reviewed By:		Date:	
Building Division:						
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA			<input type="checkbox"/> GMU	
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health			<input type="checkbox"/> Grading	

NO PIC
\$ 248.51
 Page 2 of 2

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Permit No: _____

Address: _____

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Signs	Type (Circle One)	Size (Sq. Ft.)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-3910

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$248.51
B16-2764 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Deferred submittal for elevator @ parking garage			
			\$248.51
BUILDING			\$157.21
CBSC FEE			\$1.00
PLAN CHECK			\$90.30
TOTAL FEES PAID BY RECEIPT:R16-3910			\$248.51

Date Paid: Monday, November 28, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: CWIL

Pay Method: CHECK 2455





October 27, 2016

Mr. Eric Spector
Alliance Residential Company

Re: Alliance – Gateway Village, Laguna Niguel

Dear Mr. Spector:

Seneca Structural Engineering, Inc. designed the elevator shaft at the Gateway Village Parking Structure for the structural demands of the garage, including the rail reactions that were listed on the elevator shop drawings. The elevator shop drawings that were submitted to the city/building department were reviewed by Seneca.

Please feel free to contact me with any other questions.

Sincerely,
SENECA STRUCTURAL ENGINEERING, INC.

RECEIVED

NOV 02 2016
CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT



K. Dirk Bondy, S.E.
President



Plan Check Routing Sheet

Building CAA Planning

(please return this form & all plans with your next submittal)

Plan Check #: B16-2764
Project Address: 27742 FORBES RD
Valuation: 0
Project Description: Deferred submittal for (2) elevators related to parking garage for Alliance. Elevators are 5 & 6 levels. Field verify for code compliance.

	SUBMITTED	DUE	CORRECTION	CLEARED	INITIAL
1st Check :	11/2/16	11/9/16	11-8-16		Sa
2nd Check:	11/30/16	12/7/16		12-2-16	Sa
3rd Check:					
4th Check:					

see email attached 😊

Plan Check Reviewed By: _____
Final Approval By: _____ **Date:** _____

- Attached is:
- ___ Set of Plans
 - ___ Set of Structural Calculations
 - ___ Soil Report
 - ___ Title 24 Energy Calculations
 - ___ Set of ES Reports
 - ___ Plan Check Correction List

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received **N/A**
 ___ Discretionary Application #(s), if applicable _____



PROFESSIONAL BUILDING & SAFETY ENGINEERING/INFRASTRUCTURE MANAGEMENT

**Plan Review Corrections
11-8-2016**

Owner: Alliance

Plan check No.: 16-2764

**Location/Project: 27742 Forbes Road
Laguna Niguel, CA 92677
Parking Garage Elevators**

Plan Checker: Steve Ahuna /CAA

- 1) Please provide calculations per ASCE Sections 4.6.2, 13.6.10, 13.6.10.1, 13.6.10.2, 13.6.10.3, 13.6.10.4.
- 2) Engineer to stamp/sign calculations and details per above ASCE 7-10 Section.
- 3) Elevator engineer to stamp/sign/date Elevator shop drawings.
- 4) Provide schematic layout of elevator locations in building.

CHARLES ABBOTT ASSOCIATES, INC.

27401 LOS ALTOS • SUITE 220 • MISSION VIEJO, CA 92691

TOLL FREE: (866) 530-4980 • PHONE: (949) 367-2850 • FAX: (949) 367-2852

WWW.CAAPROFESSIONALS.COM

Owner: Alliance

Plan check No.: 16-2764

Location/Project: 27742 Forbes Road
Laguna Niguel, CA 92677
Parking Garage Elevators

Plan Checker: Steve Ahuna /CAA

- 1) Please provide calculations per ASCE Sections 4.6.2, 13.6.10, 13.6.10.1, 13.6.10.2, 13.6.10.3, 13.6.10.4.
- 2) Engineer to stamp/sign calculations and details per above ASCE 7-10 Section.
- 3) Elevator engineer to stamp/sign/date Elevator shop drawings.
- 4) Provide schematic layout of elevator locations in building.

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TOLL FREE: (866) 530-4980 • PHONE: (949) 367-2850 • FAX: (949) 367-2852

WWW.CAAPROFESSIONALS.COM

Eric Spector

From: Steve Ahuna <steveahuna@caaprofessionals.com>
Sent: Tuesday, November 29, 2016 5:54 PM
To: Benjamin Tran
Cc: Eric Spector; Mark Wilson
Subject: Re: Elevator Connection to the Structure

Great. Ink-in C11 license number on plans with expiration date, and I will approve the project.

Eric was this the only item remaining before structural approval?

Thanks.

Steve

On Tue, Nov 29, 2016 at 5:32 PM, Benjamin Tran <Benjamin.Tran@kone.com> wrote:

Hi Eric,

KONE holds a C11 license in the state. It is not stated on the drawings however. License number is 179166.

Thanks!

V/R

Benjamin Tran

Project Manager
Los Angeles Construction/Modernization

KONE INC

11165 Knott Ave, Suite B

Cypress, CA 90630
Mobile [+1 808 479 9625](tel:+18084799625)

Email benjamin.tran@kone.com

www.kone.com

From: Eric Spector [<mailto:espector@allresco.com>]
Sent: Tuesday/29 November/2016 5:10 PM

To: Benjamin Tran
Cc: Steve Ahuna; Mark Wilson

Subject: RE: Elevator Connection to the Structure

Ben - Please see below and respond accordingly.

(Any contractor working in the state of California is required to be licensed by the state)

Eric Spector

Project Engineer

Alliance Residential

p- (240) 508-2791

e- espector@allresco.com

Broadstone Laguna Niguel

26022 Cape Dr. Suite A

Laguna Niguel, CA 92677

From: Steve Ahuna [<mailto:steveahuna@caaprofessionals.com>]

Sent: Tuesday, November 29, 2016 5:07 PM

To: Eric Spector <espector@allresco.com>

Subject: Re: Elevator Connection to the Structure

Eric does the Kone shop drawings show a California State License number? i.e. that the elevator company is recognized and licensed by the state? If so then the letter would not be required.

All labs and companies licensed by the state is good. Some plans will have the stamp by the state of California.

Steve

On Tue, Nov 29, 2016 at 4:37 PM, Eric Spector <espector@allresco.com> wrote:

Steve,

Kone is most definitely a state approved facility and thousands of these exact model elevators have been installed across the state of California. If Kone provides a letter on their letterhead that states that these elevators being installed on our Laguna Niguel project are designed to meet all state codes, will that suffice?

Thanks,

Eric Spector

Project Engineer

Alliance Residential

p- [\(240\) 508-2791](tel:(240)508-2791)

e- espector@allresco.com

Broadstone Laguna Niguel

26022 Cape Dr. Suite A

Laguna Niguel, CA 92677

From: Steve Ahuna [<mailto:steveahuna@caaprofessionals.com>]

Sent: Tuesday, November 29, 2016 10:20 AM

To: Eric Spector <espector@allresco.com>

Subject: Re: Elevator Connection to the Structure

Eric if the elevator company is a state approved facility then that would be okay. If the state approved number is on the elevator shop drawings then I will approve.

Let me know.

Thank you sir.

Steve

On Tue, Nov 29, 2016 at 9:13 AM, Eric Spector <espector@allresco.com> wrote:

All - I have Steve Ahuna (CAA plan checker) on this email.

Steve,

Please see Benjamin's comments below referencing the ASCE sections you mentioned – highlighted in yellow below. As discussed on the phone, the deferred submittal requirement on the plans reads: "Elevator Connections to the structure." Please confirm if the items below and review stamp by SEOR on reaction load page of the submittal (as originally submitted) will suffice.

Thanks,

Eric Spector

Project Engineer

Alliance Residential

p- [\(240\) 508-2791](tel:(240)508-2791)

e- espector@allresco.com

Broadstone Laguna Niguel

26022 Cape Dr. Suite A

Laguna Niguel, CA 92677

From: Benjamin Tran [mailto:Benjamin.Tran@kone.com]

Sent: Tuesday, November 29, 2016 8:50 AM

To: Eric Spector <espector@allresco.com>; Bryan Allred <Bryan@SenecaStructural.com>; 'Dirk Bondy' <Dirk@senecastructural.com>

Cc: 'Jason Rupp' <jasonr@Architectsorange.com>; Mark Wilson <mwilson@allresco.com>; Becca Gillmore <Rebecca.Gillmore@kone.com>; Benjamin Tran <Benjamin.Tran@kone.com>

Subject: RE: Elevator Connection to the Structure

Hi Bryan and Eric,

On projects similar to this, KONE does not provide calcs or stamped drawings. Typically, the approved drawings are stamped by the SEOR (as suggested below) and approved by the city.

If KONE needs to provide engineered drawings and calcs, it would be an added cost.

Please note that the elevator systems provided by KONE for this project have been previously submitted to the state for approval. The submittal included, drawings, calculations, and associated approvals. KONE only provides drawings and calcs for City of LA Plan Check, DSA, or OSHPD projects.

I have provide my notes below based on the call outs per the attached. Based on the information above and below, I don't believe KONE is required to provide calcs.

4.6 EQUIPMENT REACTIONS, CR



The reactions from equipment, with due consideration of all loading conditions, shall be used in the design of the temporary or partially completed structure. The equipment reactions shall include the full weight of the equipment operating at its maximum rated load in conjunction with any applicable environmental loads unless the use is restricted and revised reactions are developed.

KONE's drawings provide the reactions.

13.6.10 Elevator and Escalator Design Requirements. Elevators

and escalators designed in accordance with the seismic requirements

of ASME A17.1 shall be deemed to meet the seismic

force requirements of this section, except as modified in the following

text.

KONE's equipment is designed to meet ASME A17.1 2004.

13.6.10.2 Elevator Equipment and Controller Supports and

Attachments. Elevator equipment and controller supports and

attachments shall be designed to meet the force and displacement

requirements of Sections 13.3.2 and 13.3.2.

KONE's system has been designed to meet ASME A17.1 2004. The state has provided their acceptance of the elevator system.

13.6.10.3 Seismic Switches. Elevators operating with a speed of

150 ft/min (46 m/min) or greater shall be provided with seismic

switches. Seismic switches shall provide an electrical signal indicating

that structural motions are of such a magnitude that the

operation of elevators may be impaired. The seismic switch shall

be located at or above the highest floor serviced by the elevators.

The seismic switch shall have two horizontal perpendicular axes

of sensitivity. Its trigger level shall be set to 30 percent of the

acceleration of gravity. Upon activation of the seismic switch,

elevator operations shall conform to requirements of ASME

A17.1, except as noted in the following text.

In facilities where the loss of the use of an elevator is a lifesafety

issue, the elevator shall only be used after the seismic switch

has triggered provided that:

1. The elevator shall operate no faster than the service speed.

2. Before the elevator is occupied, it is operated from top to

bottom and back to top to verify that it is operable.

KONE will be installing a seismic switch which meets ASME A17.1 2004

13.6.10.4 Retainer Plates. Retainer plates are required at the top

and bottom of the car and counterweight.

KONE will be installing seismic retaining plates as required by ASME A17.1 2004

Thanks!

V/R

Benjamin Tran

Project Manager
Los Angeles Construction/Modernization

KONE INC

11165 Knott Ave, Suite B

Cypress, CA 90630
Mobile +1 808 479 9625

Email benjamin.tran@kone.com

www.kone.com

From: Eric Spector [<mailto:espector@allresco.com>]

Sent: Monday/28 November/2016 4:39 PM

To: Bryan Allred; 'Dirk Bondy'; Benjamin Tran

Cc: 'Jason Rupp'; Mark Wilson; Becca Gillmore

Subject: RE: Elevator Connection to the Structure

That is correct.

Thanks,

Eric Spector

Project Engineer

Alliance Residential

p- (240) 508-2791

e- espector@allresco.com

Broadstone Laguna Niguel

26022 Cape Dr. Suite A

Laguna Niguel, CA 92677

From: Bryan Allred [mailto:Bryan@SenecaStructural.com]

Sent: Monday, November 28, 2016 4:16 PM

To: Eric Spector <espector@allresco.com>; 'Dirk Bondy' <Dirk@senecastructural.com>; 'Benjamin Tran' <Benjamin.Tran@kone.com>

Cc: 'Jason Rupp' <jasonr@Architectsorange.com>; Mark Wilson <mwilson@allresco.com>; 'Becca Gillmore' <Rebecca.Gillmore@kone.com>

Subject: RE: Elevator Connection to the Structure

We can add a shop drawing stamp, but I believe item #2 needs to be stamped by the elevator engineer. Comment #2 appears to be linked to #1.

BRYAN ALLRED, S.E. | VICE PRESIDENT
SENECA STRUCTURAL ENGINEERING, INC.
23216 SOUTH PONTE DRIVE, SUITE 209 LAGUNA HILLS, CA 92653
949-595-8187, EXT. 2 | WWW.SENECASTRUCTURAL.COM

From: Eric Spector [mailto:espector@allresco.com]

Sent: Monday, November 28, 2016 4:07 PM

To: Dirk Bondy <Dirk@senecastructural.com>; 'Bryan Allred' <Bryan@SenecaStructural.com>; Benjamin Tran <Benjamin.Tran@kone.com>

Cc: Jason Rupp <jasonr@Architectsorange.com>; Mark Wilson <mwilson@allresco.com>; Becca Gillmore <Rebecca.Gillmore@kone.com>

Subject: Elevator Connection to the Structure

Seneca / Kone,

Please see the attached plan check comments from the city regarding the deferred submittal for the project. Kone to provide items 1 and 3, delivered to the jobsite. Alliance will coordinate with Seneca for a signature (item 2) after the elevator engineer has provided these calcs. Alliance will provide the schematic layout (item #4).

Three copies will be needed with a wet stamp and signature of all items.

Ben – Please confirm when you can have this information provided and Fed Ex'd to the jobsite.

Thanks,

Eric Spector

Project Engineer

Alliance Residential

p- (240) 508-2791

e- espector@allresco.com

Broadstone Laguna Niguel

26022 Cape Dr. Suite A

Laguna Niguel, CA 92677



October 27, 2016

Mr. Eric Spector
Alliance Residential Company

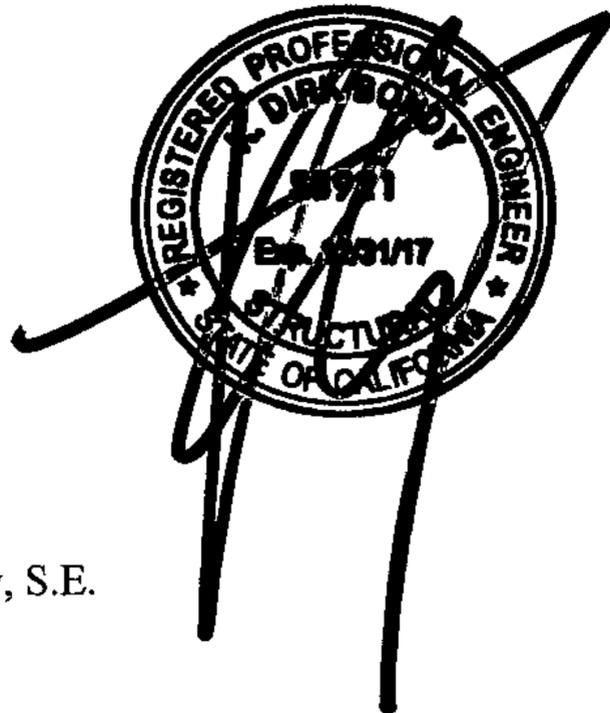
Re: Alliance – Gateway Village, Laguna Niguel

Dear Mr. Spector:

Seneca Structural Engineering, Inc. designed the elevator shaft at the Gateway Village Parking Structure for the structural demands of the garage, including the rail reactions that were listed on the elevator shop drawings. The elevator shop drawings that were submitted to the city/building department were reviewed by Seneca.

Please feel free to contact me with any other questions.

Sincerely,
SENECA STRUCTURAL ENGINEERING, INC.



K. Dirk Bondy, S.E.
President

RECEIVED
NOV 02 2016
CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT

RECEIVED
NOV 02 2016
CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT

B16-2764



October 27, 2016

Mr. Eric Spector
Alliance Residential Company

Re: Alliance – Gateway Village, Laguna Niguel

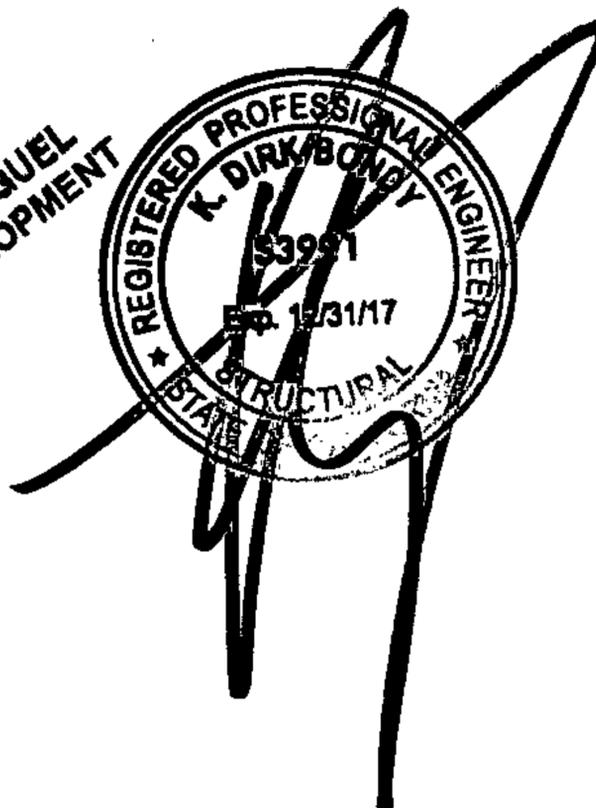
Dear Mr. Spector:

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Please feel free to contact me with any other questions.

Sincerely,
SENECA STRUCTURAL ENGINEERING, INC.

RECEIVED
NOV 02 2016
CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT



16-2764

K. Dirk Bondy, S.E.
President



CONTRACTORS STATE LICENSE BOARD



Contractor's License Detail for License # ~~179166~~

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Data current as of 11/30/2016 7:23:27 AM

Business Information

KONE INC
ONE KONE COURT
MOLINE, IL 61265
Business Phone Number: (309) 743-5574

Entity Corporation

Issue Date 11/03/1958

Expire Date 06/30/2018

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This license is current and active.

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C-61 / D21 - MACHINERY AND PUMPS

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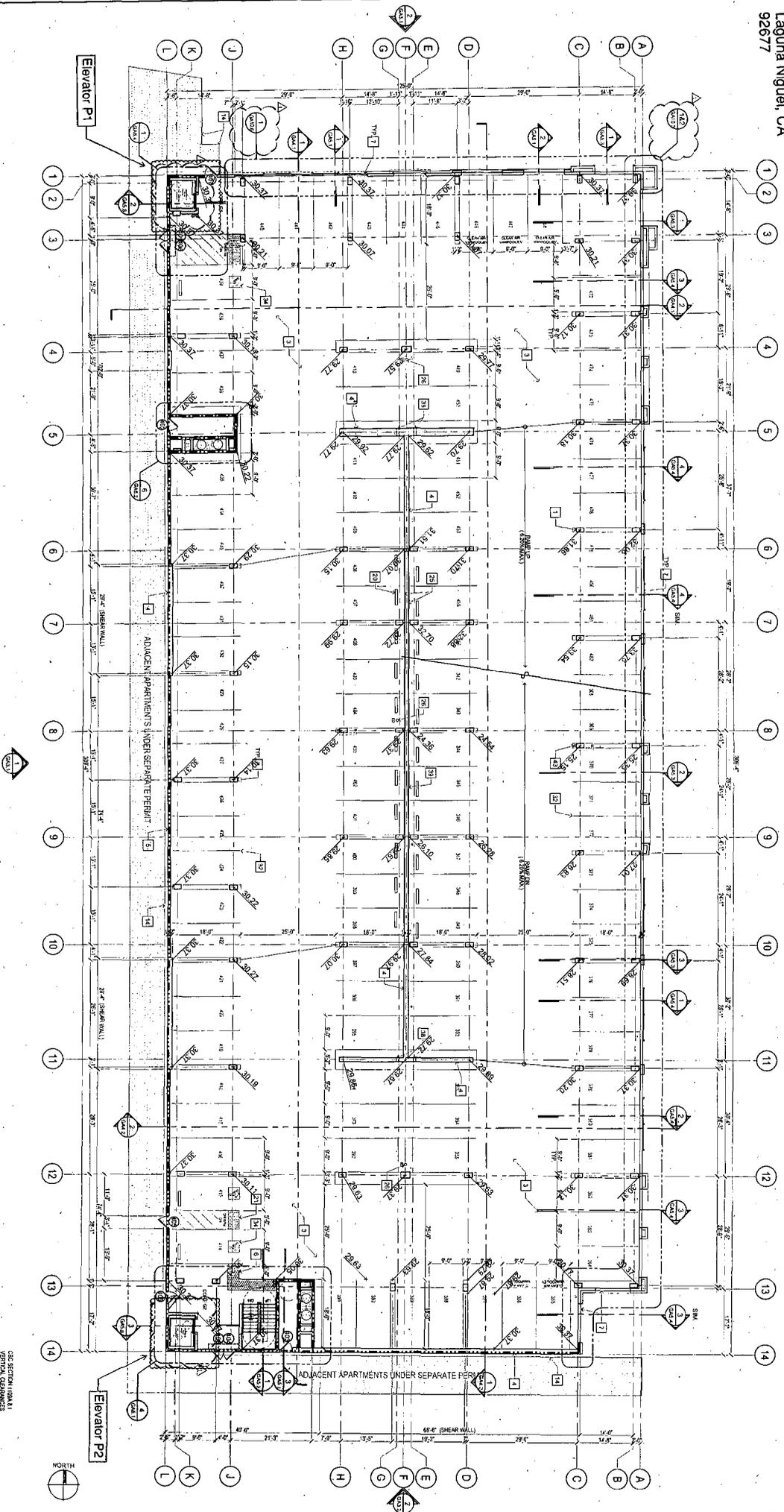
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Elevator Connections to the Structure - Key Plan
 Deferred Submittal #B16-2764

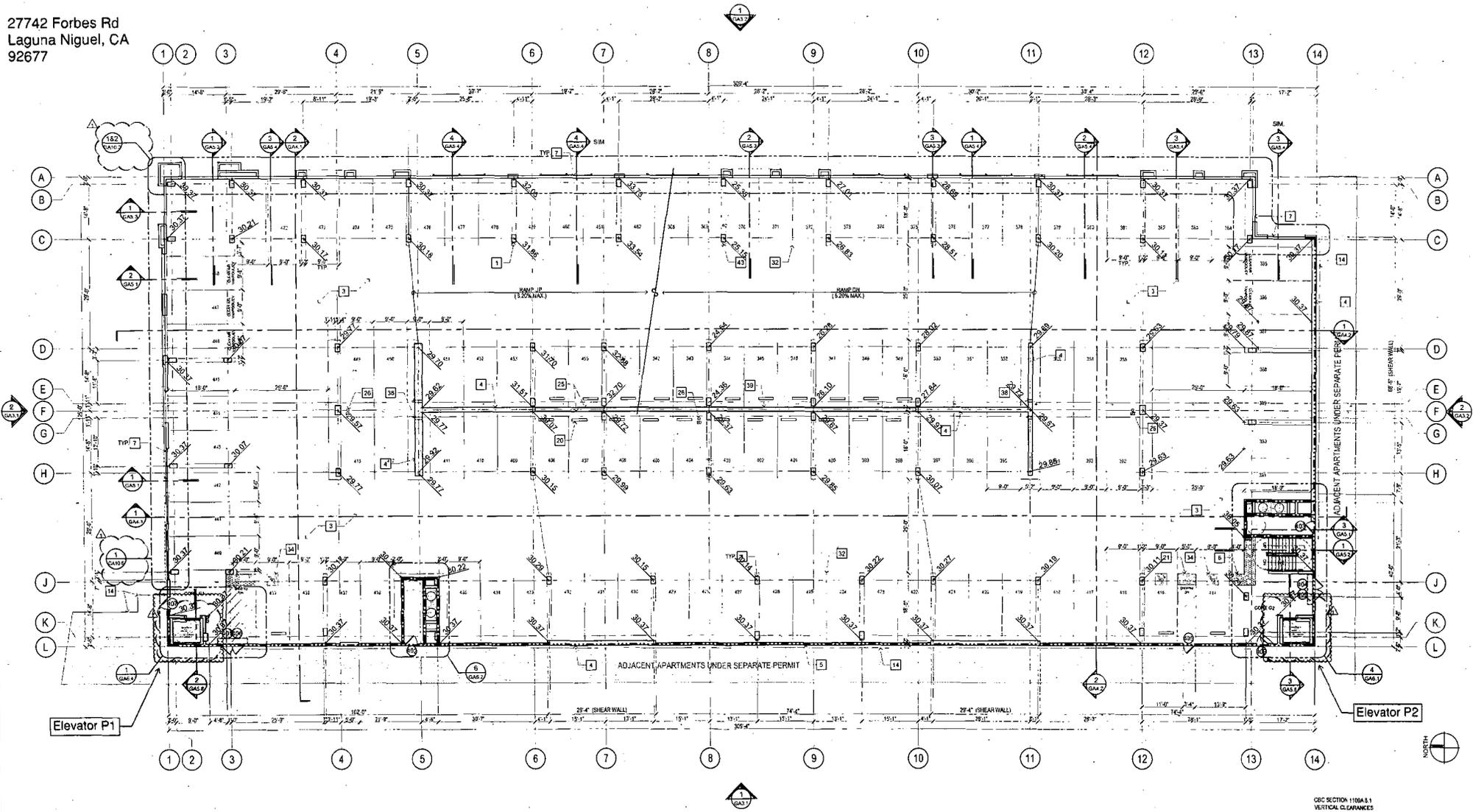
27742 Forbes Rd
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SEE SECTION 108A.1
 VERTICAL CLEARANCES
 ALL ENTRANCES, EXITS AND SLOTTING REQUIREMENTS TO BE
 PROVIDED TO THE LOWER LEVELS OF THE STRUCTURE
 FROM REQUIRED ACCESSIBLE PARKING SPACES WITHIN 1500'
 (240 M) FROM THE CORNER TO THE LOWER PORTION OF A
 DRIVEWAY INCLUDING OVERHEAD SIGNAGE ELEMENTS SUCH AS
 LIGHTS AND SIGNALS. SEE SECTION 108A.1.1

Elevator Connections to the Structure - Key Plan
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27742 Forbes Rd
 Laguna Niguel, CA
 92677



OSC SECTION 1109A & 1
 VERTICAL CLEARANCES

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CONTRACTORS STATE LICENSE BOARD



CITY LAGUNA NIGUEL
RECEIVED

NOV 30 2016

COMMUNITY DEVELOPMENT
relying on this

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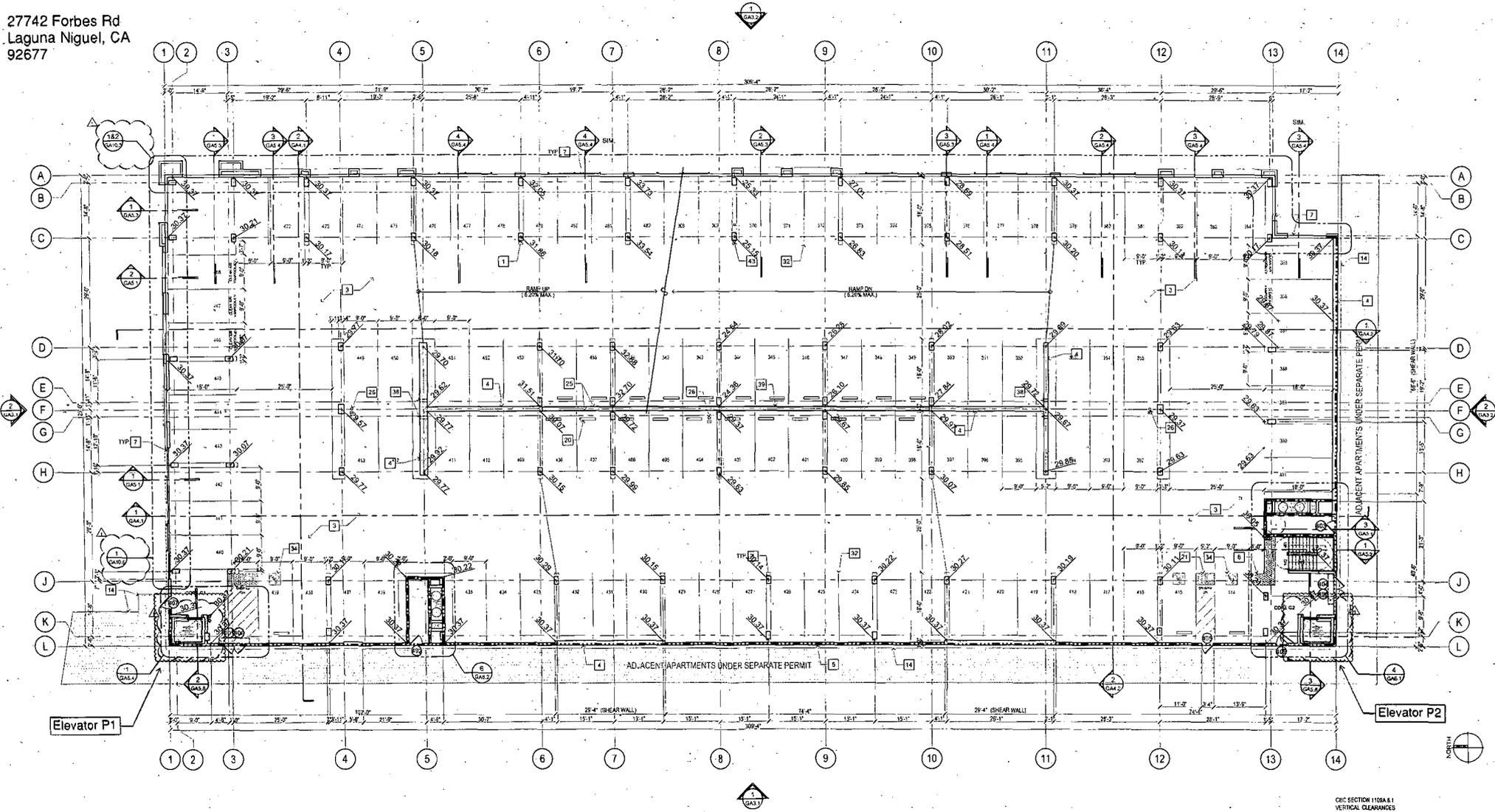
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Elevator Connections to the Structure - Key Plan
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CHIC SECTION 1108A.1
 VERTICAL CLEARANCES

ALL ENTRANCES, EXITS AND VEHICULAR PASSAGEWAYS TO AND FROM REQUIRED ACCESSIBLE PARKING SPACES WITHIN PARKING FACILITIES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8' (2438 MM) FROM THE FLOOR TO THE LOWEST PROJECTION OF TCEILING, INCLUDING OVERHEAD BUILDING ELEMENTS SUCH AS DUCTING, PIPING, SPRINKLERS, SIGMAGE, ETC.



PROFESSIONAL BUILDING & SAFETY ENGINEERING/INFRASTRUCTURE MANAGEMENT

Plan Review Corrections
11-8-2016

Owner: Alliance

Plan check No.: 16-2764

Location/Project: 27742 Forbes Road
Laguna Niguel, CA 92677
Parking Garage Elevators

Plan Checker: Steve Ahuna /CAA

- 1) Please provide calculations per ASCE Sections 4.6.2, 13.6.10, 13.6.10.1, 13.6.10.2, 13.6.10.3, 13.6.10.4.
- 2) Engineer to stamp/sign calculations and details per above ASCE 7-10 Section.
- 3) Elevator engineer to stamp/sign/date Elevator shop drawings.
- 4) Provide schematic layout of elevator locations in building.

CHARLES ABBOTT ASSOCIATES, INC.

27401 LOS ALTOS • SUITE 220 • MISSION VIEJO, CA 92691
TOLL FREE: (866) 530-4980 • PHONE: (949) 367-2850 • FAX: (949) 367-2852
WWW.CAAPROFESSIONALS.COM

Owner: Alliance

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- 1) Please provide calculations per ASCE Sections 4.6.2, 13.6.10, 13.6.10.1, 13.6.10.2, 13.6.10.3, 13.6.10.4.
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BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-2949

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 12/12/2016

DESCRIPTION OF WORK:

Permit for deferred submittal for truss calcs in reference to B14-1484. Segment 10. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	EXPIRES: 9/15/2017
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$26,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$248.29	\$354.70	\$28.21	\$631.20
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$2.00
GMU				
MISC				\$7.28
			TOTAL PERMIT FEES:	\$640.48
			TOTAL FEES PAID	\$640.48

Comments:

Planning Approval: _____

Date: _____

Issued Receipt#: R16-

Building Permit Issued By: _____

Date: _____

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature

Date

12/12/16

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

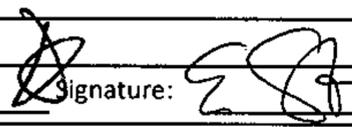
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature:  Date: 12/12/16

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that i have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____ Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2017
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
5. Soil Pipe Underround			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underround			410. P/S Approval to Cover-Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underround			414. P/S Gas Pipe Underround Test		
14. Gas Line Underround & Test			416. P/S Backwash Lines, P Trap, Underround		
16. Vent Sacks			418. P/S Final Backwash Recaptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCEA SPRINKLER SYSTEMS -		
59. OCEA Fire Sprinkler - Rough			932. FINAL - OCEA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B16-2949
Project Address: 27742 FORBES RD
Valuation: 26000
Project Description: *Permit for deferred submittal for truss calcs in reference to B14-1484. Segment 10. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	11/28/16	12/12/16	/	11/30/16	HT.
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R16-4041

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$640.48
B16-2949 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Truss Calculations			\$640.48
BUILDING			\$382.91
CBSC FEE			\$2.00
PLAN CHECK			\$248.29
SMIP FEE MF AND COM			\$7.28
TOTAL FEES PAID BY RECEIPT:R16-4041			\$640.48

Date Paid: Monday, December 12, 2016

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: CT

Pay Method: CHECK 2563





City of Laguna Niguel
Building Divi:
 30111 Crown Valley
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd.

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Dr. Ste. 550

Phone No.: (949) 706-8460

City: Newport Beach State: CA Zip: 92660

Email: _____

Property Owner: Broadstone Laguna Niguel

Phone No.: (249) 508-2791

Address: 450 Newport Center Dr. Ste. 550

City: Newport Beach State: CA Zip: 92660

Email: ESpector@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706-8460

Address: 450 Newport Center Dr. Ste. 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B 18714

Expiration: _____

Insurance Company (if applicable): Lovitt and Touche

Architect: Humphreys Partners Reg No.: _____

Phone No.: (949) 955-9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: (714) 978-9780

Address: 2200 W. Orangewood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss deferred submittal Segment 10

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec.107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC [Signature]

Activity Number:	<u>B16-2949</u>	Received By:	<u>[Signature]</u>	Date:	<u>11/29/16</u>
Planning Division:	YES <input type="checkbox"/> NO <input type="checkbox"/>	Submittal does not constitute Planning Approval			
HOA or Property Manager Approval Required: _____					
HOA or Property Manager Approval Letter Provided: _____					
OK for Plan Check: _____					
OK for issuance: _____					
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Permit No: _____

Address: _____

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Signs					
Sign	Type (Circle One)	Size (Sq. Ft.)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6 feet in height)	Illumination (# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit		<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance		<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Broadstone Laguna Niguel
 27742 Forbes Rd
 Laguna Niguel, CA 92677

Scope: Roof Truss

Segment 10 ONLY



01 FIRST LEVEL
 SCALE: 1/8" = 1'-0"

PLAN LEGEND <small>EXTENT OF ASSIGNED PROPERTY LINE</small>	APL	OC	GN	BPN	KEY PLAN	DELTA 8 REVISION
	AREA OF USE	OCCUPANCY	FINISH FLOOR ELEVATIONS			

Broadstone Laguna Niguel
 27742 Forbes Rd
 Laguna Niguel, CA 92677

Scope: Roof Truss

Segment 10 ONLY



01 FIRST LEVEL
 SCALE: 1/8" = 1'-0"

PLAN LEGEND	OCCUPANCY CLASSIFICATIONS	GENERAL NOTES	BUILDING PLAN NOTES	KEY PLAN
EXTENT OF ASSIGNED PROPERTY LINE	AREA OF USE OCCUPANCY	FINISH FLOOR ELEVATIONS		

DELTA B REVISION

GATEWAY VILLAGE

HUMPHREYS & PARTNERS
 ARCHITECTS, L.P.

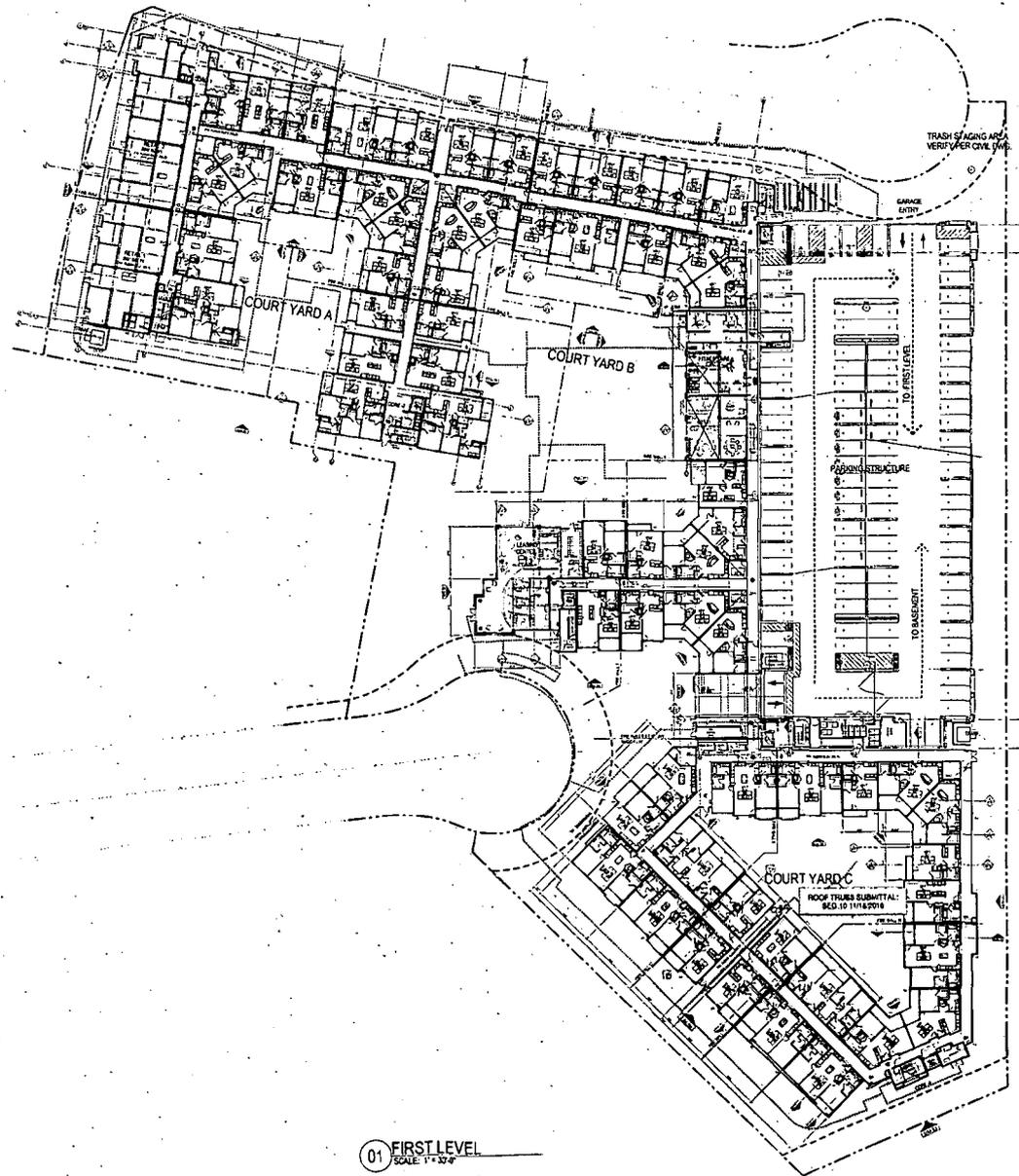
Drawn by
 Designed by
 Checked by
 Project No. 04-0000
 Date 11/02
 Scale 1/8" = 1'-0"

NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF H&P ARCHITECTS, L.P. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF H&P ARCHITECTS, L.P. IS STRICTLY PROHIBITED.

Broadstone Laguna Niguel
 27742 Forbes Rd
 Laguna Niguel, CA 92677

Scope: Roof Truss

Segment 10 ONLY



01 FIRST LEVEL
 SCALE: 1" = 32'

PLAN LEGEND	OCCUPANCY CLASSIFICATIONS	GENERAL NOTES	BUILDING PLAN NOTES	KEY PLAN	DELTA 9 REVISION
EXTENT OF ASSAIGED PROPERTY LINE	AREA OF USE OCCUPANCY	FINISH FLOOR ELEVATIONS			



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

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REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
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CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org

PERMIT #:

B16-3042

APN: 63603410

PROJECT ADDRESS: **27742 FORBES RD**

TRACT: 6081

Lot/PARCEL: 1

LINKED ADDRESSES: 27742 FORBES RD

ELEC: SDGE

BUSINESS NAME:

ISSUED: 1/5/2017



DESCRIPTION OF WORK:

Permit for deferred submittal for truss calcs in reference to B14-1484. Segment 11. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE SUITE 550 NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2017
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2017
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2013

CONSTR. TYPE: VB

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$26,000.00

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
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MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$2.00
GMU				
MISC				\$7.28
			TOTAL PERMIT FEES:	\$640.48
			TOTAL FEES PAID	\$640.48

Comments:

Planning Approval: [Signature]

Building Permit Issued By: [Signature]

Date: 1/5/17

Date: 1/5/17

Issued Receipt#: R17-0022

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature [Signature]

Date 1/5/2017

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2017

Signature: 

Date: 1/5/17

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

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I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2017

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE	INSPECTION TYPE	DATE	INITIALS
72	Driveway Nailing/Firewalls		
400	P/S Pre Inspection for Fences		
402	P/S Pool & Equipment Loc.		
8	Water Pipe Underground		
9	Sewer Line & House Connect		
10	Electrical Conduit Underground		
14	Gas Line Underground & Test		
15	Verify Setbacks		
18	Footings & Steel		
19	UFER		
20	Foundation - Slab on Grade		
21	Post Tension		
22	Steel Reinforce - Retain. Walls		
24	Pre GROUT Lift 1		
26	Pre GROUT Lift 2		
29	Wall Drainage		
30	Floor Plywood Nailing		
32	Sewer Line & House Connect		
34	Roof Drains/Deck Drains		
36	Rough Plumbing/Gas Test		
40	Hot Mop Shower		
41	Lathing Interior		
42	Rough Electrical		
44	Rough Mechanical		
46	Fire Dampers		
48	Roof Sheathing		
50	Roof Framing		
51	Approval to Cover Exterior		
52	Shear Walls Interior		
53	Preliminary Shear		
54	Shear Walls Exterior		
55	Preliminary Insulation		
56	Rough Frame & Flashing		
59	OCFA Fire Sprinkler - Rough		
92	FINAL - DCFA PROJECT FINAL - Name		
93	Anti-Entrapment Device		
94	FINAL - BUILDING & SAFETY		
95	FINAL - WATER QUALITY INSPECTION		
96	FINAL - GAS TEST		
91	FINAL - ACCESSIBILITY REGULATIONS		
918	FINAL - RE-ROOF		
920	FINAL - PLANNING		
922	FINAL - ENGINEERING/P.W.		
924	FINAL - O.C. HEALTH		
926	FINAL - WATER DISTRICT		
927	FINAL - SMOKE DETECTOR/CO2		
928	FINAL - GRADING		
930	FINAL - DCFA SPRINKLER SYSTEMS - Name		
932	FINAL - DCFA PROJECT FINAL - Name		
933	Anti-Entrapment Device		
934	FINAL - BUILDING & SAFETY		
935	FINAL - WATER QUALITY INSPECTION		



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-0022

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$640.48
B16-3042 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: Truss Calculations segment 11.			
BUILDING			\$382.91
CBSC FEE			\$2.00
PLAN CHECK			\$248.29
SMIP FEE MF AND COM			\$7.28
TOTAL FEES PAID BY RECEIPT:R17-0022			\$640.48

Date Paid: Thursday, January 05, 2017

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298

Cashier: CWIL

Pay Method: CHECK 2578





City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B16-3042
Project Address: 27742 FORBES RD
Valuation: 26000
Project Description: *Permit for deferred submittal for truss calcs in reference to B14-1484. Segment 11. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	12/9/16	12/16/16		12-12-16	SC
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List



City of Laguna Niguel
 Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Rd. **Suite/Unit:** _____

Applicant/Agent: Alliance Residential **Tract Lot:** Parcel Map 2013-141

Address: 450 Newport Center Dr. Ste. 550 **Phone No.:** (949) 706-8460

City: Newport Beach **State:** CA **Zip:** 92660 **Email:** _____

Property Owner: Broadstone Laguna Niguel **Phone No.:** (249) 508-2791

Address: 450 Newport Center Dr. Ste. 550 **Email:** ESpector@allresco.com

City: Newport Beach **State:** CA **Zip:** 92660

Contractor: Alliance Residential Builders II GP, Inc. **Phone No.:** (949) 706-8460

Address: 450 Newport Center Dr. Ste. 550 **Email:** bmccann@allresco.com

City: Newport Beach **State:** CA **Zip:** 92660 **Expiration:** _____

State License No.: 897318 **Class:** B **Expiration:** _____

Workman's Comp. Policy No.: IRJUB4245 B 18714 **Expiration:** _____

Insurance Company (If applicable): Louitt and Touche

Architect: Humphreys & Partners **Reg No.:** _____ **Phone No.:** (949) 955-9400

Address: 2350 SE Bristol #310 **Email:** nima@humphreys.com

City: Newport Beach **State:** CA **Zip:** 92660

Engineer: VCA **Reg. No.:** _____ **Phone No.:** (714) 978-9780

Address: 2200 W. Orangewood #150 **Email:** Kris.Nicolaisen@VCAstructural.com

City: Orange **State:** CA **Zip:** 92868

Description of Work to be Performed (please be specific): Roof truss deferred submittal Segment II

Valuation: \$ 26k **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # PA1 UPON PIU or Visa/MC

Activity Number:	<u>B16-3042</u>	Received By:	<u>[Signature]</u>	Date:	<u>12/9/16</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Rechecked

CITY OF LAGUNA NIGUEL

COMMUNITY DEVELOPMENT DEPARTMENT

30111 Crown Valley Parkway • Laguna Niguel, CA 92677

(949) 362-4360

Recheck

4-18-18. Bob.

JOB ADDRESS 27742 Forbes

PERMIT NUMBER B14-1484 DATE 4-13-18 TIME _____

CORRECTION NOTICE

TYPE OF INSPECTION: Building Final Corrections.

- ① Check all roof top areas for supports and equipment & conduits, rest on unprotected on top of the TPO. Conduits line, liquidtight by bolers EMT at end, gas lines, EMT by malle-bolers & liquidtight cable by Dish. Boler 3-liquidtight
- 2. Handrails in stair #4 failing. & gas lines

~~Close~~ openings lower than 4" space, less than 42" above finish stairs.

- ④ Check a grade on Getty side. Min 2% slope away from building at all areas. See Soils report level 34.

- ⑤ Courtyard A - Area under a gate on left side has exposed dens gkss as a finish. Provide listing information as a finish material or stucco. Min lap, Flashing, both up, Drywall screws

- ⑥ Provide sign for EV or install EV.
- ⑦ Elev machine room AC - Tied to today 3 AC electrical circuit & Pads.

- Please make corrections and call for reinspection. (949) 362-4381
- Please make corrections and proceed with work.
- Obtain proper approvals from the City prior to proceeding with work.

Inspector's Office Hours
8:00 - 8:30 a.m.
3:30 - 4:00 p.m.

Inspector

CITY OF LAGUNA NIGUEL

COMMUNITY DEVELOPMENT DEPARTMENT

30111 Crown Valley Parkway • Laguna Niguel, CA 92677

(949) 362-4360

JOB ADDRESS

27742 Forbes.

PERMIT NUMBER

B14-1484

DATE

4-6-18

TIME

CORRECTION NOTICE

TYPE OF INSPECTION:

Bld Final.

1. Minor areas on roof top. Gas supports elec anchors, access hatch etc.
2. Handrails in Stair 4 - center support is failing - on all levels
3. Close openings of max 4" oc at stair 4 outside wall until 42" above finish stair
4. Fill holes on Getty side gully at outside wall to drain

- Please make corrections and call for reinspection. (949) 362-4381
- Please make corrections and proceed with work.
- Obtain proper approvals from the City prior to proceeding with work.

Inspector's Office Hours

8:00 - 8:30 a.m.

3:30 - 4:00 p.m.

Bab

Inspector



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 Forbes Road

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Drive, Suite 550

Phone No.: (949) 706 - 8460

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Property Owner: Broadstone Laguna Niguel

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: mmccann@allresco.com

Contractor: Alliance Residential Builders II GP, Inc.

Phone No.: (949) 706 - 8460

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach State: CA Zip: 92660

Email: bmccann@allresco.com

State License No.: 897318 Class: B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (if applicable): Lovitt & Touche

Architect: Humphreys & Partners Reg No.: _____

Phone No.: (949) 955 - 9400

Address: 2350 SE Bristol #310

City: Newport Beach State: CA Zip: 92660

Email: nima@humphreys.com

Engineer: VCA Reg. No.: _____

Phone No.: 714-978-9780

Address: 202200 W. Orange wood #150

City: Orange State: CA Zip: 92868

Email: Kris.Nicolaisen@VCAstructural.com

Description of Work to be Performed (please be specific): Roof truss Deferred submittal Segment

Valuation: \$ 26k Type of Const: _____ Occupancy Type: _____ Pre 1978 Building: _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

Activity Number:	<u>B16-</u>	Received By:	<u>[Signature]</u>	Date:	_____
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

276.22
707.37

BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AND PASSED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381

REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY

Inspection Cancellation or Rescheduling: (949) 362-4334

Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org
PERMIT #:
B17-0563

APN: 63603410

TRACT: 6081

Lot/PARCEL: 1

PROJECT ADDRESS: **27742 FORBES RD**

ELEC:

LINKED ADDRESSES: 27742 FORBES RD

TYPE: RESIDENTIAL

SUBTYPE: ROTH

ISSUED: 3/15/2017

DESCRIPTION OF WORK:

4/26/17- Revised permit to add another electrical line for separate fountain. Permit for Electrical line to fountain structure. Field verify for code compliance. (fountains under separate permit)

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	DPS PERMITS- STEFFENIE ELLISON 24642 VIA RAZA LAKE FOREST, CA 92630	PHONE: (949) 683-9862
CONTRACTOR:	HART BROTHERS CONSTRUCTION INC DBA AQUAT 32232 PASEO ADELANTO SUITE A SAN JUAN CAPISTRANO, CA 92675	PHONE: (949) 493-9548
LICENSE #:	744177	CLASS:
WORKERS COMP:	ZURICH AMERICAN INSURANCE COMPANY	POLICY#: WC4503556
ARCH/ENG:	MJS Design 507 30th St Newport Beach, CA 92663	PHONE: (949) 675-9964
BUSINESS:		PHONE:



CODE YEAR: 2016

CONSTR. TYPE: VB

OCCUPANCY TYPE: R3 Residential One and Two Family

TOTAL VALUATION:

USE TYPE:

USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING				
ELECTRICAL		\$160.26	\$28.21	\$188.47
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$188.47
			TOTAL FEES PAID	\$188.47

Comments:

Planning Approval: Om
Building Permit Issued By: [Signature]

Date: 4/26/17
Date: 4/26/17

Issued Receipt#: **R17-1130**

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

Signature: [Signature] Date: 4.26.17

*requires separate verification form
**requires separate authorization form

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: HART BROTHERS CONSTRUCTION INC DBA AQUAT

Address: 32232 PASEO ADELANTO SUITE ASAN JUAN CAPISTRANO, CA 92675

License Class and No. 744177

Expiration Date: 12/31/2017

Signature: [Signature]

Date: 4.22.17

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier ZURICH AMERICAN INSURANCE COMPANY Policy No. WC4503556 Expiration Date 10/1/2017

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE-INSPECTION TYPE	DATE	INITIALS	CODE-INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Driveway Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermtd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
16. Verity Seabacks			418. P/S Final Backwash Recaptor		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre GROUT Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre GROUT Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Tap Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCA SPRINKLER SYSTEMS -		
59. OCA Fire Sprinkler - Rough			932. FINAL - OCA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Ni 1
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD

Suite/Unit: _____

Applicant/Agent: Steffenie Ellison

Tract Lot: _____

Address: 26642 VIA RAZA

Phone No.: 949 683 9862

City: LAKE FOREST **State:** CA **Zip:** 92630

Email: dpspermits@cox.net

Property Owner: BROADSTONE LAG NIG. INC

Phone No.: () - 949 436 1772

Address: 450 NEWPORT CENTER DRIVE #550

City: NB **State:** CA **Zip:** 92660

Email: _____

Contractor: AQUATIC TECHNOLOGIES

Phone No.: 949 493 9548

Address: 32232 PASEO ADELANTO

City: SJC **State:** CA **Zip:** 92075

Email: _____

State License No.: 744177 **Class:** CS3 - B

Expiration: 12-31-17

Workman's Comp. Policy No.: WC 4503554

Expiration: 10-1-17

Insurance Company (if applicable): ZURICH AMERICAN INS. CO

Architect: N/A **Reg No.:** _____

Phone No.: () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____

Email: _____

Engineer: N/A **Reg. No.:** _____

Phone No.: () - _____

Address: _____

City: _____ **State:** _____ **Zip:** _____

Email: _____

Description of Work to be Performed (please be specific): _____

gas line to fountain only - add to existing permit

Valuation: \$ 1,000 **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant.

Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: Stellen **Payment:** Cash or Check # 1496 or Visa/MC

Activity Number:		Received By: <u>ed</u>	Date: <u>1/17</u>
HOA or Property Manager Approval Required:			
HOA or Property Manager Approval Letter Provided:			
OK for Plan Check:		Reviewed By:	Date:
OK for issuance:		Reviewed By:	Date:
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-1130

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$66.66
B17-0563 Address: 27742 FORBES RD Apn: 63603410			
Type: RESIDENTIAL Subtype: ROTH			
Description: electrical line			\$66.66
ELECTRICAL FEES			\$66.66
TOTAL FEES PAID BY RECEIPT:R17-1130			\$66.66

Date Paid: Wednesday, April 26, 2017

Paid By: HART BROTHERS CONSTRUCTION INC DBA AQUAT

Payee Address: 32232 PASEO ADELANTO SUITE A SAN JUAN CAPISTRANO, CA 92675

Cashier: CT

Pay Method: CHECK 1496





BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org
PERMIT #:
B17-0563

APN: 63603410

TRACT: 6081

Lot/PARCEL: 1

PROJECT ADDRESS: **27742 FORBES RD**

ELEC:

LINKED ADDRESSES: 27742 FORBES RD

TYPE: RESIDENTIAL
DESCRIPTION OF WORK:

SUBTYPE: ROTH

ISSUED: 3/15/2017

Permit for Electrical line to fountain structure (under separate permit). Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 2415 E CAMELBACK RD 600 PHOENIX, AZ 85016-9298	
APPLICANT:	DPS PERMITS- STEFFENIE ELLISON 24642 VIA RAZA LAKE FOREST, CA 92630	PHONE: (949) 683-9862
CONTRACTOR:	HART BROTHERS CONSTRUCTION INC DBA AQUAT 32232 PASEO ADELANTO SUITE A SAN JUAN CAPISTRANO, CA 92675	PHONE: (949) 493-9548
LICENSE #:	744177 CLASS:	EXPIRES: 12/31/2017
WORKERS COMP:	ZURICH AMERICAN INSURANCE COMPANY POLICY#: WC4503556	EXPIRES: 10/1/2017
ARCH/ENG:	MJS Design 507 30th St Newport Beach, CA 92663	PHONE: (949) 675-9964
BUSINESS:		PHONE:

CODE YEAR: CONSTR. TYPE: OCCUPANCY TYPE:

TOTAL VALUATION:

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING				
ELECTRICAL		\$93.60	\$28.21	\$121.81
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$121.81
			TOTAL FEES PAID	\$121.81

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 3/15/17
Date: 3/15/17

Issued Receipt#: R17-0719

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form
**requires separate authorization form

Signature [Signature] Date 3.15.17

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

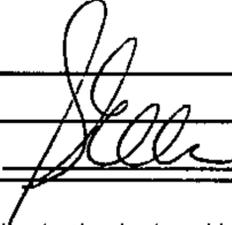
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: HART BROTHERS CONSTRUCTION INC DBA AQUAT

Address: 32232 PASEO ADELANTO SUITE A SAN JUAN CAPISTRANO, CA 92675

License Class and No. 744177

Expiration Date: 12/31/2017

Signature: 

Date: 3.15.17

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier ZURICH AMERICAN INSURANCE COMPANY Policy No. WC4503556 Expiration Date 10/1/2017

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Dry Wall Nailing/Firewalls		
4. Trench Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underround			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underround			410. P/S Approval to Cover-Gunite		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermnd.		
10. Electrical Conduit Underround			414. P/S Gas Pipe Underround Test		
14. Gas Line Underround & Test			416. P/S Backwash Lines, P Trap, Underround		
16. Verity Seabacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			502. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mud Shower			908. FINAL - MECHANICAL		
41. Lathin Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCPA SPRINKLER SYSTEMS -		
59. OCPA Fire Sprinkler - Rough			932. FINAL - OCPA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathin Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27742 FORBES RD **Suite/Unit:** _____
Applicant/Agent: STEPHENIE ELISON **Tract Lot:** _____
Address: 24642 VIA RAZA **Phone No.:** (949) 683 9862
City: LE **State:** CA **Zip:** 92630 **Email:** dpspermits@cox.net

Property Owner: BROADSTONE LAGUNA NIGUEL **Phone No.:** () - _____
Address: 450 NEWPORT CENTER DR #550 LLC
City: NEWPORT BCH **State:** CA **Zip:** 92660 **Email:** _____

Contractor: AQUATIC TECHNOLOGIES **Phone No.:** 949 493 9548
Address: 32232 PASO ADELANTO #A
City: SJC **State:** CA **Zip:** 92675 **Email:** _____
State License No.: 744177 **Class:** CS3/B **Expiration:** _____
Workman's Comp. Policy No.: _____ **Expiration:** _____
Insurance Company (if applicable): _____

Architect: MJS DESIGN **Reg No.:** 4403 **Phone No.:** 949 675 9964
Address: 507 30th ST
City: N.B **State:** CA **Zip:** 92663 **Email:** _____

Engineer: N/A **Reg. No.:** _____ **Phone No.:** () - _____
Address: _____
City: _____ **State:** _____ **Zip:** _____ **Email:** _____

Description of Work to be Performed (please be specific):
ELEC TO FOUNTAIN REF B16-1254

Valuation: \$ 1500 **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)
Signature of Applicant: [Signature] **Payment:** Cash or Check # 1454 or Visa/MC

Activity Number:	<u>B17-0563</u>	Received By:	<u>[Signature]</u>	Date:	
Planning Division:		YES	NO	Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:				Reviewed By:	Date:
OK for issuance:				Reviewed By:	Date:
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		

Plumbing/Mechanical/Electrical		Fixture Counts	
Plumbing			
Quantity	Item	Quantity	Item
	Bar Sink		Kitchen Sink
	Backflow Device		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Showers
	Drinking Fountains		Service Sink
	Floor Drains		Sewer Cap
	Floor Sinks		Sewer Connection
	Gas Piping:		Urinal
	Gas Service		Water Closet
	Interceptors/Clarifiers		Water Heater
			Water Service

Mechanical

Quantity	Item	Quantity	Item
	Boiler		Hood or Canopy
	Ventilation Fan		Refrigeration System:
	Exhaust System		0-100,000 BTU
	Fireplace/Factory Built ICBO#		+100,000 BTU
	Heating Systems & Ducting:		System Repair/Alteration
	<=100,000 BTU		Heat Pump or Air Conditioner:
	>100,000<=500,000 BTU		0-5 Tons
	>500,000<=1,000,000 BTU		+5 Tons
	>1,000,000<=2,000,000 BTU		
	>2,000,000 BTU		
	Evaporative Cooler		

Electrical

Quantity	Item	Quantity	Item
	Automatic Washer		Transformer:
	Cooking Unit	1	<=1 hp
	Dishwasher		>1 to <=10 hp
	Dryers		>10 to <=50 hp
	Ventilation Fans		>50 to <=100 hp
	F.A.U.		>100 hp
4	Fixtures		Services & Switchboards:
	Device Boxes		<= 600 amps
	Switches		>600 to <=1,000 amps
	Outlets		>1,000 amps
	Garbage Disposal		Sub Panel
	Water Heater		Motors:
	Self-Contained Appliance	1	<=1 hp
	Range		>1 to <=10 hp
	A/C Disconnect		>10 to <=50 hp
			>50 to <=100 hp
			>100 hp
	Temp power Pole or Piggyback		Pole Lights
	Temp Construction Sub Pole		Time Clock

Permit No: _____

Address: _____

Signs	Type	Size	Res. or	Foundation	Illumination
Sign	(Circle One)	(Sq. Ft.)	Comm. (Circle One)	Valuation (if freestanding and over 6 feet in height)	(# of Transformers or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 3	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 4	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 5	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 6	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-0719

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$121.81
B17-0563 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: electrical line			\$121.81
ELECTRICAL FEES			\$121.81
TOTAL FEES PAID BY RECEIPT:R17-0719			\$121.81

Date Paid: Wednesday, March 15, 2017

Paid By: HART BROTHERS CONSTRUCTION INC DBA AQUAT

Payee Address: 32232 PASEO ADELANTO SUITE A SAN JUAN CAPISTRANO, CA 92675

Cashier: CT

Pay Method: CHECK 1454





City of Laguna Niguel
 Community Development Department
 30111 Crown Valley Pkwy, CA 92677
 (949)362-4360 FAX (949)362-4369
 www.CityofLagunaNiguel.org

Date: 11/16/2017

Subject: **Building Permit to Expire Soon (CONTRACTOR)**

Permit Number: **B17-0563**
 Job Address: **27742 FORBES RD**
 Description: **electrical line**

Dear Contractor:

Our records indicate that your Building permit is going to expire on **12/13/2017**. This courtesy notice is sent to the **owner of the property and the contractor** of record. If you are ready for an inspection, you may call our 24-hour inspection request line at 949-362-4381 or go to www.cityoflagunaniguel.org/etrakit the day before you are ready for inspection.

Pursuant to the California Building Code and the California Residential Code, as amended by the Laguna Niguel Municipal Code (Section Sec. 8-1-13), every permit issued shall expire unless the work is commenced within 180 days. For the purpose of this section, failure to progress a project to the next level of required inspection shall be deemed to be a suspension of work and may result in a Code Enforcement violation. If the permit expires you will be required to submit new building permit application/plans and pay the applicable building permit fees.

PLEASE INDICATE BELOW HOW YOU WISH TO PROCEED:

- Work was completed and finalized and I have **attached a copy of the job card** showing the FINAL DATE.
- Work was never started
- I have requested an inspection on (date) _____

Permit Extension Request: If you wish to request an extension, please fill out and return the attached form.

Owners Signature *Lisa Zosca* Date 11/27/17
 Owner print name Lisa Zosca, agent for Contractor (permitter)

If you have further questions or comments, please call us at (949) 362-4324.

Department action: Expire Code Enforcement Extension Date _____

Authorized City Staff _____

HART BROTHERS CONSTRUCTION INC DBA AQUAT
 32232 PASEO ADELANTO SUITE A
 SAN JUAN CAPISTRANO, CA 92675

COMMENTS:

INDICATE HERE

DATE

ISSUE NUMBER

COMMUNITY DEVELOPMENT

COMMUNITY DEVELOPMENT

1.) TO MAIL, PLEASE FOLD ALONG THE DOTTED LINES. FOLD TOP SECTION FIRST. MAKE SURE MAILING ADDRESS IS ON OUTSIDE.



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 2 LAGUNA NIGUEL, CA

POSTAGE WILL BE PAID BY ADDRESSEE

**CITY OF LAGUNA NIGUEL
ATTN: COMMUNITY DEVELOPMENT DEPARTMENT
30111 CROWN VALLEY PKWY
LAGUNA NIGUEL CA 92677-9849**



- 2.) FOLD THIS PART ALONG DOTTED LINE.
- 3.) PLACE TAPE OR STAPLE TO SECURE.



www.cityoflagunaniguel.org



City Of Laguna Niguel
 Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, Ca 92677
 (949) 362-4360

REQUEST FOR
 BUILDING PERMIT EXTENSION

www.CityofLagunaNiguel.org

216

PERMIT NUMBER: B17-0563

DATE: 11/16/2017

EXPIRATION DATE: ~~12/13/2017~~

PROJECT ADDRESS: 27742 FORBES RD

TO: COMMUNITY DEVELOPMENT DIRECTOR
 BUILDING OFFICIAL

I hereby certify that I am the owner or permit designee of the above referenced property. Per City of Laguna Niguel Ordinance 2016-185, Page 7, *Extensions*; this is my written request to extend the above referenced construction permit for completion of construction, in writing, for a period not to exceed 180 days. I understand that this is only a request and the Building Official with the concurrence of the Community Development Director, is authorized to grant the extension of time with justifiable good cause. I have demonstrated the following:

Due to circumstances beyond the owner's or permittee's control, construction could not be completed within the time frame allowed:

It was found that the equipment vault did not have a sewer line, therefore the fountain pump could not be placed within the vault. We are now required to move the equipment to an above ground location. Owner is working with us to determine an appropriate location and we will bring in a plan to get approval for new location once determined.

FORBES RD - 27742 - 949-362-4360

Reasonable progress has been made:

Yes

The condition of the property presents no health or safety hazard:

Yes

The continued delay will not create any unreasonable visual or physical detriment to the neighborhood:

Yes

CONTRACTOR: *Lisa Zoscal* (PRINT NAME) ; *[Signature]* (SIGNATURE) *11/27/17* (DATE)

OFFICE USE ONLY

Authorized City Agents Extension Date: _____

Department action: Expire

or Code Enforcement

Provide a separate sheet for additional space if required.

COMMENTS:

1.) TO MAIL, PLEASE FOLD ALONG THE DOTTED LINE

CAUTION: FIRST MAKE SURE MAILING ADDRESS IS ON OUTSIDE

CITY OF LAGUNA NIGUEL
RECEIVED

NOV 30 2017

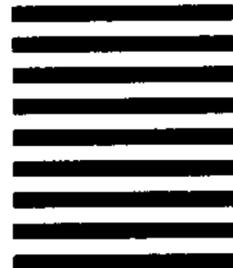
CA 9265

27 NOV 2017

F.N.S.I.



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES



BUSINESS REPLY MAIL

FIRST-CLASS MAIL PERMIT NO. 2 LAGUNA NIGUEL, CA

POSTAGE WILL BE PAID BY ADDRESSEE

**CITY OF LAGUNA NIGUEL
ATTN: COMMUNITY DEVELOPMENT DEPARTMENT
30111 CROWN VALLEY PKWY
LAGUNA NIGUEL CA 92677-9849**



- 2.) FOLD THIS PART ALONG DOTTED LINE
3.) PLACE TAPE OR STAPLE TO SECURE.





BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AND PASSED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381

REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org
PERMIT #:

B17-0637

APN: 63603410

TRACT: 6081

Lot/PARCEL: 1

PROJECT ADDRESS: **27742 FORBES RD**

ELEC:

ZONING:

LINKED ADDRESSES: 27742 FORBES RD

TYPE: RESIDENTIAL

SUBTYPE: ROTH

ISSUED: 5/15/2017

DESCRIPTION OF WORK:

Permit for a deferred submittal for parking structure handrails. Field verify for code compliance.

OWNER:	PR III Broadstone North Getty, LLC 450 Newport Center Drive, Suite 550 Newport Beach, CA 92660	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS: B	EXPIRES: 5/31/2019
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	POLICY#: EXPIRES: 9/15/2017
ARCH/ENG:	ARCHITECTS ORANGE/MICHAEL MAYHEW 129 N ORANGE STREET ORANGE, CA 92866	PHONE: (714) 221-4951
BUSINESS:		PHONE:

CODE YEAR: 2016

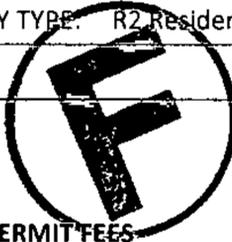
CONSTR. TYPE: IIIA

OCCUPANCY TYPE: R2 Residential Multiple Family

TOTAL VALUATION: \$20,000.00

USE TYPE:

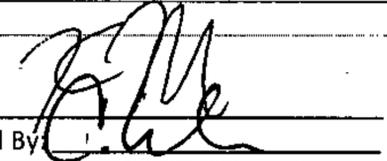
USE DESCRIPTION:

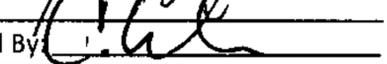


SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$217.00	\$310.00	\$28.21	\$555.21
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$0.00
			TOTAL PERMIT FEES:	\$556.21
			TOTAL FEES PAID	\$556.21

Comments:

Planning Approval: 

Building Permit Issued By: 

Date: 5/19/17

Date: 5/15/17

Issued Receipt#: R17-1313

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

*requires separate verification form

California Licensed Contractor, Property Owner* or Authorized Agent**:

**requires separate authorization form

Signature: 

Date: 5/15/17

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

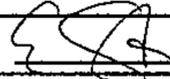
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2019

Signature: 

Date: 5/15/17

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that i have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJUB4245B187 Expiration Date 9/15/2017
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Drywall Nailing/Firewalls		
4. Temo Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underround			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underround			410. P/S Approval to Cover- Gunita		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underround			414. P/S Gas Pipe Underround Test		
14. Gas Line Underround & Test			416. P/S Backwash Lines, P Trap, Underround		
16. Verify Setbacks			418. P/S Final Backwash Receiver		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Retain. Walls			430. P/S FINAL - PLUMBING		
24. Pre GROUT Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre GROUT Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Roof Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Rough Plumbing/Gas Test			906. FINAL - SIGN		
39. Hot Top Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dampers			916. FINAL - ACCESSIBILITY REGULATIONS		
48. Roof Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Preliminary Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - OCFA SPRINKLER SYSTEMS -		
59. OCFA Fire Sprinkler - Rough			932. FINAL - OCFA PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

FOR
-BUDG
-PLAN
124

Project Address: 27792
27865 Forbes, Laguna Niguel, CA 92677

Suite/Unit: _____

Applicant/Agent: Eric Spector

Tract Lot: Parcel 1 of Map 2015-125

Address: 321 W. Chapman Avenue

Phone No.: (714) 639-9860

City: Orange **State:** CA **Zip:** 92866

Email: scott@architectsorange.com

Property Owner: Broadstone

Phone No.: (949) 706-8487

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: enaik@allresco.com

Contractor: Alliance Residential Builders II GP Inc.

Phone No.: (949) 706-8617

Address: 450 Newport Center Drive, Suite 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: _____

State License No.: 897318 **Class:** B - General Building Contractor

Expiration: 5/31/16

Workman's Comp. Policy No.: TRJUB4245B18715

Expiration: 9/15/16

Insurance Company (if applicable): Travelers Property Casualty Company of America

Architect: Seneca **Reg No.:** C

Phone No.: 949-595-8182

Address: 23276 South Pointe Dr. Ste. 209

City: Laguna Hills **State:** CA **Zip:** 92653

Email: dirk@senecaststructural.com

Engineer: Architect's Orange **Reg. No.:** _____

Phone No.: _____

Address: 144 N. Orange St.

City: Orange **State:** CA **Zip:** 92866

Email: Jason R@architectsorange.com

Description of Work to be Performed (please be specific):

Deferred Submittal for Parking Structure Handrails.

Valuation: \$ XXXXXX **Type of Const:** IIIA **Occupancy Type:** 1 **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC

Signature of Applicant: [Signature] **Payment:** Cash or Check # _____ or Visa/MC

*Pay upon
plu.*

Activity Number: <u>B17-0637</u>	Received By: <u>[Signature]</u>	Date: <u>3/27/17</u>
Planning Division: _____		
HOA or Property Manager Approval Required: _____		
HOA or Property Manager Approval Letter Provided: _____		
OK for Plan Check: _____		Reviewed By: _____ Date: _____
OK for issuance: _____		Reviewed By: _____ Date: _____
Building Division: _____		
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health
		<input type="checkbox"/> GMU
		<input type="checkbox"/> Grading

NO: Submittal does not constitute Planning Approval



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-1031

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$556.21
B17-0637 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Deferred submittal for parking structure handrails.			\$556.21
BUILDING			\$338.21
CBSC FEE			\$1.00
PLAN CHECK			\$217.00
TOTAL FEES PAID BY RECEIPT:R17-1031			\$556.21

Date Paid: Monday, April 17, 2017

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 LAGUNA NIGUEL, CA 92677-1231

Cashier: CWIL

Pay Method: CHECK 3022





Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-1313

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$556.21
B17-0637 Address: 27742 FORBES RD Apn: 63603410 Type: RESIDENTIAL Subtype: ROTH Description: Deferred submittal for parking structure handrails.			\$556.21
BUILDING			\$338.21
CBSC FEE			\$1.00
PLAN CHECK			\$217.00
TOTAL FEES PAID BY RECEIPT:R17-1313			\$556.21

Date Paid: Monday, May 15, 2017

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 2415 E CAMELBACK RD 600 LAGUNA NIGUEL, CA 92677-1231

Cashier: CWIL

Pay Method: CHECK 3149





Planning Division - Plan Check Routing Sheet

Plan Check #: B17-0637
Project Address: 27742 FORBES RD

Project Description: Permit for a deferred submittal for parking structure handrails. Field verify for code compliance.

	SUBMITTED	DUE	CORRECTION(S)	APPROVED	INITIAL
1st Check :	03/27/17	04/10/17		5/15/17	J
2nd Check:					
3rd Check:					
4th Check:					

___ School Fees Payment or Exemption Letter Received, Date: _____

___ HOA Approval Received **N/A**

___ Discretionary Application #(s), if applicable _____

**RETURN THIS SHEET WITH ORIGINAL AND REVISED PLANS
 WHEN ALL CORRECTIONS HAVE BEEN MADE.**



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

TED - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B17-0637
Project Address: 27742 FORBES RD
Valuation:
Project Description: *Permit for a deferred submittal for parking structure handrails. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	03/27/17	04/10/17		4/7/17	Teerj
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Final Approval By: _____ **Date:** _____

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List



City of Laguna Niguel
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360

CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B17-0637
Project Address: 27742 FORBES RD
Valuation:
Project Description: *Permit for a deferred submittal for parking structure handrails. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	03/27/17	04/10/17		4-7-17	Sa
2nd Check:					
3rd Check:					
4th Check:					

Comments:

provided plans get approved applicant would like (2) stamped calcs.

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

STRUCTURAL CALCULATIONS

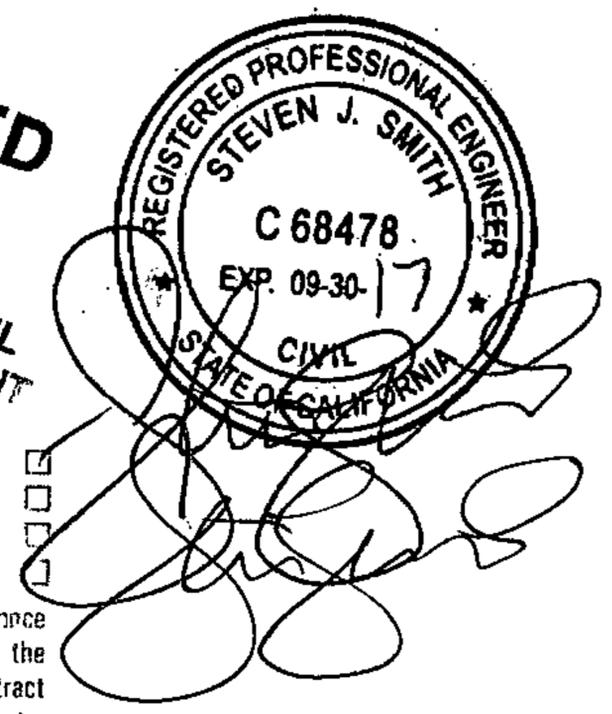
PROJECT: BROADSTONE RAIL



DESIGN ASSUMPTIONS:

CONCRETE STRENGTH AT TWENTY EIGHT DAYS: _____ PSI
 MASONRY: GRADE "N" CONCRETE BLOCK F' M = _____ PSI
 MORTAR: TYPE S 1,800 PSI
 GROUT: 2000 PSI
 REINFORCING STEEL: A-615 GRADE 40: #4 AND LESS (U.O.N.)
 STRUCTURAL STEEL: A-36 GRADE 60: #5 AND LARGER
 LUMBER: DOUGLAS FIR-LARCH

RECEIVED
 MAR 27 2017
 CITY OF LAGUNA (U.O.N.)
 COMMUNITY DEVELOPMENT



JOISTS #2
 BEAMS AND POSTS #2
 STUDS STUD OR BETTER

Reviewed
 Rejected
 Make Corrections Noted
 Revise and Resubmit
 Checking is for general conformance with the design concept and the information contained in the contract documents. This shop drawing is not a contract document and, therefore, does not constitute an authorization to deviate from the terms and conditions of the contract.
 SENECA STRUCTURAL ENGINEERING, INC.

SEISMIC FORCE:
 WIND FORCE:

REPORT BY: _____
 REPORT NO.: _____
 SOIL PRESSURE:

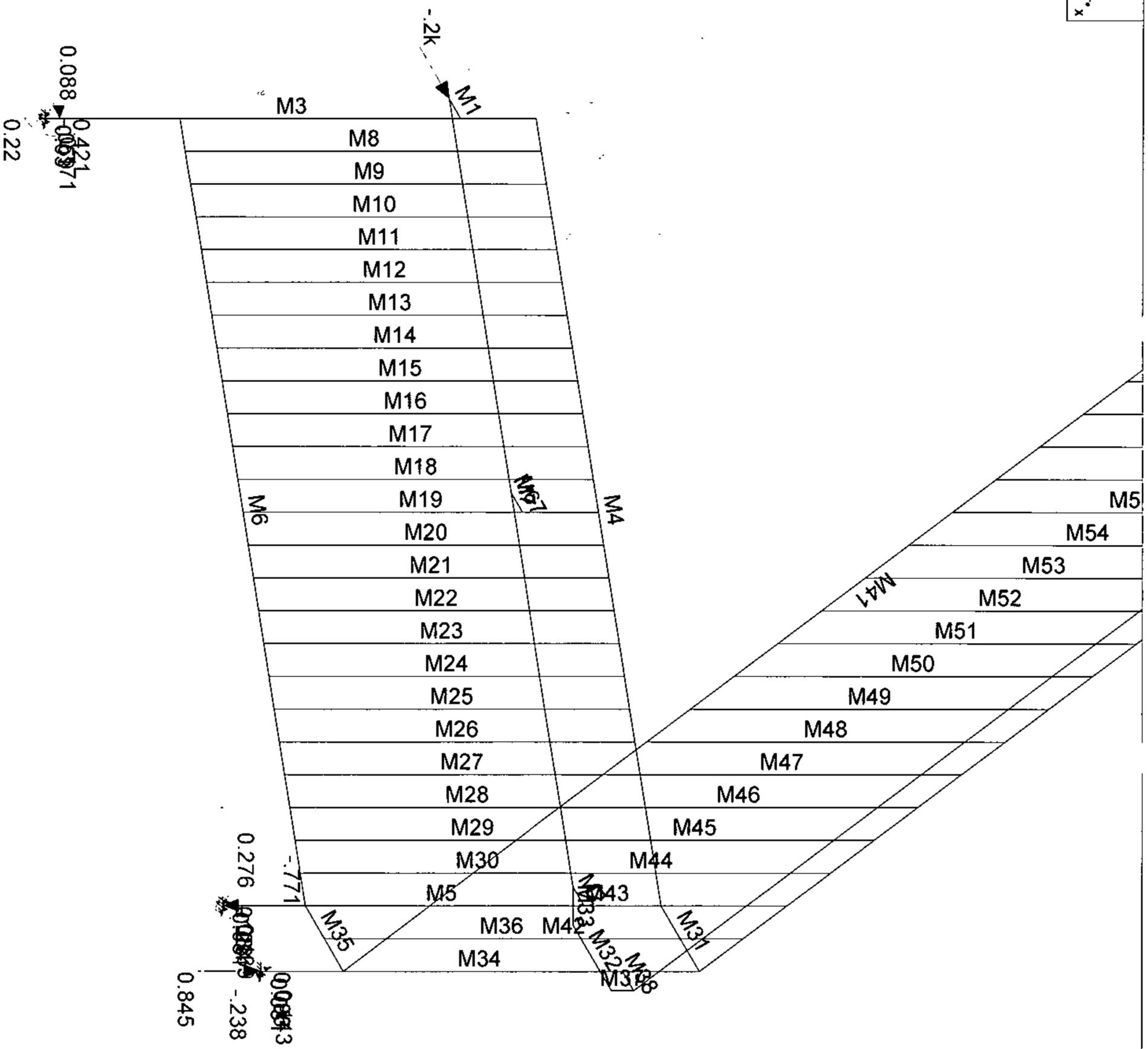
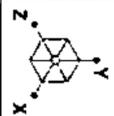
DESIGN LOADS:

<u>ROOF DEAD LOAD</u>		<u>FLOOR DEAD LOAD</u>		<u>WALL DEAD LOAD</u>
<u>SLOPING</u>	<u>FLAT</u>	<u>INT.</u>	<u>EXT.</u>	
ROOFING		FLOORING		INTERIOR 10 PSF
PLYWOOD		PLYWOOD		EXTERIOR 16 PSF
JOISTS		JOISTS		
INSUL. & CLG.		INSUL. & CLG.		
MISC.		MISC.		
TOTAL =		TOTAL =		
<u>ROOF LIVE LOAD</u>		<u>FLOOR LIVE LOAD</u>		
SLOPING =		INTERIOR	40 PSF	
FLAT =		BALCONY	60 PSF (U.O.N.)	
		EXIT WALKWAY	100 PSF	

50 PLF LL
 OR
 200 # POINT LIVE LOAD

These calculations are limited only to the items included herein, selected by the client and do not imply approval of any other portion of the structure by this office. These calculations are not valid if altered in any way, or not accompanied by a wet stamp and signature of the Engineer of Record.

Job No.	Designed By	Date
110-724	JH	11/11/12



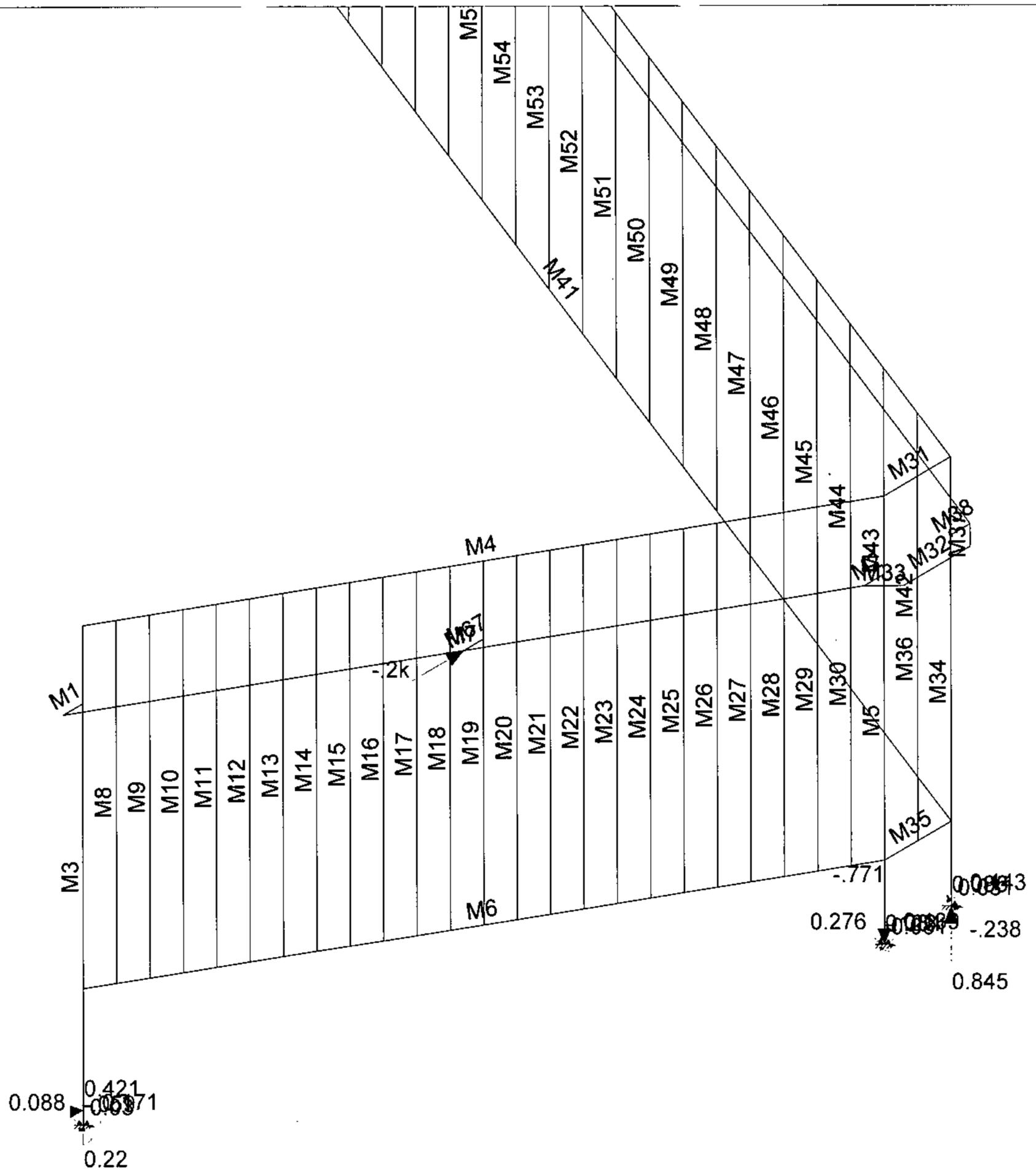
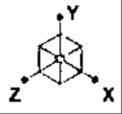
Loads: BLC 2, 200lb @ bottom
 Results for LC 1, 50plf
 Reaction units are k and k-ft

Horowitz Taylor Kushkaki

HTK

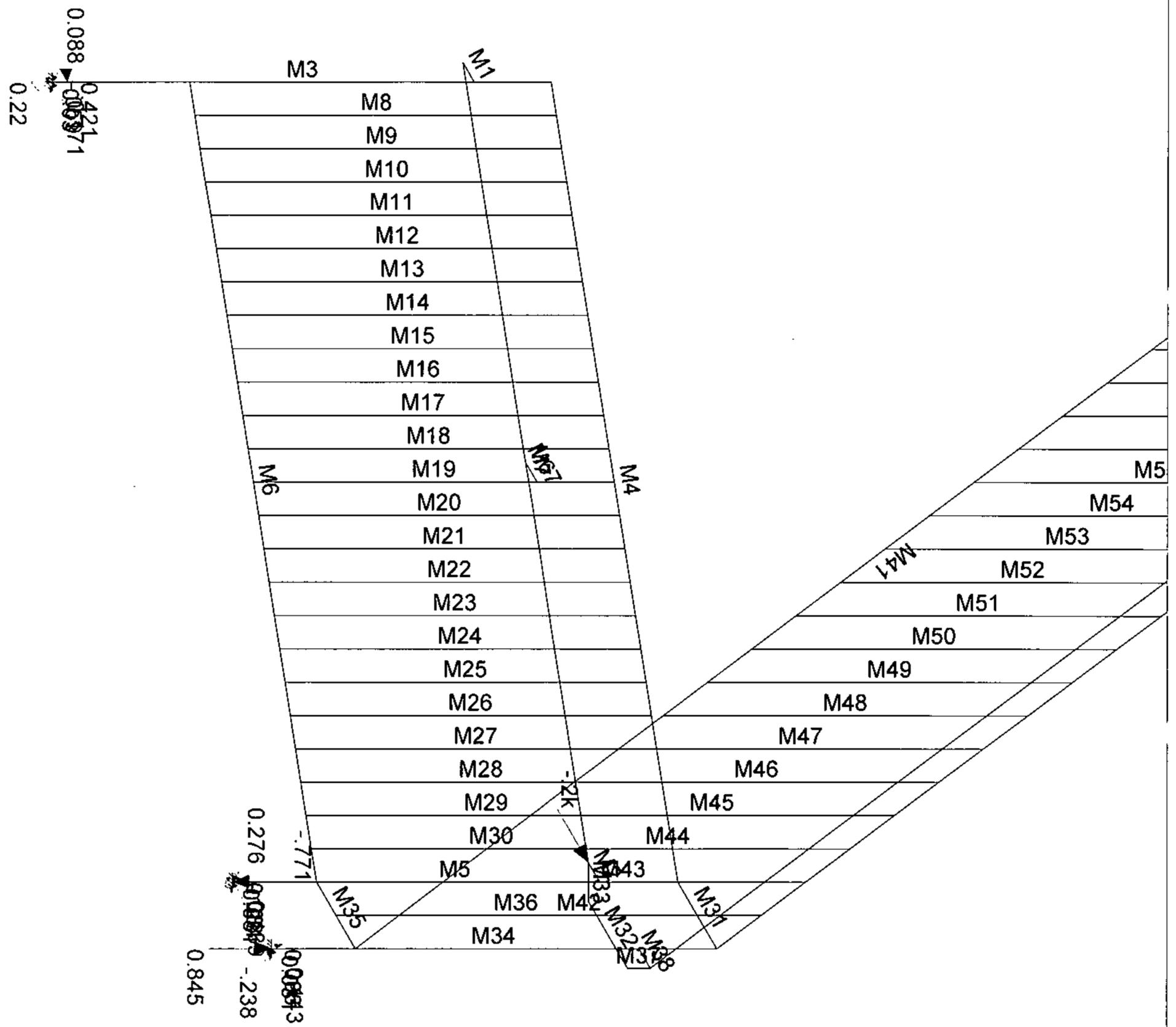
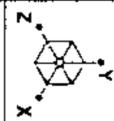
NOV 8, 2016 at 7:18 AM

broadstonerail_f.r3d



Loads: BLC 3, 200lb @ mid
 Results for LC 1, 50plf
 Reaction units are k and k-ft

Horowitz Taylor Kushkaki		
HTK		Nov 8, 2016 at 7:19 AM
		broadstonerail_f.r3d



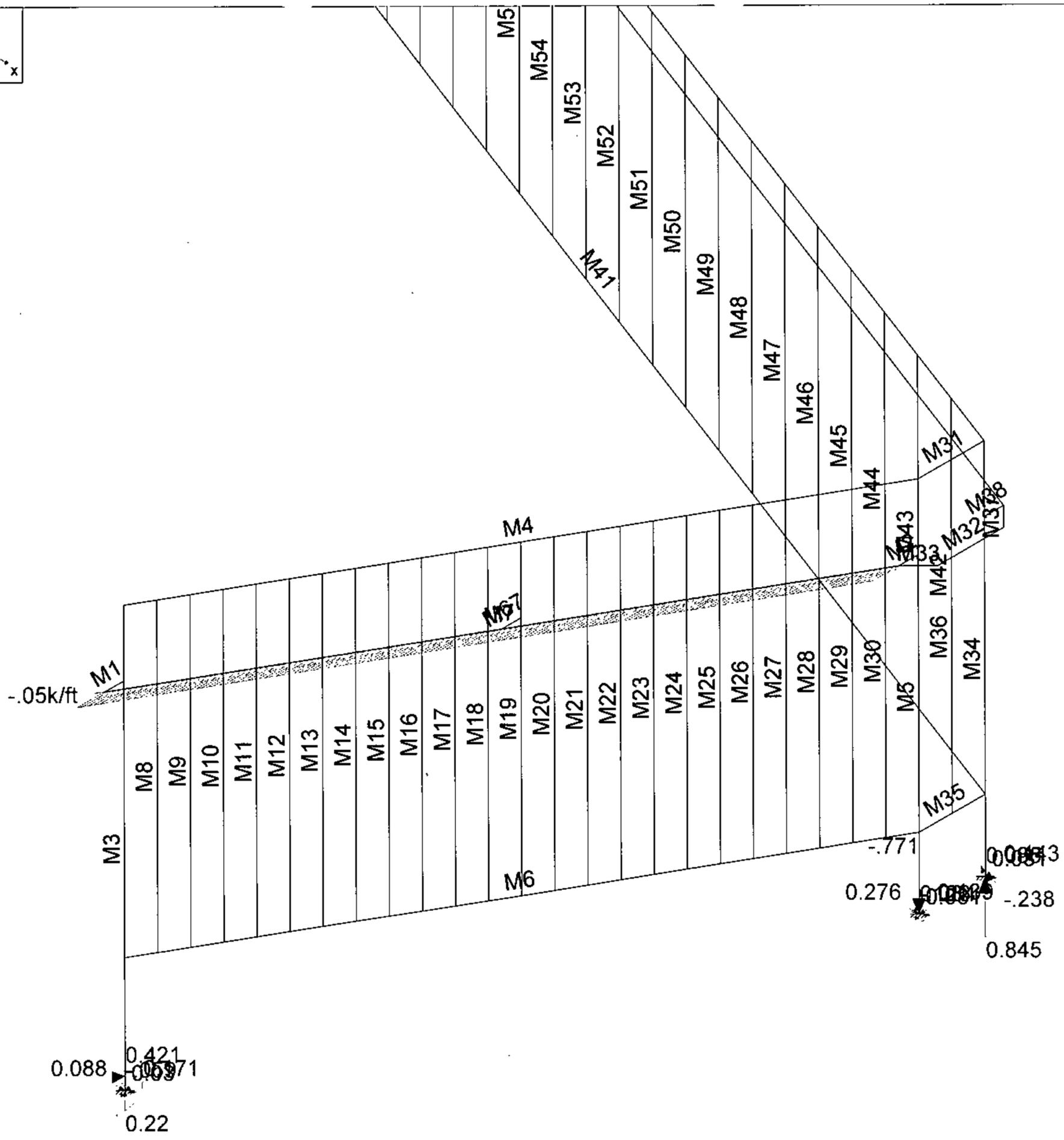
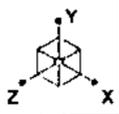
Loads: BLC 4, 2001b @ doublepost
 Results for LC 1, 50pf
 Reaction units are k and k-ft

Horowitz Taylor Kushkaki

HTK

Nov 8, 2016 at 7:20 AM

broadstonerail_f.r3d



Loads: BLC 1, 50plf
 Results for LC 1, 50plf
 Reaction units are k and k-ft

Horowitz Taylor Kushkaki
 HTK

Nov 8, 2016 at 7:14 AM
 broadstonerail_f.r3d

Member ASD Steel Code Checks (Continued)

LC	Member	Shape	UC Max	Loc(ft)	Shear U	Loc(ft)	Dir	Fa[ksi]	Ft[ksi]	Fby[ksi]	Fbz[ksi]	Cb	Cmy	Cmz	Eqn
57	1	M60	PIPE 1.0	010	3.112	001	0	14.09	21	23.1	23.1	2.3	449	219	H1-2
58	1	M61	PIPE 1.0	010	3.112	001	0	14.09	21	23.1	23.1	2.3	508	232	H1-2
59	1	M62	PIPE 1.0	012	3.112	001	0	14.09	21	23.1	23.1	1.75	536	6	H1-2
60	1	M63	PIPE 1.0	018	3.112	002	0	14.09	21	23.1	23.1	1.75	539	6	H2-1
61	1	M64	PIPE 1.0	032	3.112	003	0	14.09	21	23.1	23.1	2.3	523	262	H2-1
62	1	M66	PIPE 1.25	111	9.483	012	9.483	3.359	21	23.1	23.1	1.115	358	85	H2-1

Basic Load Cases

BLC	Description	Category	X Gravity	Y Gravity	Z Gravity	Joint	Point	Distributed Area (Me...	Surface (...)
1	50pfl	None		-1				1	
2	200lb @ bottom	None		-1		1			
3	200lb @ mid	None		-1		1			
4	200lb @ doublepost	None		-1		1			

Member Section Forces

LC	Member Label	Sec	Axial[k]	y Shear[k]	z Shear[k]	Torque[k-ft]	y-y Moment[k-...	z-z Moment[k-...
1	1	M1	1	135	272	-407	007	007
2			2	135	272	-407	007	-013
3			3	135	272	-407	007	-033
4			4	135	272	-407	007	-052
5			5	135	272	-407	007	-072
6	1	M2	1	186	-201	11	017	039
7			2	186	-201	11	017	045
8			3	186	-201	11	017	05
9			4	186	-201	11	017	055
10			5	186	-201	11	017	061
11	1	M3	1	22	-088	171	03	-421
12			2	218	-088	171	03	-238
13			3	-169	-083	091	033	-056
14			4	-171	-083	091	033	041
15			5	-445	325	-045	026	018
16	1	M4	1	-513	-202	-045	-001	031
17			2	-269	042	-017	-011	071
18			3	0	058	-144	018	134
19			4	-025	001	-105	-049	-015
20			5	-069	-048	-058	-103	-113
21	1	M5	1	-06	09	-093	-004	014
22			2	-259	-019	092	035	-089
23			3	-257	-019	092	035	0
24			4	-255	-019	092	035	088
25			5	-771	276	139	081	084
26	1	M6	1	211	321	081	063	-043
27			2	-056	044	053	0	062
28			3	-138	-02	045	-017	092
29			4	-127	003	-025	-054	011
30			5	-103	019	-071	-122	-131
31	1	M7	1	489	011	136	-02	-073
32			2	486	006	017	-02	108
33			3	484	012	-102	-037	032
34			4	262	008	-054	-037	043
35			5	26	003	-173	-037	-227
36	1	M8	1	262	014	015	014	-021
37			2	263	014	015	014	-009
38			3	264	014	015	014	003

Member Section Forces (Continued)

LC	Member Label	Sec	Axial[k]	y Shear[k]	z Shear[k]	Torque[k-ft]	y-y Moment[k-...]	z-z Moment[k-...	
96	1	M20	1	-04	002	008	016	-029	003
97			2	-039	002	008	016	-022	002
98			3	-038	002	008	016	-016	0
99			4	-036	002	008	016	-01	-001
100			5	-035	002	008	016	-004	-003
101	1	M21	1	-01	002	007	016	-026	003
102			2	-009	002	007	016	-02	002
103			3	-008	002	007	016	-015	0
104			4	-006	002	007	016	-009	-002
105			5	-005	002	007	016	-004	-003
106	1	M22	1	0	002	006	016	-023	003
107			2	0	002	006	016	-018	002
108			3	002	002	006	016	-013	0
109			4	003	002	006	016	-008	-002
110			5	005	002	006	016	-003	-003
111	1	M23	1	0	002	006	016	-021	003
112			2	0	002	006	016	-017	001
113			3	002	002	006	016	-012	0
114			4	003	002	006	016	-007	-001
115			5	004	002	006	016	-002	-003
116	1	M24	1	-002	001	006	015	-02	002
117			2	0	001	006	015	-015	0
118			3	0	001	006	015	-011	0
119			4	002	001	006	015	-006	0
120			5	003	001	006	015	-001	-002
121	1	M25	1	-002	0	006	014	-018	0
122			2	-001	0	006	014	-014	0
123			3	0	0	006	014	-009	0
124			4	001	0	006	014	-005	0
125			5	003	0	006	014	0	0
126	1	M26	1	-003	0	006	013	-018	0
127			2	-002	0	006	013	-013	0
128			3	0	0	006	013	-008	0
129			4	0	0	006	013	-003	0
130			5	002	0	006	013	002	0
131	1	M27	1	-003	-001	007	012	-018	-002
132			2	-001	-001	007	012	-012	0
133			3	0	-001	007	012	-007	0
134			4	001	-001	007	012	-001	0
135			5	003	-001	007	012	004	002
136	1	M28	1	0	-002	008	011	-018	-003
137			2	001	-002	008	011	-012	-002
138			3	002	-002	008	011	-006	0
139			4	004	-002	008	011	0	002
140			5	005	-002	008	011	007	003
141	1	M29	1	-003	-003	011	011	-021	-005
142			2	-002	-003	011	011	-013	-002
143			3	0	-003	011	011	-004	0
144			4	001	-003	011	011	004	002
145			5	002	-003	011	011	012	004
146	1	M30	1	-051	-004	015	011	-026	-007
147			2	-049	-004	015	011	-015	-003
148			3	-048	-004	015	011	-003	0
149			4	-047	-004	015	011	008	003
150			5	-045	-004	015	011	019	006
151	1	M31	1	151	-138	058	-028	-155	-012
152			2	151	-138	058	-028	-145	011

Member Section Forces (Continued)

LC	Member_Label	Sec	Axial[k]	y Shear[k]	z Shear[k]	Torque[k-ft]	y-y Moment[k-...]	z-z Moment[k-...
153		3	151	-226	058	-028	-135	034
154		4	124	-226	054	-021	-116	031
155		5	124	-226	054	-021	-107	069
156	1 M32	1	-013	-06	108	-015	-127	-005
157		2	-013	-06	108	-015	-109	005
158		3	-013	-06	108	-015	-091	015
159		4	-013	-061	108	-015	-073	025
160		5	-013	-061	108	-015	-055	035
161	1 M33	1	067	-059	085	-014	-151	-009
162		2	067	-059	085	-014	-145	-005
163		3	067	-059	085	-014	-139	-001
164		4	067	-06	085	-014	-133	003
165		5	067	-06	085	-014	-127	007
166	1 M34	1	221	-06	08	025	-052	-029
167		2	194	-007	06	015	-051	-007
168		3	196	-007	06	015	007	0
169		4	198	-007	06	015	065	007
170		5	845	-238	143	031	085	096
171	1 M35	1	026	-557	198	-034	-131	-159
172		2	026	-557	198	-034	-098	-066
173		3	052	-476	202	-028	-075	-015
174		4	052	-476	202	-028	-042	064
175		5	052	-477	202	-028	-008	143
176	1 M36	1	-087	-004	027	01	-041	-007
177		2	-086	-004	027	01	-02	-004
178		3	-085	-004	027	01	0	0
179		4	-083	-004	027	01	022	003
180		5	-082	-004	027	01	043	006
181	1 M37	1	-085	-061	067	-036	-055	014
182		2	-085	-061	067	-036	-051	018
183		3	-085	-062	067	-036	-046	023
184		4	-085	-062	067	-036	-042	027
185		5	-085	-062	067	-036	-037	031
186	1 M38	1	02	029	053	021	0	-064
187		2	02	029	053	021	003	-066
188		3	02	029	053	021	005	-067
189		4	02	029	053	021	008	-069
190		5	02	029	053	021	01	-07
191	1 M39	1	002	-008	044	-058	-06	008
192		2	106	044	016	-011	-025	-011
193		3	153	026	011	-002	-009	-009
194		4	168	008	008	002	006	-005
195		5	101	-105	0	004	013	05
196	1 M40	1	034	142	0	-013	-004	05
197		2	149	-019	008	0	003	-026
198		3	151	-019	008	0	01	-008
199		4	153	-019	008	0	018	01
200		5	122	-126	021	-024	041	07
201	1 M41	1	-073	-086	013	019	-017	-035
202		2	-119	-008	007	004	-002	-005
203		3	-082	-026	004	-002	012	-009
204		4	-013	-044	-002	-007	021	-011
205		5	114	-127	-031	-034	-032	057
206	1 M42	1	082	-008	011	004	-019	-012
207		2	084	-008	011	004	-01	-006
208		3	085	-008	011	004	-001	0
209		4	086	-008	011	004	007	006

Member Section Forces (Continued)

LC	Member Label	Sec	Axial(k)	y Shear(k)	z Shear(k)	Torque(k-ft)	y-y Moment(k-)	z-z Moment(k-)
210		5	.088	-.008	.011	.004	.016	.012
211	1	M43	1	.01	-.01	.007	-.013	-.015
212		2	.011	-.01	.007	.002	-.007	-.008
213		3	.012	-.01	.007	.002	-.002	0
214		4	.014	-.01	.007	.002	.004	.008
215		5	.015	-.01	.007	.002	.009	.016
216	1	M44	1	0	-.011	.005	-.009	-.017
217		2	.001	-.011	.005	0	-.005	-.009
218		3	.002	-.011	.005	0	-.002	0
219		4	.004	-.011	.005	0	.002	.009
220		5	.005	-.011	.005	0	.005	.017
221	1	M45	1	.003	-.011	.003	-.007	-.017
222		2	.004	-.011	.003	0	-.004	-.009
223		3	.006	-.011	.003	0	-.002	0
224		4	.007	-.011	.003	0	0	.009
225		5	.008	-.011	.003	0	.003	.017
226	1	M46	1	.004	-.011	.002	-.005	-.017
227		2	.006	-.011	.002	0	-.003	-.008
228		3	.007	-.011	.002	0	-.002	0
229		4	.008	-.011	.002	0	0	.008
230		5	.01	-.011	.002	0	.001	.017
231	1	M47	1	.004	-.01	.001	-.001	-.016
232		2	.005	-.01	.001	-.001	-.003	-.008
233		3	.007	-.01	.001	-.001	-.002	0
234		4	.008	-.01	.001	-.001	0	.008
235		5	.009	-.01	.001	-.001	0	.016
236	1	M48	1	.004	-.01	.001	-.001	-.015
237		2	.005	-.01	.001	-.001	-.002	-.008
238		3	.006	-.01	.001	-.001	-.001	0
239		4	.008	-.01	.001	-.001	0	.008
240		5	.009	-.01	.001	-.001	0	.015
241	1	M49	1	.003	-.009	0	-.001	-.014
242		2	.005	-.009	0	-.001	-.002	-.007
243		3	.006	-.009	0	-.001	-.001	0
244		4	.007	-.009	0	-.001	0	.007
245		5	.008	-.009	0	-.001	0	.014
246	1	M50	1	.003	-.008	0	-.001	-.013
247		2	.004	-.008	0	-.001	-.002	-.007
248		3	.005	-.008	0	-.001	-.001	0
249		4	.007	-.008	0	-.001	0	.007
250		5	.008	-.008	0	-.001	0	.013
251	1	M51	1	.002	-.008	0	-.001	-.012
252		2	.004	-.008	0	-.001	-.002	-.006
253		3	.005	-.008	0	-.001	-.001	0
254		4	.006	-.008	0	-.001	0	.006
255		5	.008	-.008	0	-.001	0	.012
256	1	M52	1	.002	-.007	0	-.001	-.011
257		2	.003	-.007	0	-.001	-.001	-.005
258		3	.004	-.007	0	-.001	0	0
259		4	.006	-.007	0	-.001	0	.006
260		5	.007	-.007	0	-.001	0	.011
261	1	M53	1	.001	-.006	0	-.001	-.01
262		2	.003	-.006	0	-.001	-.001	-.005
263		3	.004	-.006	0	-.001	0	0
264		4	.005	-.006	0	-.001	0	.005
265		5	.007	-.006	0	-.001	0	.01
266	1	M54	1	0	-.006	0	-.001	-.009

Member Section Forces (Continued)

LC	Member_Label	Sec	Axial[k]	y_Shear[k]	z_Shear[k]	Torque[k-ft]	y-y_Moment[k-...]	z-z_Moment[k-...
267		2	.002	-.006	0	0	-.001	-.004
268		3	.004	-.006	0	0	0	0
269		4	.005	-.006	0	0	0	.004
270		5	.006	-.006	0	0	0	.009
271	1	M55	1	0	-.005	0	-.001	-.007
272		2	.002	-.005	0	0	0	-.004
273		3	.003	-.005	0	0	0	0
274		4	.004	-.005	0	0	0	.004
275		5	.006	-.005	0	0	0	.008
276	1	M56	1	0	-.004	0	-.001	-.006
277		2	.001	-.004	0	0	0	-.003
278		3	.003	-.004	0	0	0	0
279		4	.004	-.004	0	0	0	.003
280		5	.005	-.004	0	0	0	.006
281	1	M57	1	0	-.003	0	-.001	-.005
282		2	0	-.003	0	0	0	-.003
283		3	.002	-.003	0	0	0	0
284		4	.003	-.003	0	0	0	.003
285		5	.005	-.003	0	0	0	.005
286	1	M58	1	0	-.003	0	0	-.004
287		2	0	-.003	0	0	0	-.002
288		3	.002	-.003	0	0	0	0
289		4	.003	-.003	0	0	0	.002
290		5	.004	-.003	0	0	0	.004
291	1	M59	1	-.001	-.002	0	0	-.003
292		2	0	-.002	0	0	0	-.001
293		3	.001	-.002	0	0	0	0
294		4	.002	-.002	0	0	0	.002
295		5	.004	-.002	0	0	.001	.003
296	1	M60	1	-.001	-.001	0	0	-.002
297		2	0	-.001	0	0	0	0
298		3	.001	-.001	0	0	0	0
299		4	.002	-.001	0	0	0	.001
300		5	.004	-.001	0	0	.002	.002
301	1	M61	1	0	0	0	0	-.001
302		2	.001	0	0	0	0	0
303		3	.003	0	0	0	0	0
304		4	.004	0	0	0	.001	0
305		5	.005	0	0	0	.002	.001
306	1	M62	1	-.001	0	.001	0	0
307		2	0	0	.001	0	0	0
308		3	.001	0	.001	0	.001	0
309		4	.003	0	.001	0	.002	0
310		5	.004	0	.001	0	.003	0
311	1	M63	1	-.028	0	.001	0	0
312		2	-.026	0	.001	0	0	0
313		3	-.025	0	.001	0	.002	0
314		4	-.024	0	.001	0	.003	0
315		5	-.023	0	.001	0	.004	0
316	1	M64	1	-.093	0	.002	-.001	0
317		2	-.092	0	.002	0	0	0
318		3	-.091	0	.002	0	.002	0
319		4	-.089	0	.002	0	.004	0
320		5	-.088	0	.002	0	.006	.001
321	1	M65	1	-.007	.112	-.16	.013	.004
322		2	-.007	.112	-.16	-.013	.006	-.001
323		3	-.007	.112	-.16	-.013	-.002	-.007

Member Section Stresses (Continued)

LC	Member Label	Sec	Axial[ksil]	y Shear[ksil]	z Shear[ksil]	y top Bendin...	y bot Bendin...	z top Bendin...	z bot Bendin...	
42		2	147	055	031	-904	904	-602	602	
43		3	15	055	031	044	-044	-059	059	
44		4	152	055	031	991	-991	483	-483	
45		5	155	055	031	1.939	-1.939	1.025	-1.025	
46	1	M10	1	002	052	014	-1.817	1.817	-772	772
47		2	004	052	014	-907	907	-523	523	
48		3	007	052	014	004	-004	-274	274	
49		4	01	052	014	914	-914	-025	025	
50		5	012	052	014	1.824	-1.824	224	-224	
51	1	M11	1	0	05	005	-1.731	1.731	-611	611
52		2	002	05	005	-869	869	-519	519	
53		3	004	05	005	-006	006	-426	426	
54		4	007	05	005	856	-856	-334	334	
55		5	01	05	005	1.719	-1.719	-241	241	
56	1	M12	1	008	047	0	-1.625	1.625	-568	568
57		2	011	047	0	-815	815	-555	555	
58		3	013	047	0	-005	005	-542	542	
59		4	016	047	0	805	-805	-528	528	
60		5	018	047	0	1.615	-1.615	-515	515	
61	1	M13	1	009	043	-001	-1.511	1.511	-599	599
62		2	012	043	-001	-757	757	-619	619	
63		3	014	043	-001	-004	004	-639	639	
64		4	017	043	-001	75	-75	-658	658	
65		5	02	043	-001	1.503	-1.503	-678	678	
66	1	M14	1	007	04	-001	-1.387	1.387	-687	687
67		2	01	04	-001	-695	695	-709	709	
68		3	013	04	-001	-003	003	-731	731	
69		4	015	04	-001	689	-689	-753	753	
70		5	018	04	-001	1.381	-1.381	-775	775	
71	1	M15	1	004	036	0	-1.246	1.246	-834	834
72		2	007	036	0	-624	624	-832	832	
73		3	009	036	0	-002	002	-83	83	
74		4	012	036	0	62	-62	-828	828	
75		5	015	036	0	1.242	-1.242	-826	826	
76	1	M16	1	001	031	003	-1.079	1.079	-1.064	1.064
77		2	004	031	003	-541	541	-1.006	1.006	
78		3	007	031	003	-003	003	-949	949	
79		4	009	031	003	535	-535	-892	892	
80		5	012	031	003	1.073	-1.073	-834	834	
81	1	M17	1	021	025	009	-868	868	-1.421	1.421
82		2	023	025	009	-439	439	-1.263	1.263	
83		3	026	025	009	-011	011	-1.106	1.106	
84		4	029	025	009	418	-418	-948	948	
85		5	031	025	009	847	-847	-79	79	
86	1	M18	1	098	016	019	-56	56	-1.986	1.986
87		2	101	016	019	-286	286	-1.655	1.655	
88		3	104	016	019	-013	013	-1.324	1.324	
89		4	106	016	019	261	-261	-993	993	
90		5	109	016	019	534	-534	-662	662	
91	1	M19	1	198	739	-544	-5.882	5.882	3.396	-3.396
92		2	-018	-03	124	961	-961	-4.989	4.989	
93		3	-015	-03	124	442	-442	-2.835	2.835	
94		4	-013	-03	124	-076	076	-681	681	
95		5	-01	-03	124	-594	594	1.473	-1.473	
96	1	M20	1	-081	008	032	-268	268	-2.584	2.584
97		2	-079	008	032	-136	136	-2.03	2.03	
98		3	-076	008	032	-004	004	-1.476	1.476	

Member Section Stresses (Continued)

LC	Member Label	Sec	Axial(ksj)	y Shear(ksj)	z Shear(ksj)	y_top Bendin...	y_bot Bendin...	z_top Bendin...	z_bot Bendin...	
156	1	M32	1	-019	-179	323	266	-266	-6.515	6.515
157			2	-019	-18	323	-245	245	-5.595	5.595
158			3	-019	-181	323	-759	759	-4.676	4.676
159			4	-019	-182	323	-1.276	1.276	-3.757	3.757
160			5	-019	-183	323	-1.797	1.797	-2.838	2.838
161	1	M33	1	101	-177	255	476	-476	-7.713	7.713
162			2	101	-177	255	268	-268	-7.414	7.414
163			3	101	-178	255	059	-059	-7.114	7.114
164			4	101	-178	255	-15	15	-6.814	6.814
165			5	101	-179	255	-36	36	-6.515	6.515
166	1	M34	1	33	-18	239	1.474	-1.474	-2.652	2.652
167			2	29	-022	181	358	-358	-2.615	2.615
168			3	293	-022	181	-009	009	347	-347
169			4	296	-022	181	-377	377	3.308	-3.308
170			5	1.265	-711	428	-4.921	4.921	4.335	-4.335
171	1	M35	1	038	-1.667	592	8.112	-8.112	-6.693	6.693
172			2	038	-1.668	592	3.358	-3.358	-5.006	5.006
173			3	078	-1.423	604	791	-791	-3.849	3.849
174			4	078	-1.424	604	-3.269	3.269	-2.126	2.126
175			5	078	-1.426	604	-7.332	7.332	-404	404
176	1	M36	1	-177	-017	109	614	-614	-3.69	3.69
177			2	-174	-017	109	325	-325	-1.802	1.802
178			3	-171	-017	109	037	-037	087	-087
179			4	-169	-017	109	-251	251	1.976	-1.976
180			5	-166	-017	109	-54	54	3.865	-3.865
181	1	M37	1	-127	-183	201	-723	723	-2.838	2.838
182			2	-127	-184	201	-938	938	-2.601	2.601
183			3	-127	-184	201	-1.155	1.155	-2.364	2.364
184			4	-127	-185	201	-1.372	1.372	-2.127	2.127
185			5	-127	-185	201	-1.589	1.589	-1.89	1.89
186	1	M38	1	0	0	0	0	0	0	0
187			2	0	0	0	0	0	0	0
188			3	0	0	0	0	0	0	0
189			4	0	0	0	0	0	0	0
190			5	0	0	0	0	0	0	0
191	1	M39	1	003	-025	133	-41	41	-3.075	3.075
192			2	159	13	049	557	-557	-1.254	1.254
193			3	229	077	032	447	-447	-439	439
194			4	251	024	023	256	-256	331	-331
195			5	152	-314	002	-2.562	2.562	669	-669
196	1	M40	1	051	424	002	-2.562	2.562	-191	191
197			2	222	-056	022	1.308	-1.308	166	-166
198			3	226	-056	022	394	-394	534	-534
199			4	229	-056	022	-52	52	902	-902
200			5	182	-377	062	-3.594	3.594	2.106	-2.106
201	1	M41	1	-109	-256	04	1.804	-1.804	-879	879
202			2	-179	-025	021	26	-26	-119	119
203			3	-122	-078	011	447	-447	608	-608
204			4	-019	-131	-007	554	-554	1.079	-1.079
205			5	171	-38	-091	-2.894	2.894	-1.628	1.628
206	1	M42	1	167	-032	046	1.059	-1.059	-1.723	1.723
207			2	169	-032	046	512	-512	-928	928
208			3	172	-032	046	-035	035	-133	133
209			4	175	-032	046	-582	582	662	-662
210			5	177	-032	046	-1.129	1.129	1.457	-1.457
211	1	M43	1	02	-041	029	1.398	-1.398	-1.17	1.17
212			2	022	-041	029	693	-693	-667	667

Member Section Stresses (Continued)

LC	Member_Label	Sec	Axial[ksi]	y_Shear[ksi]	z_Shear[ksi]	y_top_Bendin...	y_bot_Bendin...	z_top_Bendin...	z_bot_Bendin...
213		3	.025	-.041	.029	-.013	.013	-.165	.165
214		4	.028	-.041	.029	-.718	.718	.338	-.338
215		5	.03	-.041	.029	-1.423	1.423	.84	-.84
216	1 M44	1	0	-.044	.019	1.538	-1.538	-.819	.819
217		2	.002	-.044	.019	.769	-.769	-.496	.496
218		3	.005	-.044	.019	0	0	-.172	.172
219		4	.008	-.044	.019	-.77	.77	.151	-.151
220		5	.01	-.044	.019	-1.539	1.539	.475	-.475
221	1 M45	1	.006	-.045	.012	1.563	-1.563	-.595	.595
222		2	.009	-.045	.012	.782	-.782	-.381	.381
223		3	.012	-.045	.012	0	0	-.167	.167
224		4	.014	-.045	.012	-.782	.782	.046	-.046
225		5	.017	-.045	.012	-1.563	1.563	.26	-.26
226	1 M46	1	.009	-.044	.008	1.53	-1.53	-.449	.449
227		2	.011	-.044	.008	.764	-.764	-.303	.303
228		3	.014	-.044	.008	-.001	.001	-.157	.157
229		4	.017	-.044	.008	-.767	.767	-.011	.011
230		5	.019	-.044	.008	-1.532	1.532	.135	-.135
231	1 M47	1	.008	-.042	.006	1.465	-1.465	-.352	.352
232		2	.011	-.042	.006	.732	-.732	-.248	.248
233		3	.014	-.042	.006	-.002	.002	-.144	.144
234		4	.016	-.042	.006	-.735	.735	-.04	.04
235		5	.019	-.042	.006	-1.469	1.469	.065	-.065
236	1 M48	1	.007	-.04	.005	1.382	-1.382	-.287	.287
237		2	.01	-.04	.005	.69	-.69	-.209	.209
238		3	.013	-.04	.005	-.002	.002	-.13	.13
239		4	.015	-.04	.005	-.695	.695	-.052	.052
240		5	.018	-.04	.005	-1.387	1.387	.026	-.026
241	1 M49	1	.007	-.037	.004	1.289	-1.289	-.241	.241
242		2	.009	-.037	.004	.643	-.643	-.179	.179
243		3	.012	-.037	.004	-.003	.003	-.117	.117
244		4	.014	-.037	.004	-.649	.649	-.055	.055
245		5	.017	-.037	.004	-1.295	1.295	.008	-.008
246	1 M50	1	.006	-.034	.003	1.191	-1.191	-.208	.208
247		2	.008	-.034	.003	.594	-.594	-.156	.156
248		3	.011	-.034	.003	-.003	.003	-.104	.104
249		4	.014	-.034	.003	-.6	.6	-.052	.052
250		5	.016	-.034	.003	-1.197	1.197	0	0
251	1 M51	1	.005	-.031	.003	1.089	-1.089	-.183	.183
252		2	.007	-.031	.003	.543	-.543	-.137	.137
253		3	.01	-.031	.003	-.003	.003	-.091	.091
254		4	.013	-.031	.003	-.55	.55	-.045	.045
255		5	.015	-.031	.003	-1.096	1.096	0	0
256	1 M52	1	.004	-.029	.002	.986	-.986	-.163	.163
257		2	.006	-.029	.002	.491	-.491	-.121	.121
258		3	.009	-.029	.002	-.004	.004	-.079	.079
259		4	.012	-.029	.002	-.498	.498	-.037	.037
260		5	.014	-.029	.002	-.993	.993	.005	-.005
261	1 M53	1	.003	-.026	.002	.881	-.881	-.146	.146
262		2	.005	-.026	.002	.439	-.439	-.107	.107
263		3	.008	-.026	.002	-.004	.004	-.067	.067
264		4	.011	-.026	.002	-.446	.446	-.027	.027
265		5	.013	-.026	.002	-.889	.889	.012	-.012
266	1 M54	1	.002	-.022	.002	.777	-.777	-.131	.131
267		2	.004	-.022	.002	.386	-.386	-.093	.093
268		3	.007	-.022	.002	-.004	.004	-.055	.055
269		4	.01	-.022	.002	-.394	.394	-.017	.017

Member Section Stresses (Continued)

LC	Member Label	Sec	Axial[ksi]	y Shear[ksi]	z Shear[ksi]	y top Bendin.	y bot Bendin.	z top Bendin.	z bot Bendin.	
270		5	.012	-.022	.002	-.785	.785	.021	-.021	
271	1	M55	1	0	-.019	.002	.672	-.672	-.117	.117
272		2	.004	-.019	.002	.334	-.334	-.08	.08	
273		3	.006	-.019	.002	-.004	.004	-.042	.042	
274		4	.009	-.019	.002	-.342	.342	-.005	.005	
275		5	.011	-.019	.002	-.681	.681	.033	-.033	
276	1	M56	1	0	-.016	.002	.568	-.568	-.104	.104
277		2	.003	-.016	.002	.282	-.282	-.067	.067	
278		3	.005	-.016	.002	-.005	.005	-.029	.029	
279		4	.008	-.016	.002	-.291	.291	.008	-.008	
280		5	.011	-.016	.002	-.577	.577	.045	-.045	
281	1	M57	1	-.001	-.014	.002	.465	-.465	-.091	.091
282		2	.002	-.014	.002	.23	-.23	-.053	.053	
283		3	.004	-.014	.002	-.005	.005	-.015	.015	
284		4	.007	-.014	.002	-.24	.24	.023	-.023	
285		5	.01	-.014	.002	-.474	.474	.061	-.061	
286	1	M58	1	-.002	-.011	.002	.364	-.364	-.077	.077
287		2	0	-.011	.002	.18	-.18	-.038	.038	
288		3	.003	-.011	.002	-.005	.005	.001	-.001	
289		4	.006	-.011	.002	-.189	.189	.04	-.04	
290		5	.009	-.011	.002	-.374	.374	.08	-.08	
291	1	M59	1	-.003	-.008	.002	.267	-.267	-.064	.064
292		2	0	-.008	.002	.131	-.131	-.022	.022	
293		3	.002	-.008	.002	-.005	.005	.02	-.02	
294		4	.005	-.008	.002	-.141	.141	.062	-.062	
295		5	.008	-.008	.002	-.277	.277	.104	-.104	
296	1	M60	1	-.003	-.005	.003	.178	-.178	-.052	.052
297		2	0	-.005	.003	.087	-.087	-.005	.005	
298		3	.002	-.005	.003	-.005	.005	.043	-.043	
299		4	.005	-.005	.003	-.096	.096	.09	-.09	
300		5	.008	-.005	.003	-.187	.187	.137	-.137	
301	1	M61	1	0	-.003	.003	.1	-.1	-.043	.043
302		2	.002	-.003	.003	.048	-.048	.014	-.014	
303		3	.005	-.003	.003	-.004	.004	.071	-.071	
304		4	.008	-.003	.003	-.056	.056	.128	-.128	
305		5	.01	-.003	.003	-.109	.109	.184	-.184	
306	1	M62	1	-.002	-.001	.004	.04	-.04	-.041	.041
307		2	0	-.001	.004	.016	-.016	.033	-.033	
308		3	.003	-.001	.004	-.008	.008	.107	-.107	
309		4	.006	-.001	.004	-.032	.032	.181	-.181	
310		5	.008	-.001	.004	-.056	.056	.254	-.254	
311	1	M63	1	-.056	0	.006	.011	-.011	-.055	.055
312		2	-.054	0	.006	-.006	.006	.049	-.049	
313		3	-.051	0	.006	-.023	.023	.153	-.153	
314		4	-.048	0	.006	-.04	.04	.258	-.258	
315		5	-.046	0	.006	-.057	.057	.362	-.362	
316	1	M64	1	-.189	-.003	.009	.086	-.086	-.103	.103
317		2	-.186	-.003	.009	.039	-.039	.056	-.056	
318		3	-.183	-.003	.009	-.008	.008	.215	-.215	
319		4	-.181	-.003	.009	-.055	.055	.374	-.374	
320		5	-.178	-.003	.009	-.102	.102	.533	-.533	
321	1	M65	1	0	0	0	0	0	0	
322		2	0	0	0	0	0	0	0	
323		3	0	0	0	0	0	0	0	
324		4	0	0	0	0	0	0	0	
325		5	0	0	0	0	0	0	0	
326	1	M66	1	-.293	.026	.021	-.69	.69	-1.253	1.253

Hot Rolled Steel Design Parameters (Continued)

	Label	Shape	Length[...]	Lbyy[ft]	Lbzz[ft]	Lcomp_top...	Lcomp_bot...	Kyy	Kzz	Cm-yy	Cm-zz	Cb	y_sway	z_sway
7	M9	10D	3.111											
8	M10	10D	3.111											
9	M11	10D	3.111											
10	M12	10D	3.111											
11	M13	10D	3.111											
12	M14	10D	3.111											
13	M15	10D	3.111											
14	M16	10D	3.111											
15	M17	10D	3.111											
16	M18	10D	3.111											
17	M19	10D	3.111											
18	M20	10D	3.111											
19	M21	10D	3.111											
20	M22	10D	3.111											
21	M23	10D	3.111											
22	M24	10D	3.111											
23	M25	10D	3.111											
24	M26	10D	3.111											
25	M27	10D	3.111											
26	M28	10D	3.111											
27	M29	10D	3.111											
28	M30	10D	3.111											
29	M31	1.50D	.667											
30	M32	1.50D	.667											
31	M33	1.50D	.275											
32	M34	1.50D	3.833											
33	M35	1.50D	.667											
34	M36	10D	3.111											
35	M37	1.50D	.275											
36	M39	1.50D	9.483											
37	M40	1.50D	3.834											
38	M41	1.50D	9.482											
39	M42	10D	3.112											
40	M43	10D	3.112											
41	M44	10D	3.112											
42	M45	10D	3.112											
43	M46	10D	3.112											
44	M47	10D	3.112											
45	M48	10D	3.112											
46	M49	10D	3.112											
47	M50	10D	3.112											
48	M51	10D	3.112											
49	M52	10D	3.112											
50	M53	10D	3.112											
51	M54	10D	3.112											
52	M55	10D	3.112											
53	M56	10D	3.112											
54	M57	10D	3.112											
55	M58	10D	3.112											
56	M59	10D	3.112											
57	M60	10D	3.112											
58	M61	10D	3.112											
59	M62	10D	3.112											
60	M63	10D	3.112											
61	M64	10D	3.112											
62	M66	1.50D	9.483											

Member Primary Data

	Label	I Joint	J Joint	K Joint	Rotate(deg)	Section/Shape	Design List	Type	Material	Design Rules
1	M1	N3	N4			RIGID	None	None	RIGID	Typical
2	M2	N54	N55			RIGID	None	None	RIGID	Typical
3	M3	N1	N5			1.50D	Pipe	Beam	35 ksi	Typical
4	M4	N5	N53			1.50D	Pipe	Beam	35 ksi	Typical
5	M5	N53	N56			1.50D	Pipe	Beam	35 ksi	Typical
6	M6	N2	N29			1.50D	Pipe	Beam	35 ksi	Typical
7	M7	N4	N55			1.50D	Pipe	Beam	35 ksi	Typical
8	M8	N30	N6			10D	Pipe	Beam	35 ksi	Typical
9	M9	N31	N7			10D	Pipe	Beam	35 ksi	Typical
10	M10	N32	N8			10D	Pipe	Beam	35 ksi	Typical
11	M11	N33	N9			10D	Pipe	Beam	35 ksi	Typical
12	M12	N34	N10			10D	Pipe	Beam	35 ksi	Typical
13	M13	N35	N11			10D	Pipe	Beam	35 ksi	Typical
14	M14	N36	N12			10D	Pipe	Beam	35 ksi	Typical
15	M15	N37	N13			10D	Pipe	Beam	35 ksi	Typical
16	M16	N38	N14			10D	Pipe	Beam	35 ksi	Typical
17	M17	N39	N15			10D	Pipe	Beam	35 ksi	Typical
18	M18	N40	N16			10D	Pipe	Beam	35 ksi	Typical
19	M19	N41	N17			10D	Pipe	Beam	35 ksi	Typical
20	M20	N42	N18			10D	Pipe	Beam	35 ksi	Typical
21	M21	N43	N19			10D	Pipe	Beam	35 ksi	Typical
22	M22	N44	N20			10D	Pipe	Beam	35 ksi	Typical
23	M23	N45	N21			10D	Pipe	Beam	35 ksi	Typical
24	M24	N46	N22			10D	Pipe	Beam	35 ksi	Typical
25	M25	N47	N23			10D	Pipe	Beam	35 ksi	Typical
26	M26	N48	N24			10D	Pipe	Beam	35 ksi	Typical
27	M27	N49	N25			10D	Pipe	Beam	35 ksi	Typical
28	M28	N50	N26			10D	Pipe	Beam	35 ksi	Typical
29	M29	N51	N27			10D	Pipe	Beam	35 ksi	Typical
30	M30	N52	N28			10D	Pipe	Beam	35 ksi	Typical
31	M31	N53	N58			1.50D	Pipe	Beam	35 ksi	Typical
32	M32	N57	N60			1.50D	Pipe	Beam	35 ksi	Typical
33	M33	N55	N57			1.50D	Pipe	Beam	35 ksi	Typical
34	M34	N58	N62			1.50D	Pipe	Beam	35 ksi	Typical
35	M35	N29	N61			1.50D	Pipe	Beam	35 ksi	Typical
36	M36	N63	N64			10D	Pipe	Beam	35 ksi	Typical
37	M37	N60	N66			1.50D	Pipe	Beam	35 ksi	Typical
38	M38	N66	N59			RIGID	None	None	RIGID	Typical
39	M39	N58	N114			1.50D	Pipe	Beam	35 ksi	Typical
40	M40	N114	N115			1.50D	Pipe	Beam	35 ksi	Typical
41	M41	N90	N61			1.50D	Pipe	Beam	35 ksi	Typical
42	M42	N91	N67			10D	Pipe	Beam	35 ksi	Typical
43	M43	N92	N68			10D	Pipe	Beam	35 ksi	Typical
44	M44	N93	N69			10D	Pipe	Beam	35 ksi	Typical
45	M45	N94	N70			10D	Pipe	Beam	35 ksi	Typical
46	M46	N95	N71			10D	Pipe	Beam	35 ksi	Typical
47	M47	N96	N72			10D	Pipe	Beam	35 ksi	Typical
48	M48	N97	N73			10D	Pipe	Beam	35 ksi	Typical
49	M49	N98	N74			10D	Pipe	Beam	35 ksi	Typical
50	M50	N99	N75			10D	Pipe	Beam	35 ksi	Typical
51	M51	N100	N76			10D	Pipe	Beam	35 ksi	Typical
52	M52	N101	N77			10D	Pipe	Beam	35 ksi	Typical
53	M53	N102	N78			10D	Pipe	Beam	35 ksi	Typical
54	M54	N103	N79			10D	Pipe	Beam	35 ksi	Typical
55	M55	N104	N80			10D	Pipe	Beam	35 ksi	Typical
56	M56	N105	N81			10D	Pipe	Beam	35 ksi	Typical

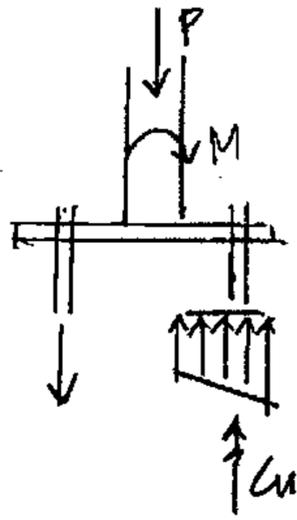
Member Primary Data (Continued)

	Label	I Joint	J Joint	K Joint	Rotate(deg)	Section/Shape	Design List	Type	Material	Design Rules
57	M57	N106	N82			10D	Pipe	Beam	35 ksi	Typical
58	M58	N107	N83			10D	Pipe	Beam	35 ksi	Typical
59	M59	N108	N84			10D	Pipe	Beam	35 ksi	Typical
60	M60	N109	N85			10D	Pipe	Beam	35 ksi	Typical
61	M61	N110	N86			10D	Pipe	Beam	35 ksi	Typical
62	M62	N111	N87			10D	Pipe	Beam	35 ksi	Typical
63	M63	N112	N88			10D	Pipe	Beam	35 ksi	Typical
64	M64	N113	N89			10D	Pipe	Beam	35 ksi	Typical
65	M65	N116	N117			RIGID	None	None	RIGID	Typical
66	M66	N117	N66			1.50D	Pipe	Beam	35 ksi	Typical
67	M67	N118	N118A			RIGID	None	None	RIGID	Typical

BROADSTONE

07-TYP ATTACHMENT

$T = 2026 \#$
 $C_u = 2131 \#$



$M = 504 \#'$

LAG SCREWS: (4) 1/2" x 3 1/2" (LRFD)

$W = 378 \text{ lb/in}$

$W' = W C_t C_{eg} C_{tn} (3.32)(0.65) \lambda$

$C_{eg} = 0.75$

$C_{tn} = 0.67$

$\lambda = 0.90$

$W' = 328 \text{ lb/in}$

$T_u = T / \# \text{ SCREWS IN TEN.} = 1013 \#$

$\phi T_n = W' l = 1148$

$T_u < \phi T_n$

LAG SCREWS OK

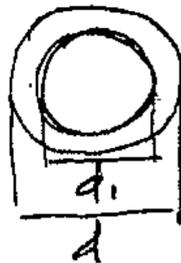
WELD: 3/16" FILLET (ASD) to base plate or metal stringers by others

$f_b = M / S_x$

$M = 313 \#'$ (ASD)

$S_x = \pi / 32 d (d^4 - d_i^4)$

$= 0.222 \text{ IN}^3$



$f_b = 14.9 \text{ KSI}$

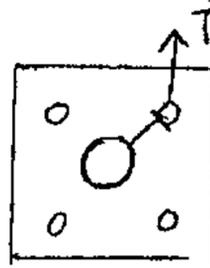
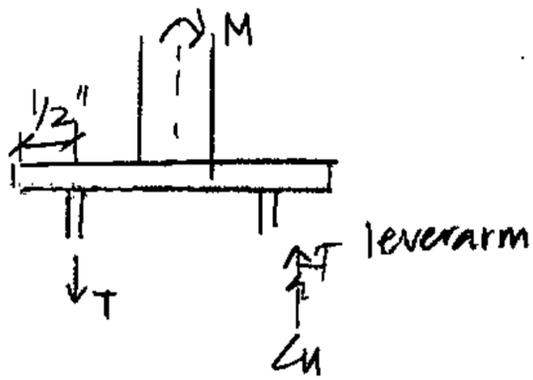
$f_{all} = 0.3 F_{EXX} = 21 \text{ KSI}$

$f_b < f_{all}$

WELD OK

BROADSTONE

BASE PLATE: 1/4" x 4" x 4"



BRE CAPACITY: $\phi 0.65 f_c = 0.9 (0.65) (3000) = 1755 \text{ PSI}$

$BRG_u = \frac{C_u}{A} = 459 \text{ PSI} < \text{BRE CAPACITY}$

$M_u = C_u \times \text{lever arm} = 1246 \text{ LB-IN}$

$\phi M_n = \phi F_y Z_x$

$F_y = 36 \text{ KSI}$

$Z_x = \frac{bh^2}{4} = 0.0625 \text{ in}^3$

$\phi M_n = 2025 \text{ LB-IN}$

$M_u = T \times \text{lever arm} = 1181 \text{ LB-IN} < \phi M_n$

$M_{uT} \& M_{uC} < \phi M_n$

BP OK

BROADSTONE

$$F_p = 0.35 f'_c \sqrt{A_2/A_1} < 0.70 f'_c = 38.3$$

$$P = 86 \quad M = 313$$

$$F_p = 0.35(3) \times 2 = 2.1 \text{ KSI}$$

$$e = M/P = 43.7''$$

$$f = 2.1 \text{ KSI} \times 4 \text{ in.} \times 3.5 / 2 = 14.7 \text{ KSI}$$

$$A = \frac{14.7 - \sqrt{14.7^2 - 4 \left[\frac{2.1 \times 4}{b} \right] [0.086 \times 1.5 + 0.313 \times 12]}}{2.1 \times 5 / 3} = 0.25 \text{ in}^2$$

$$T = 2.1 \times 0.25 \times 4 / 2 - 0.086 = 90 \#$$

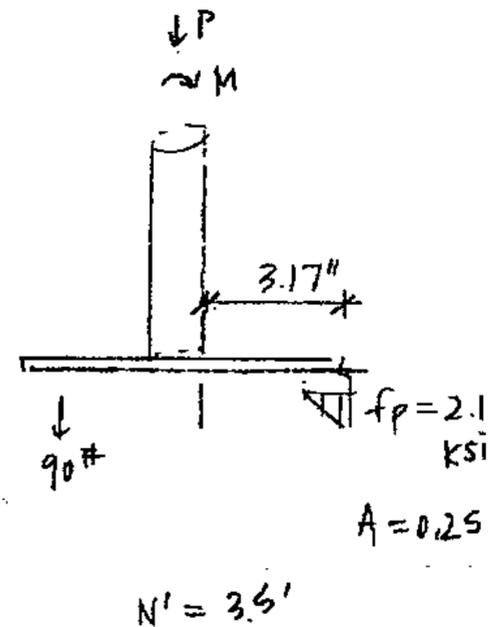
$$x_{crit} = (4 - 0.95 \times 1.66) / 2 = 1.21 \text{ in.}$$

$$M_{pl} = 90 \# \times (1.21 - 0.5) / 2 \times (1.21 - 0.5) = 45 \text{ in-}\# / \text{in.}$$

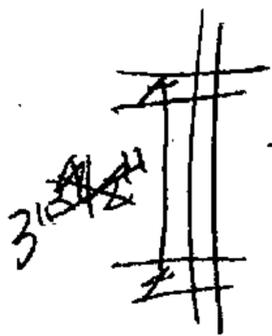
$$t_p = \sqrt{\frac{6 \times 45 \times 10^{-3}}{0.75 \times 36}} = 0.1 \text{ in}$$

$$t_{pl} = 1/4'' > t_{p req}$$

BP OK



FLANGE ATTACHMENT



$$2M = 504 \# \text{ in}$$

$$T = M/d = 504 / 3 = 168 \#$$

$$T/2 = 100 \#$$

$$\text{SEE (2) } \phi T_n = 1148 > T/2$$

1/2" x 3 1/2" BOLTS



Anchor Designer™
Software
Version 2.3.5365.8

Company:	HTK Structural Engineers	Date:	8/23/2016
Engineer:		Page:	1/4
Project:			
Address:			
Phone:			
E-mail:			

1. Project information

Customer company:
Customer contact name:
Customer e-mail:
Comment:

Project description:
Location:
Fastening description:

2. Input Data & Anchor Parameters

General

Design method: ACI 318-11
Units: Imperial units

Anchor Information:

Anchor type: Concrete screw
Material: Carbon Steel
Diameter (inch): 0.375
Nominal Embedment depth (inch): 3.250
Effective Embedment depth, h_{ef} (inch): 2.400
Code report: ICC-ES ESR-2713
Anchor category: 1
Anchor ductility: No
 h_{min} (inch): 5.00
 C_{ac} (inch): 3.63
 C_{min} (inch): 1.75
 S_{min} (inch): 3.00

Base Material

Concrete: Normal-weight
Concrete thickness, h (inch): 8.00
State: Cracked
Compressive strength, f_c (psi): 3000
 $\Psi_{c,v}$: 1.4
Reinforcement condition: A tension, A shear
Supplemental reinforcement: Not applicable
Do not evaluate concrete breakout in tension: No
Do not evaluate concrete breakout in shear: No
Ignore 6do requirement: Not applicable
Build-up grout pad: No

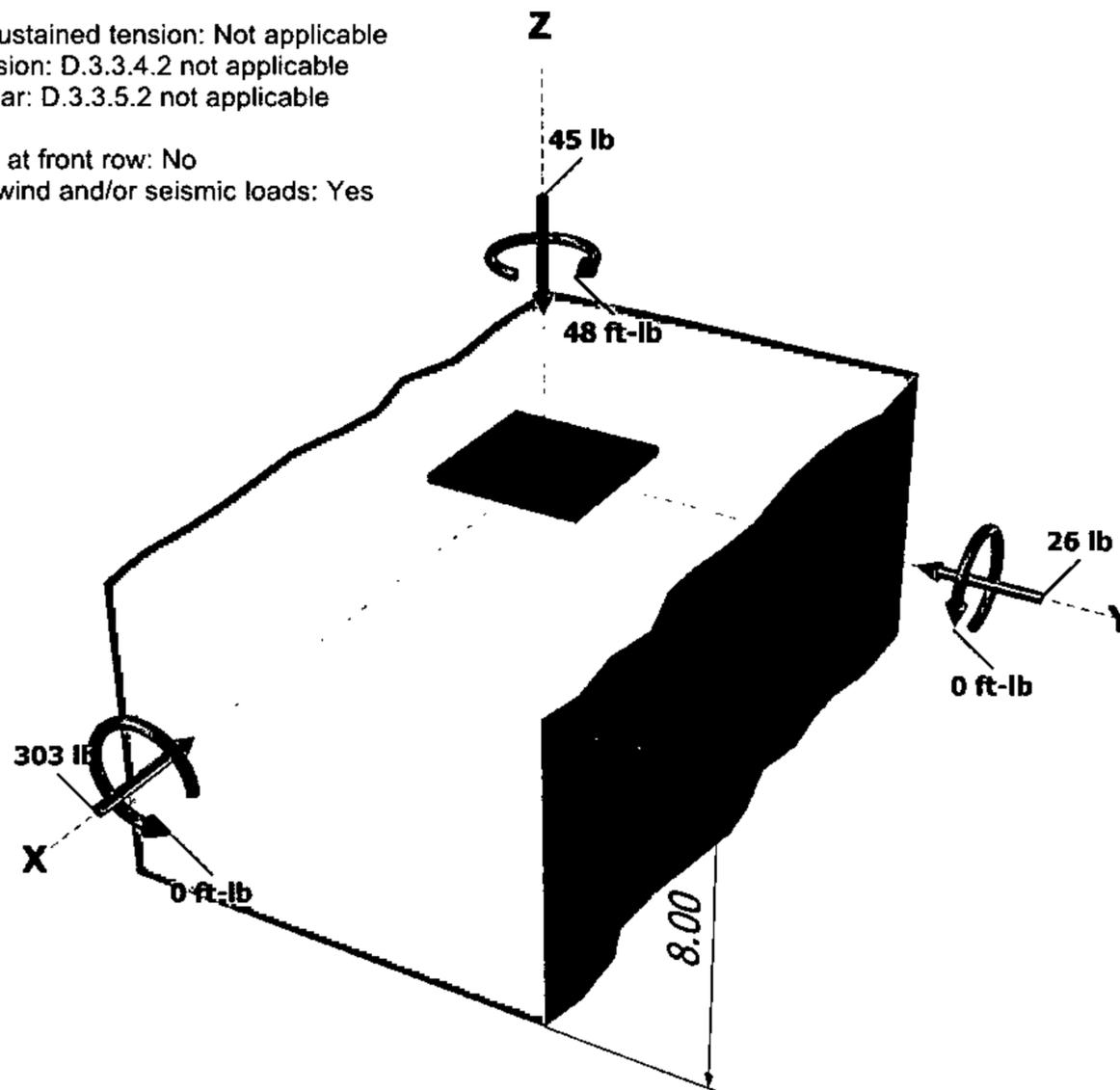
Base Plate

Length x Width x Thickness (inch): 4.00 x 4.00 x 0.25

Load and Geometry

Load factor source: ACI 318 Section 9.2
Load combination: not set
Seismic design: Yes
Anchors subjected to sustained tension: Not applicable
Ductility section for tension: D.3.3.4.2 not applicable
Ductility section for shear: D.3.3.5.2 not applicable
 Ω_o factor: not set
Apply entire shear load at front row: No
Anchors only resisting wind and/or seismic loads: Yes

<Figure 1>

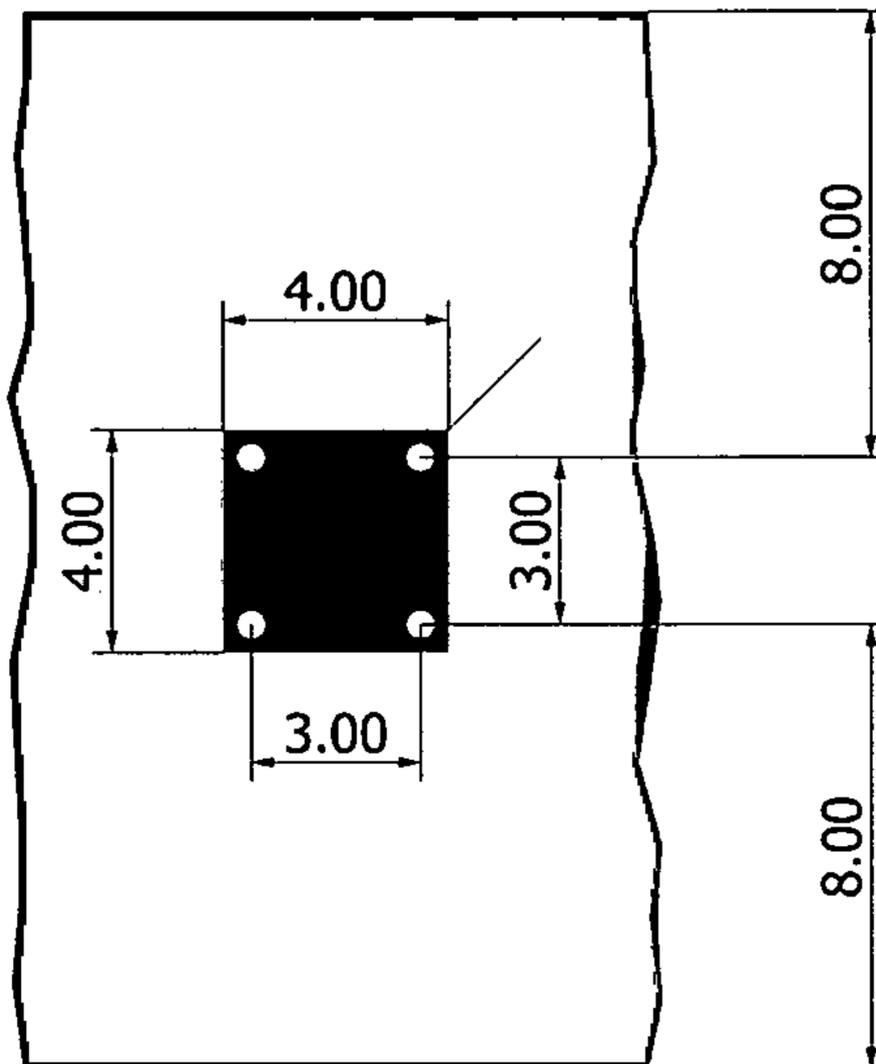




Anchor Designer™
Software
Version 2.3.5365.8

Company:	HTK Structural Engineers	Date:	8/23/2016
Engineer:		Page:	2/4
Project:			
Address:			
Phone:			
E-mail:			

<Figure 2>



Recommended Anchor

Anchor Name: Titen HD® - 3/8"Ø Titen HD, hnom:3.25" (83mm)

Code Report Listing: ICC-ES ESR-2713





Anchor Designer™
Software
Version 2.3.5365.8

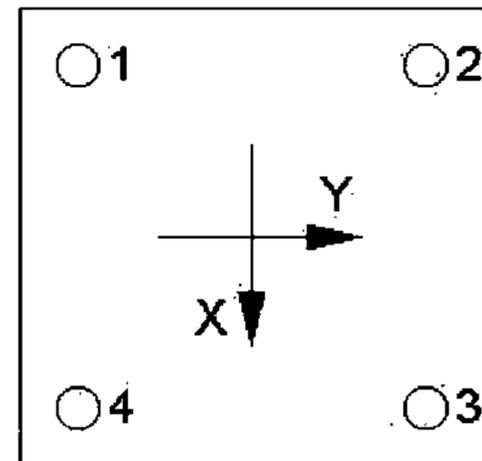
Company:	HTK Structural Engineers	Date:	8/23/2016
Engineer:		Page:	3/4
Project:			
Address:			
Phone:			
E-mail:			

3. Resulting Anchor Forces

Anchor	Tension load, N_{ua} (lb)	Shear load x, V_{uax} (lb)	Shear load y, V_{uay} (lb)	Shear load combined, $\sqrt{(V_{uax})^2 + (V_{uay})^2}$ (lb)
1	0.0	-123.7	41.5	130.5
2	0.0	-27.8	41.5	49.9
3	0.0	-27.8	-54.5	61.2
4	0.0	-123.7	-54.5	135.2
Sum	0.0	-303.0	-26.0	376.8

Maximum concrete compression strain (‰): 0.00
 Maximum concrete compression stress (psi): 0
 Resultant tension force (lb): 0
 Resultant compression force (lb): 0
 Eccentricity of resultant tension forces in x-axis, e'_{Nx} (inch): 0.00
 Eccentricity of resultant tension forces in y-axis, e'_{Ny} (inch): 0.00
 Eccentricity of resultant shear forces in x-axis, e'_{Vx} (inch): 0.00
 Eccentricity of resultant shear forces in y-axis, e'_{Vy} (inch): 0.00

<Figure 3>



8. Steel Strength of Anchor in Shear (Sec. D.6.1)

V_{sa} (lb)	ϕ_{grout}	ϕ	$\phi_{grout}\phi V_{sa}$ (lb)
2855	1.0	0.60	1713

9. Concrete Breakout Strength of Anchor in Shear (Sec. D.6.2)

Shear perpendicular to edge in x-direction:

$$V_{bx} = \min[7(l_e/d_a)^{0.2} \sqrt{d_a} \lambda_a \sqrt{f_c} c_{a1}^{1.5}; 9 \lambda_a \sqrt{f_c} c_{a1}^{1.5}] \text{ (Eq. D-33 \& Eq. D-34)}$$

l_e (in)	d_a (in)	λ_a	f_c (psi)	c_{a1} (in)	V_{bx} (lb)
2.40	0.38	1.00	3000	11.00	12417

$$\phi V_{cbgx} = \phi (A_{vc} / A_{vco}) \psi_{ec,v} \psi_{ed,v} \psi_{c,v} \psi_{h,v} V_{bx} \text{ (Sec. D.4.1 \& Eq. D-31)}$$

A_{vc} (in ²)	A_{vco} (in ²)	$\psi_{ec,v}$	$\psi_{ed,v}$	$\psi_{c,v}$	$\psi_{h,v}$	V_{bx} (lb)	ϕ	ϕV_{cbgx} (lb)
288.00	544.50	0.946	1.000	1.400	1.436	12417	0.75	9364

Shear parallel to edge in y-direction:

$$V_{bx} = \min[7(l_e/d_a)^{0.2} \sqrt{d_a} \lambda_a \sqrt{f_c} c_{a1}^{1.5}; 9 \lambda_a \sqrt{f_c} c_{a1}^{1.5}] \text{ (Eq. D-33 \& Eq. D-34)}$$

l_e (in)	d_a (in)	λ_a	f_c (psi)	c_{a1} (in)	V_{bx} (lb)
2.40	0.38	1.00	3000	8.00	7701

$$\phi V_{cbgy} = \phi (2)(A_{vc} / A_{vco}) \psi_{ec,v} \psi_{ed,v} \psi_{c,v} \psi_{h,v} V_{bx} \text{ (Sec. D.4.1 \& Eq. D-31)}$$

A_{vc} (in ²)	A_{vco} (in ²)	$\psi_{ec,v}$	$\psi_{ed,v}$	$\psi_{c,v}$	$\psi_{h,v}$	V_{bx} (lb)	ϕ	ϕV_{cbgy} (lb)
216.00	288.00	1.000	1.000	1.400	1.225	7701	0.75	14855

10. Concrete Pryout Strength of Anchor in Shear (Sec. D.6.3)

$$\phi V_{cp} = \phi k_{cp} N_{cb} = \phi k_{cp} (A_{nc} / A_{nco}) \psi_{ed,n} \psi_{c,n} \psi_{cp,n} N_b \text{ (Eq. D-40)}$$

k_{cp}	A_{nc} (in ²)	A_{nco} (in ²)	$\psi_{ed,n}$	$\psi_{c,n}$	$\psi_{cp,n}$	N_b (lb)	ϕ	ϕV_{cp} (lb)
1.0	26.01	51.84	1.000	1.000	1.000	3462	0.70	1216

11. Results



Anchor Designer™
Software
Version 2.3.5365.8

Company:	HTK Structural Engineers	Date:	8/23/2016
Engineer:		Page:	4/4
Project:			
Address:			
Phone:			
E-mail:			

Interaction of Tensile and Shear Forces (Sec. D.7)

Shear	Factored Load, V_{ua} (lb)	Design Strength, ϕV_n (lb)	Ratio	Status
Steel	135	1713	0.08	Pass
T Concrete breakout x-	303	9364	0.03	Pass
|| Concrete breakout x+	109	14855	0.01	Pass
Pryout	135	1216	0.11	Pass (Governs)

3/8"Ø Titen HD, hnom:3.25" (83mm) meets the selected design criteria.

12. Warnings

- Per designer input, the tensile component of the strength-level earthquake force applied to anchors does not exceed 20 percent of the total factored anchor tensile force associated with the same load combination. Therefore the ductility requirements of D.3.3.4.3 for tension need not be satisfied – designer to verify.
- Per designer input, the shear component of the strength-level earthquake force applied to anchors does not exceed 20 percent of the total factored anchor shear force associated with the same load combination. Therefore the ductility requirements of D.3.3.5.3 for shear need not be satisfied – designer to verify.
- Designer must exercise own judgement to determine if this design is suitable.
- Refer to manufacturer's product literature for hole cleaning and installation instructions.



BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AND PASSED AT LEAST EVERY 180 DAYS

FOR INSPECTIONS: CALL (949) 362-4381
REQUESTS RECEIVED BY 6 A.M. WILL BE SCHEDULED FOR THE SAME BUSINESS DAY
Inspection Cancellation or Rescheduling: (949) 362-4334
Inspection Schedule available after 9:00 a.m. on day of inspection (949) 362-4314

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org
PERMIT #:

B17-0863

APN:
TRACT: Lot/PARCEL: PROJECT ADDRESS: **26033 CAPE DRIVE**
ELEC: LINKED ADDRESSES: 26033 CAPE DRIVE
TYPE: COMMERCIAL SUBTYPE: SIGN ISSUED: 4/20/2017
DESCRIPTION OF WORK:

Permit to install (1) electrical project ID Blade Sign. Sign total is 80.2SF to read "Cavora". Field verify for code compliance.

OWNER:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	
APPLICANT:	OUTDOOR DIMENSIONS 5325 EAST HUNTER AVENUE ANAHEIM, CA 92807	PHONE: (714) 578-9555
CONTRACTOR:	OUTDOOR DIMENSIONS 5325 EAST HUNTER AVENUE ANAHEIM, CA 92807	PHONE: (714) 578-9555
LICENSE #:	532856 CLASS: C61, D42, C45	EXPIRES: 6/30/2018
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA UB6G024641	POLICY#: EXPIRES: 1/1/2018
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:

CODE YEAR: 2016 CONSTR. TYPE: U OCCUPANCY TYPE: U Utility Miscellaneous

TOTAL VALUATION \$25,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING				
ELECTRICAL			\$28.21	\$28.21
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN		143.56		143.56
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$1.00
GMU				
MISC				\$63.61
			TOTAL PERMIT FEES:	\$236.38
			TOTAL FEES PAID	\$236.38

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 4/20/17
Date: 4/20/17

Issued Receipt#: R17-1086

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:

I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.

I have read this construction permit application and the information I have provided is correct.

I agree to comply with all applicable city and county ordinances and state laws relating to building construction.

I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:

*requires separate verification form
**requires separate authorization form

Signature [Signature] Date 4-20-2017

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

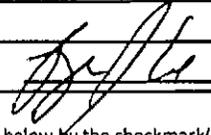
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: OUTDOOR DIMENSIONS

Address: 5325 EAST HUNTER AVENUE ANAHEIM, CA 92807

License Class and No. 532856

Expiration Date: 6/30/2018

Signature: 

Date: 4-20-2017

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city of county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed under the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

- I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.).
- I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).
- I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date: _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. UB6G024641 Expiration Date 1/1/2018
- I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation law of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

CODE: INSPECTION TYPE	DATE	INITIALS	CODE: INSPECTION TYPE	DATE	INITIALS
2. Initial Water Quality Inspection			72. Driveway Nailing/Firewalls		
4. Temp Electrical Service or Pole			400. P/S Pre Inspection for Fences		
6. Soil Pipe Underground			402. P/S Pool & Equipment Loc.		
8. Water Pipe Underground			410. P/S Approval to Cover - Gunit		
9. Sewer Line & House Connect			412. P/S Electrical Conduit Undermd.		
10. Electrical Conduit Underground			414. P/S Gas Pipe Underground Test		
14. Gas Line Underground & Test			416. P/S Backwash Lines, P Trap, Underground		
15. Verify Setbacks			418. P/S Final Backwash Recorder		
18. Footings & Steel			420. P/S Fencing & Access Gates		
19. UFER			422. P/S Pre Deck		
20. Foundation - Slab on Grade			424. P/S Approved for Plastering		
21. Post Tension - Rebar, Walls			428. P/S FINAL - HEATER & VENT		
22. Steel Reinforce - Rebar, Walls			430. P/S FINAL - PLUMBING		
24. Pre Grout Lift 1			432. P/S FINAL - ELECTRICAL		
26. Pre Grout Lift 2			434. P/S FINAL - POOL COVER		
29. Wall Drainage			436. P/S FINAL - SOLAR SYSTEM		
30. Floor Plywood Nailing			438. P/S FINAL - POOL/SPA		
32. Sewer Line & House Connect			902. FINAL - ELECTRICAL METER RELEASE		
34. Root Drains/Deck Drains			904. FINAL ELECTRICAL		
36. Root Plumbing/Gas Test			906. FINAL - SIGN		
40. Hot Mop Shower			908. FINAL - MECHANICAL		
41. Lathing Interior			910. FINAL - PLUMBING		
42. Rough Electrical			912. FINAL - WATER SERVICE		
44. Rough Mechanical			914. FINAL - GAS TEST		
46. Fire Dambers			918. FINAL - ACCESSIBILITY REGULATIONS		
48. Fire Sheathing			918. FINAL - RE-ROOF		
50. Roof Framing			920. FINAL - PLANNING		
51. Approval to Cover Exterior			922. FINAL - ENGINEERING/P.W.		
52. Shear Walls Interior			924. FINAL - O.C. HEALTH		
53. Shear Walls Shear			926. FINAL - WATER DISTRICT		
54. Shear Walls Exterior			927. FINAL - SMOKE DETECTOR/ CO2		
55. Preliminary Insulation			928. FINAL - GRADING		
56. Rough Frame & Flashing			930. FINAL - O.C.F.A. SPRINKLER SYSTEMS -		
59. O.C.F.A. Fire Sprinkler - Rough			932. FINAL - O.C.F.A. PROJECT FINAL -		
60. T-Bar Ceiling			933. Anti-Entrapment Device		
64. Lathing Exterior			934. FINAL - BUILDING & SAFETY		
70. Insulation			935. FINAL - WATER QUALITY INSPECTION		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

26003 CAPE

BUILDING PERMIT APPLICATION

www.CityofLagunaNiguel.org

124

Project Address: 27752 Forbes Road
Applicant/Agent: Outdoor Dimensions
Address: 5325 E. Hunter Ave, Anaheim CA
City: Anaheim **State:** CA **Zip:** 92807

Suite/Unit: _____
Tract Lot: _____
Phone No.: (714) 578-9555
Email: _____

Property Owner: Alliance Residential
Address: 450 Newport Center Dr. Suite 550
City: Newport Beach **State:** CA **Zip:** 92660

Phone No.: (949) 206-8487
Email: _____

* **Contractor:** Outdoor Dimensions
Address: 5325 E. Hunter Ave.
City: Anaheim **State:** CA **Zip:** 92807
State License No.: 532856 **Class:** C61/D42/C45
Workman's Comp. Policy No.: UB6602464117
Insurance Company (if applicable): Travelers Casualty

Phone No.: (714) 578-9555
Email: _____
Expiration: 6-30-2018
Expiration: 1-1-2018

Architect: _____ **Reg No.:** _____
Address: _____
City: _____ **State:** _____ **Zip:** _____

Phone No.: () - _____
Email: _____

Engineer: _____ **Reg. No.:** _____
Address: _____
City: _____ **State:** _____ **Zip:** _____

Phone No.: () - _____
Email: _____

Description of Work to be Performed (please be specific): producing and installing (1) electrical project T.D. blade sign (1) sign

Valuation: \$ 25,000 **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

* **Signature of Applicant:** [Signature] **Payment:** Cash or Check # 1695 or Visa/MC

Activity Number:	<u>B17-0863</u>	Received By:	<u>[Signature]</u>	Date:	<u>4/30/17</u>
Planning Division:		YES <input type="checkbox"/> NO <input type="checkbox"/>		Submittal does not constitute Planning Approval	
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:				Reviewed By:	Date:
OK for issuance:				Reviewed By:	Date:
Building Division:					
<input type="checkbox"/> Gary	<input type="checkbox"/> Planning	<input type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input type="checkbox"/> Grading		



CERTIFICATE OF COMPLIANCE	NRCC-LTS-01-E
Sign Lighting	(Page 1 of 5)
Project Name: <u>Broadstone Carora</u>	Date Prepared: <u>4/19/17</u>

A. General Information			
Project Address: <u>27752 Forbes Rd.</u>			
Location of Sign	<input checked="" type="checkbox"/> Outdoor Signs	<input type="checkbox"/> Indoor Signs	
Phase of Sign Construction	<input type="checkbox"/> New Signs	<input checked="" type="checkbox"/> Sign Alterations	
Type of Lighting Control	<input type="checkbox"/> New Lighting Controls	<input checked="" type="checkbox"/> Replaced Lighting Controls	<input type="checkbox"/> Not Installing Lighting Controls
This Certificate of Compliance includes the following components (check all that apply):			
<input type="checkbox"/> Mandatory Measures (Lighting Controls)	<input type="checkbox"/> Maximum Allowed Lighting Power	<input checked="" type="checkbox"/> Specific Lighting Sources	

1. Mandatory Sign Lighting Controls
NOTES:
<ol style="list-style-type: none"> 1. The same responsible person may install both the sign lighting power and the sign lighting controls, or a different responsible person may install the sign lighting controls than the responsible person installing the sign lighting power. 2. The Mandatory Measures (sign lighting controls) are required for compliance with the sign lighting Standards. If the person responsible for installing the sign lighting power is not also responsible for the sign lighting controls, then the owner of the sign, general contractor, or architect shall be responsible to have the sign lighting controls installed. 3. If more than one person has responsibility for compliance, each responsible person shall prepare and sign a Certificate of Compliance and an Installation Certificate applicable to the portion of construction for which they are responsible; alternatively, the person with chief responsibility for construction shall prepare and sign the Certificate of Compliance Declaration Statement for the entire construction (e.g. a C-10 contractor may complete parts 1a and 1b on one compliance document and a C-45 contractor may complete parts 2a and 2b on a separate compliance document – the Responsible Designer shall submit the two compliance documents together for the same complete installation).

I have responsibility for installing the sign lighting controls:	
<input type="checkbox"/> Yes, I have responsibility for the sign lighting controls, and will complete parts 1a and 1b of this compliance document	<input checked="" type="checkbox"/> No, I do not have responsibility for installing the sign lighting controls. Someone else will complete parts 1a and 1b of this compliance document.

1a. Check Yes or No for all of the following statements:	
1	There are existing sign lighting controls that comply with the applicable provisions of §110.9 and §130.3 <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
2	There are no existing sign lighting controls and I will be installing sign lighting controls that comply with the applicable provisions of §110.9 and §130.3 <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3	There are existing sign lighting controls that do not comply with the applicable provisions of §110.9 and §130.3 and I will be installing sign lighting controls that comply with the applicable provisions of §110.9 and §130.3 <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

STATE OF CALIFORNIA
SIGN LIGHTING

CEC-NRCC-LTS-01-E (Revised 08/16)

CALIFORNIA ENERGY COMMISSION



CERTIFICATE OF COMPLIANCE	NRCC-LTS-01-E
Sign Lighting	(Page 2 of 5)
Project Name: <u>Broadstone Camera</u>	Date Prepared: <u>4/19/17</u>

1b. Mandatory Sign Lighting Controls

If the person signing the Certificate of Compliance Declaration Statement on this NRCC-LTS-01-E is responsible for complying with the sign lighting control requirements, that person shall answer all of the following questions:

If there are construction documents, indicate where on the building plans the mandatory measures (sign lighting control) note block can be located:

1	§130.3(a)1. All indoor sign lighting is controlled with an automatic time-switch control or astronomical time-switch control.	Y <input type="radio"/>	N <input type="radio"/>	NA <input checked="" type="radio"/>
2	§130.3(a)2A. All outdoor sign lighting is controlled with a photocontrol in addition to an automatic time-switch control, or an astronomical time-switch control.	Y <input checked="" type="radio"/>	N <input type="radio"/>	NA <input type="radio"/>
	EXCEPTION to Section 130.3(a)2A: Outdoor signs in tunnels, and signs in large permanently covered outdoor areas that are intended to be continuously lit, 24 hours per day and 365 days per year.	Y <input type="radio"/>		NA <input checked="" type="radio"/>
3	§130.3(a)2B. All outdoor sign lighting that is ON both day and night is controlled with a dimmer that provides the ability to automatically reduce sign lighting power by a minimum of 65% during nighttime hours. Signs that are illuminated at night and for more than 1 hour during daylight hours shall be considered ON both day and night.	Y <input type="radio"/>	N <input type="radio"/>	NA <input checked="" type="radio"/>
	EXCEPTION to Section 130.3(a)2B: Outdoor signs in tunnels and large covered areas that are intended to be illuminated both day and night.	Y <input type="radio"/>		NA <input checked="" type="radio"/>
4	§130.3(a)3. Demand Responsive Electronic Message Center Control. An Electronic Message Center (EMC) having a new connected lighting power load greater than 15 kW has a control installed that is capable of reducing the lighting power by a minimum of 30% when receiving a demand response signal.	Y <input type="radio"/>	N <input type="radio"/>	N/A <input checked="" type="radio"/>
	EXCEPTION to Section 130.3(a)3: Lighting for EMCs that is not permitted by a health or life safety statute, ordinance, or regulation to be reduced by 30%.	Y <input type="radio"/>		NA <input checked="" type="radio"/>

Field Inspector Notes:



CERTIFICATE OF COMPLIANCE	NRCC-LTS-01-E
Sign Lighting	(Page 4 of 5)
Project Name: <u>Broadstone CAVORA</u>	Date Prepared: <u>4/19/17</u>

2b. Specific Lighting Source Method of Compliance
 Certificate of Compliance and Field Inspection Energy Checklist
 Complete this part if there are signs using the Specific Lighting Source method of compliance. (Complete part 2 of this Certificate of Compliance if there are signs using the maximum allowed lighting power method of compliance)

A	B	C	D
Symbol or Code	Description	OPTIONAL ENERGY VERIFIED label (see instructions below)	Specific light source used for compliance. Shall include only lighting technologies listed below (List all that apply)
E.2-a (E10.15.3)	Halo-Lit Blade Sign	<input type="checkbox"/>	(139) Fusion 4 White
		<input type="checkbox"/>	PL-F54-WH1-P
		<input type="checkbox"/>	104.2 watts
		<input type="checkbox"/>	(2) Uni. LoW PS
		<input type="checkbox"/>	PL-60-12-U

A Symbol or code used on the plans (when plans are required) and other documents.

B A narrative description of the sign, or location of sign on the building; and the location of sign on construction documents

C **OPTIONAL** - Check this box only if this sign has a permanent, pre-printed, factory-installed ENERGY VERIFIED label, confirming that this sign complies with the Section 140.8 of the California 2016 Title 24, Part 6 Standards, using the Specific Lighting Source Method of Compliance. The only labels that will be recognized for this purpose are ENERGY VERIFIED Certification Marks authorized by Underwriters Laboratories (UL) or other Product Certification Body accredited to ISO/IEC Guide 65 by the American National Standards Institute in accordance with ISO/IEC 17011. Surveillance by the Accredited Certification Body shall be an ongoing annual inspection program carried out by a Type A Inspection body in accordance with ISO/IEC 17020. For signs with such an ENERGY VERIFIED label, column 'D' is not required to be filled out. Note: Using an ENERGY VERIFIED label is an optional method to validate compliance. An ENERGY VERIFIED label is not needed for compliance.

D Specific Light Source Compliance Method. The sign(s) identified above use only the following lighting technologies: List all applicable numbers (1 through 9) that apply in column D above for each row.

- 1 High pressure sodium lamps
- 2 Metal halide lamps that are pulse start or ceramic served by a ballast that has a minimum efficiency of 88% or greater. Ballast efficiency is the measured output wattage to the lamp divided by the measured operating input wattage when tested according to ANSI C82.6-2005.
- 3 Metal halide lamps that are pulse start that are 320 watts or smaller, are not 250 watt or 175 watt lamps; and are served by a ballast that has a minimum efficiency of 80%. Ballast efficiency is the measured output wattage to the lamp divided by the measured operating input wattage when tested according to ANSI C82.6-2005.
- 4 Neon or cold cathode lamps with transformer or power supply efficiency greater than or equal to a minimum efficiency of 75% when the transformer or power supply rated output current is less than 50 mA. The ratio of the output wattage to the input wattage is at 100% tubing load.
- 5 Neon or cold cathode lamps with transformer or power supply efficiency greater than or equal to a minimum efficiency of 68% when the transformer or power supply rated output current is 50 mA or greater. The ratio of the output wattage to the input wattage is at 100% tubing load.
- 6 Fluorescent lighting systems meeting one of the following requirements: A.) Use only lamps with a minimum color rendering index (CRI) of 80; or B.) Use only electronic ballasts with a fundamental output frequency not less than 20 kHz.
- 7 Light emitting diodes (LEDs) with a power supply having an efficiency of 80% or greater.
- 8 Single voltage external power supplies that are designed to convert 120 volt AC input into lower voltage DC or AC output, and have a nameplate output power less than or equal to 250 watts, shall comply with the applicable requirements of the Appliance Efficiency Regulations (Title 20).
- 9 Compact fluorescent lamps that do not contain a medium screw base sockets (E24/E26).

E This page doubles as a field inspection checklist.

Field Inspector Notes:

STATE OF CALIFORNIA
SIGN LIGHTING

CEC-NRCC-LTS-01-E(Revised 08/16)

CALIFORNIA ENERGY COMMISSION



CERTIFICATE OF COMPLIANCE		NRCC-LTS-01-E
Sign Lighting		(Page 5 of 5)
Project Name: Broadstone Cavora	Date Prepared: 4/19/17	

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Johnny Martinez	Documentation Author Signature:
Company: Outdoor Dimensions	Signature Date: 4-19-17
Address: 5325 E. Hunter Ave.	CEA Certification Identification (if applicable): N/A
City/State/Zip: Anaheim, CA 92807	Phone: 714.578.9555

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
<ol style="list-style-type: none"> 1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer). 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application. 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy. 	
Responsible Designer Name: Johnny Martinez	Responsible Designer Signature:
Company: Outdoor Dimensions	Date Signed: 4-19-17
Address: 5325 E. Hunter Ave.	License: 532856
City/State/Zip: Anaheim, CA 92807	Phone: 714.578.9555



5325 E. Hunter Ave. Anaheim, CA 92807

714/578-9555

FAX: 714/693-9578

MEMO

DATE: 2/2/2017

TO: Whom it May Concern

FROM: Permitting Dept

SUBJECT: Title 24 Disclaimer

REMARKS:

Title 24 Electrical Disclaimer

Outdoor Dimensions is a C-45 full service electrical sign company. We are liable for wiring electrical up to 6' away from the sign location provided to us from our customers. Anything further than 6' is the responsibility of a licensed C-10 electrical contractor.

Our license and our signed Title 24 Documents submitted at the time of permitting will clearly state that we are not responsible for any new or existing lighting controls, photocells, astronomical time clocks or any power coming to our sign or sign location.

Thank you



Cash Register Receipt

City of Laguna Niguel

Receipt Number
R17-1086

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$236.38
B17-0863 Address: 26033 CAPE DRIVE Apn:			
Type: COMMERCIAL - Subtype: SIGN			
Description: Install (1) ID Blade sign.			
			\$236.38
CBSC FEE			\$1.00
ELECTRICAL FEES			\$28.21
SIGN PERMIT FEES			\$207.17
TOTAL FEES PAID BY RECEIPT:R17-1086			\$236.38

Date Paid: Thursday, April 20, 2017

Paid By: OUTDOOR DIMENSIONS

Payee Address: 5325 EAST HUNTER AVENUE ANAHEIM, CA 92807

Cashier: CWIL

Pay Method: CHECK 1695





BUILDING PERMIT

PERMIT WILL AUTOMATICALLY EXPIRE IF INSPECTIONS ARE NOT SCHEDULED AND PASSED AT LEAST EVERY 180 DAYS

Inspection requests must be entered online at www.CityofLagunaNiguel.org/etrakit or called in at (949) 362-4381. Inspection requests must be made by 4:00 p.m. the business day prior to the inspection date.

CITY OF LAGUNA NIGUEL
Community Development
Department
30111 Crown Valley Pkwy
Laguna Niguel, CA 92677
Tel. (949) 362-4360
Fax. (949) 362-4369
www.CityofLagunaNiguel.org
PERMIT #:
B17-1205

APN: 63603403

TRACT: 6081

Lot/PARCEL:

PROJECT ADDRESS: **26033 CAPE DR**

ELEC: SDGE

ZONING:

LINKED ADDRESSES: 26033 CAPE DR

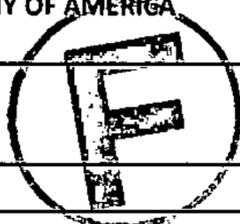
TYPE: RESIDENTIAL
DESCRIPTION OF WORK:

SUBTYPE: RALT

ISSUED: 8/30/2017

Permit to install an Allan block segmental wall at Crown Valley Pkwy; retaining wall for Cavora. Allan Block walls only. On/Off-site landscaping and wall finish for retaining wall to be approved separately on landscape plans. Field verify for code compliance.

OWNER:	BROADSTONE LAGUNA NIGUEL LLC 450 NEWPORT CENTER DRIVE, STE 550 NEWPORT BEACH, CA 92660	
APPLICANT:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
CONTRACTOR:	ALLIANCE RESIDENTIAL BUILDERS II G P INC 450 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	PHONE: (949) 706-8460
LICENSE #:	897318 CLASS:	EXPIRES: 5/31/2019
WORKERS COMP:	TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA TRJUB4245B187	EXPIRES: 9/15/2017
ARCH/ENG:		PHONE:
BUSINESS:		PHONE:



CODE YEAR: CONSTR. TYPE: OCCUPANCY TYPE:

TOTAL VALUATION: \$30,000.00

USE TYPE:
USE DESCRIPTION:

SUMMARY OF PERMIT FEES

	PLANCHECK	PERMIT	SUMMARY OF PERMIT FEES PERMIT ISSUANCE	SUBTOTAL
BUILDING	\$298.99	\$429.00	\$28.01	\$756.00
ELECTRICAL				
MECHANICAL				
PLUMBING				
POOL/SPA				
SIGN				
DEMOLITION				
SMIP				
STATE FEE(CBSC)				\$2.00
GMU				\$806.00
MISC				\$0.00
			TOTAL PERMIT FEES:	\$1,564.00
			TOTAL FEES PAID	\$1,564.00

Comments:

Planning Approval: [Signature]
Building Permit Issued By: [Signature]

Date: 8/30/17
Date: 8/30/17

Issued Receipt#: R17-2359

CERTIFICATE OF COMPLIANCE AND AUTHORIZATION OF ENTRY

By my signature below, I certify to each of the following:
I am a California Licensed contractor or the property owner* or authorized to act on the property owner's behalf**.
I have read this construction permit application and the information I have provided is correct.
I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

California Licensed Contractor, Property Owner* or Authorized Agent**:
Signature [Signature] Date 8/30/17

*requires separate verification form
**requires separate authorization form

#2 IDENTIFY WHO WILL PERFORM THE WORK (Complete either 2A or 2B)

#2A CALIFORNIA LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Contractor Name: ALLIANCE RESIDENTIAL BUILDERS II G P INC

Address: 450 NEWPORT CENTER DRIVE NEWFORT BEACH, CA 92660

License Class and No. 897318

Expiration Date: 5/31/2019

Signature: [Signature]

Date: 8/30/17

#2B OWNER BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do all of or portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended of offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not build or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contractors for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

I am exempt from licensure under the Contractors' State License Law for the following reason: _____

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that i have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following Web site: <http://www.leginfo.ca.gov/calaw.html>.

Property Owner or Authorized Agent signature: _____

Date _____

#3 IDENTIFY WORKERS' COMPENSATION DECLARATION AND LENDING AGENCY:

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
Policy No. _____

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:
Carrier TRAVELERS PROPERTY CASUALTY COMPANY OF AMERICA Policy No. TRJU84245B187 Expiration Date 9/15/2017

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Signature _____ Date _____

As approved by [Signature]

INSPECTION	DATE	INITIALS	INSPECTION	DATE	INITIALS
002-WATER QUALITY			072-DRYWALL NAIL/FIRE WALLS		
004-TEMP ELEC SRVC/POLE			400-P/S PRE SITE		
006-SOIL PIPE UG			402-P/S POOL/EQUIP LOCATION		
008-WATER PIPE UG			410-P/S APPR TO COVER		
009-SEWER LN HOUSE CONNECT			412-P/S ELEC COND UG		
010-ELEC. CONDUIT UG			414-P/S GAS PIPE UG		
014-GAS LINE UG AND			416-P/S BW LNS P TRAP		
016-VERIFY SETBACKS			418-P/S FNL BW RECEPTOR		
018-FOOTINGS/STEEL			420-P/S FENCE/ACCESS GATES		
019-UFER			422-PRE DECK / BONDING		
020-FNDTN - SLAB ON GRADE			424-P/S APPR FOR PLASTER		
021-POST TENSION			428-P/S FNL - HEATER & VENT		
022-STEEL RNF - RETAINING WALL			430-P/S FNL - PLUMBING		
024-PRE GROUT LIFT 1			432-P/S FNL - ELECTRICAL		
026-PRE GROUT LIFT 2			434-P/S FNL - POOL COVER		
029-WALL DRAINAGE			436-P/S FNL - SOLAR SYSTEM		
030-FLR PLYWOOD NAILING			438-P/S FNL - POOL/SPA **		
032-SWR LINE AND HS			902-ELEC METER RELEASE		
034-RF DRAINS/DECK DRAINS			903-FNL - SITE INVESTIGATION **		
036-ROUGH PLMB/GAS TEST			904-FNL - ELECTRICAL		
040-HOT MOP SHOWER			905-FNL - PV PANELS		
041-LATHING INTERIOR			906-FNL - SIGN		
042-ROUGH ELECTRICAL			908-FNL - MECHANICAL		
044-ROUGH MECHANICAL			910-FNL - PLUMBING **		
046-FIRE DAMPERS			912-FNL - WATER SERVICE		
048-ROOF SHEATHING			914-FNL - GAS TEST		
050-ROOF FRAMING			916-FNL - ACCESSIBILITY REGS		
051-APPROVL TO COVER			918-FNL - REROOF **		
052-SHEAR WALL INTER			920-FNL - PLANNING		
053-PRELIM SHEAR			922-FNL - ENGR/P.W.		
054-SHEAR WALLS EXTE			924-FNL - OC HEALTH		
055-PRELIM INSULATION			926-FNL - WATER DISTRICT		
056-ROUGH FRAME FLASHING			927-FNL-SMOKE & CARBON		
059-OCFA FIRE SPRINKLER-ROUGH			928-FNL - GRADING **		
060-T-BAR CEILING			930-FNL - OCFA SPRINKLER		
064-LATHING EXTERIOR			933-ANTH-ENTRAPMENT		
070-INSULATION			934-FNL - BLDG/SAFETY **		



City of Laguna Niguel
Building Division
 30111 Crown Valley Pkwy
 Laguna Niguel, CA 92677
 (949) 362-4360
 FAX 362-4369

**BUILDING PERMIT
 APPLICATION**

www.CityofLagunaNiguel.org

124

Project Address: 26033 Cape Dr

Suite/Unit: _____

Applicant/Agent: Alliance Residential

Tract Lot: Parcel Map 2013-141

Address: 450 Newport Center Dr. Ste. 550

Phone No.: () - _____

City: Newport Beach **State:** CA **Zip:** 92660

Email: ESpector@allresco.com

Property Owner: Broadstone Laguna Niguel, LLC

Phone No.: () - _____

Address: 450 Newport Center Dr. Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: m.wilborn@allresco.com

Contractor: Alliance Residential Builders II GP, Inc

Phone No.: () - _____

Address: 450 Newport Center Dr. Ste. 550

City: Newport Beach **State:** CA **Zip:** 92660

Email: bmccann@allresco.com

State License No.: 897318 **Class:** B

Expiration: _____

Workman's Comp. Policy No.: TRJUB4245B18714

Expiration: _____

Insurance Company (If applicable): Lovitt and Touche

Architect: Humphrey's **Reg No.:** _____

Phone No.: (949) 955-9400

Address: 2350 SE Bristol #310

City: Newport Beach **State:** CA **Zip:** 92660

Email: nima@humphreys.com

Engineer: ABI Eng. Consultants **Reg. No.:** _____

Phone No.: (888) 220-5596

Address: 101 E. Edinger Ave #A9

City: Santa Ana **State:** CA **Zip:** 92705

Email: _____

Description of Work to be Performed (please be specific): Allan Block Segmental Wall at Crown Valley Pkwy Retaining wall.

Please note: this will require structural, grading, planning, and public works review.

Valuation: \$ 30K **Type of Const:** _____ **Occupancy Type:** _____ **Pre 1978 Building:** _____

I certify that the above information is complete and correct. If the scope of work changes this application must be updated by the applicant. Permit applications expire 180 days from the date of application. Permits must be obtained prior to expiration (Pursuant of UBC sec 107.4)

Signature of Applicant: [Signature] **Payment:** Cash or Check # pay at us bank or Visa/MC

Activity Number:	<u>B17-1205</u>	Received By:	<u>[Signature]</u>	Date:	<u>6/6/17</u>
HOA or Property Manager Approval Required:					
HOA or Property Manager Approval Letter Provided:					
OK for Plan Check:		Reviewed By:	Date:		
OK for issuance:		Reviewed By:	Date:		
<input type="checkbox"/> Ted	<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> CAA	<input type="checkbox"/> GMU		
<input type="checkbox"/> Fire	<input type="checkbox"/> Water	<input type="checkbox"/> Health	<input checked="" type="checkbox"/> Grading		

PLUMBING/MECHANICAL/ELECTRICAL

Plumbing

Qty	Item	Qty	Item
	Backflow Device		Kitchen Sink
	Bar Sink		Lavatories
	Bathtubs		Roof Drains
	Dishwashers		Service Sink
	Drinking Fountains		Sewer Cap
	Fixture		Sewer Connection
	Floor Drains		Showers
	Floor Sinks		Temp Gas Service
	Garbage Disposal		Urinal
	Gas Test		Water Closet
	Gas Piping 1-5		Water Heater Fee
	Gas Piping 6 Plus		Water Heater Tankless
	Gas Pressure Regulator		Water Heater Vent
	Gas Service/Meter Release		Water Piping Alteration
	Hose Bib		Water Service
	Interceptors/Classifiers		

Mechanical

Qty	Item	Qty	Item
	A/C Coil		Heat Pump or A/C 0-5 Tons
	A/C Condenser		Heating Systems & Ducting:
	Boiler:		<=100K BTU
	<=100K BTU		>1M<=2M BTU
	>100K<=500K BTU		>100K<=500K BTU
	>1M<=2M BTU		>2M BTU
	>2M BTU		>500K<=1M BTU
	500K<=1M BTU		Hood or Canopy
	Duct Work		Refrigeration System +100K BTU
	Evaporative Cooler		Refrigeration System 0-100K BTU
	Exhaust System		System Repair/Alteration
	Fireplace/Factory Build ICBO#		Ventilation Fan
	Heat Pump or A/C +5 Tons		

Permit No: _____

Address: _____

Electrical

Qty	Item	Qty	Item
	A/C Disconnect		Pole Lights
	Automatic Washer		Range
	Cooking Unit		Self-Contained Appliance
	Device Boxes <=20		Services & Switchboards:
	Device Boxes >20		<=600 amps
	Dishwasher		>1,000 amps
	Dryers		>600 to <=1,000 amps
	Electrical Conduit Per Circuit		Sub Panel
	F.A.U.		Switches/Outlets <=20
	Fixtures <=20		Switches/Outlets >20
	Fixtures >20		Temp Construction Lighting <=500 lamps
	Garbage Disposal		Temp Construction Lighting >500 lamps
	Meter Release		Temp Construction Sub Pole
	Motors:		Temp Power Pole or Piggyback
	<=1 HP		Time Clock
	>1 to <=10 HP		Transformer:
	>10 to <=50 HP		<=1 HP
	>100 HP		>1 to <=10 HP
	>50 to <=100 HP		>10 to <=50 HP
	Motors, HP		>100 HP
	Pedestal Meter		>50 to <=100 HP
	Temp Meter Release		Transformer, HP
			Ventilation Fan
			Water Heater

Signs

Sign	Type (Circle One)	Size (Sq. Ft.)	Res. or Comm. (Circle One)	Foundation Valuation (if freestanding and over 6' in height)	Illumination (# of Transformer or Ballasts)
Sign 1	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				
Sign 2	Single Face		Residential		
	Double Face		Commercial		
	Gas Tube				



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-2359

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$806.00
817-1205 Address: 26033 CAPE DR Apn: 63603403			
Type: RESIDENTIAL Subtype: RALT			
Description: Retaining wall off Crown Valley. "Cavora"			
			\$806.00
GEO REVIEW FEE			\$806.00
TOTAL FEES PAID BY RECEIPT:R17-2359			\$806.00

Date Paid: Wednesday, August 30, 2017

Paid By: Eric Spector

Payee Address: ,

Cashier: CWIL

Pay Method: CREDIT CARD 8127



ABI ENGINEERING CONSULTANTS, INC.

1701 East Edinger Avenue, Suite A9, Santa Ana, California 92705

Tel.: (888) 220-5596 Fax: (714) 866-4171 E-Mail: abi@abiconsultants.com

DESIGN OF ALLAN BLOCK SEGMENTAL WALL Broadstone Laguna Niguel Laguna Niguel Crossing Site Laguna Niguel, California

Prepared for:
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

July 21, 2017
Project No. 17013

717-1205



THE CITY OF LAGUNA NIGUEL
APPROVED

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IT IS UNLAWFUL TO MAKE ANY CHANGES OR MODIFICATIONS ON THE PLANS WITHOUT WRITTEN PERMISSION FROM THE DEPARTMENT OF BUILDING AND SAFETY OF THE CITY OF LAGUNA NIGUEL.

THE STAMPING OF THESE PLANS & SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VIOLATION OF ANY PROVISION OF ANY CITY ORDINANCE, MANUFACTURER'S SPECIFICATIONS OR STATE LAW.

BY

BUILDING OFFICIAL
DATE 8/29/17

ABI Engineering Consultants, Inc.
1701 East Edinger Avenue, Suite A9
Santa Ana, California 92705

Tel: (888) 220-5596
Fax: (714) 866-4171

RECEIVED
CITY OF LAGUNA NIGUEL
DEPARTMENT OF BUILDING AND SAFETY
AUG 29 2017

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PROPOSED WALL DESCRIPTION	1
DESIGN METHODOLOGY	1
SEISMIC DESIGN METHOD	1
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Soils Parameters	1
Wall Parameters	1
ANALYSIS	2
Static Analysis	2
Seismic Analysis	2
RECOMMENDATIONS	2
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INTRODUCTION

This report presents the design parameters, design methodology, and calculations performed to design two segmental block retaining walls using Allan Block Classic units at Broadstone Laguna Niguel, Laguna Niguel Crossing Site, Laguna Niguel, California.

PROPOSED WALL DESCRIPTION

Per the grading plans (KHR), the proposed walls are located at the southern boundary of the property. The proposed Allan Block Walls have maximum retaining height of 9.53ft including embedment.

DESIGN METHODOLOGY

The computer code AB Walls 15 Version 15.1.6 developed by Allan Block Corporation is used for the design of the wall. The computer code is based on the methods presented in National Concrete Masonry Association guidelines (NCMA 2010). The NCMA method of design of segmental block walls uses Coulomb Earth Pressure theory. AB Wall 15 program is customized for use with Allan Block and allows specifying choice of block types and geogrids reinforcement. The results of the analysis are included as Appendix A. The analysis was performed for different heights and surcharge conditions, as applicable.

SEISMIC DESIGN METHOD

The seismic internal stability of the Allan Block segmental wall is explored using AB Wall 15, which incorporates pseudo-static rigid body approach that adopts the Mononobe-Okabe method to calculate dynamic forces (NCMA 2010). A seismic acceleration coefficient of 0.37g is used in the seismic analysis.

DESIGN PARAMETERS

Soils Parameters

Based on the recommendations provided in the geotechnical report (Albus-Keefe) the following soils parameters are used for the design of the wall:

	Reinforced Soil (Imported Soil)	Retained Soil	Foundation Soil
Internal Friction Angle, Φ°	30	20	20
Cohesion, C (psf)	0	0	0
Soil Unit Weight, γ (pcf)	120	120	120

Wall Parameters

BLOCKS: Allan Block Classic Units weighing approximately 75 lbs each.

SURCHARGE: Level or 2H:1V slope backfill.

BATTER: 6 degrees to vertical.

EMBEDMENT: 0.5' or 10% of wall height (minimum) for level grade or minimum 5' to daylight for down slope.

GEOGRIDS: Design is based on Mirafi Miragrid 3XT manufactured by TenCate. Other types of grids may be used upon approval by the engineer.

The design of the retaining wall assumes no build up of hydrostatic pressures within the reinforced fill zone of the wall. Therefore, construction of an effective subdrain system behind the reinforced soil zone is critical to the performance of the wall. Any back-cut drain required shall be determined by the project geotechnical engineer and shall be installed per the direction of the project geotechnical engineer.

ANALYSIS

The wall design is based on the following factor of safety (FS) for stability analysis of the wall. The factors of safety are for static loading conditions are indicated below and are based on the current standard of practice.

Static Analysis

$FS_{\text{Sliding}} = 1.50$, $FS_{\text{Bearing}} = 2.00$, $FS_{\text{Overturning}} = 1.50$, $FS_{\text{Pull-out}} = 1.50$, and $FS_{\text{Uncertainties}} = 1.50$

Seismic Analysis

$FS_{\text{Sliding}} = 1.13$, $FS_{\text{Bearing}} = 1.50$, $FS_{\text{Overturning}} = 1.13$, $FS_{\text{Pull-out}} = 1.13$, and $FS_{\text{Uncertainties}} = 1.13$

The summary calculations present the data and results for each section of the wall.

RECOMMENDATIONS

The wall shall be constructed per the details and geogrid reinforcement schedule based on the design calculations provided in this report, typical section, reinforcement schedule, and construction notes presented on drawings. The Allan Block walls shall be constructed per the manufacturer's recommended procedures. No substitution shall be allowed for blocks type or for the unit fill required within the units and behind the blocks.

The foundation, retained, and backfill soils shall have the minimum shear strength properties as used for design in this report. All backfill shall be placed in loose lifts not exceeding 8 inches, moisture conditioned, and compacted to a minimum of 90% of the maximum dry density determined by Modified Proctor compaction test (ASTM D1557). The compaction tests shall be performed on backfill soils for meeting the minimum densities recommended. Any changes to foundation, retained and backfill soil properties and loading conditions on the wall should be brought to our attention. The temporary excavation back-cut, grading, ground improvement, fill settlement control, and sub-drain, and surface-drainage system for the Allan Block walls shall be per the Project Soils and Civil Engineer's recommendations.

REFERENCES

1. NCMA 2010, Design Manual for Segmental Retaining Walls, Third Edition, 2010.
2. Allan Block Engineering Manual, Allan Block Corporation.
3. KHR Associates, Slope Grading & Concrete Gutter Exhibit, Broadstone Laguna Niguel, Laguna Niguel, California, dated December 14, 2015.
4. Albus-Keefe & Associates, Inc., Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, dated May 15, 2014.

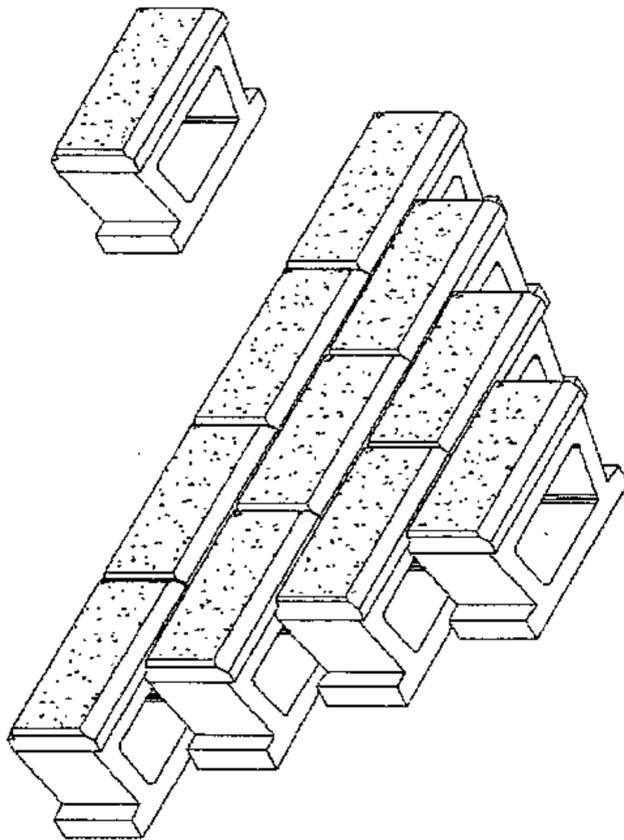
APPENDIX A – Design Calculations

Broadstone

Laguna Niguel, CA

Page Index

- 1 Section View External Calculations
- Section View Internal Calculations

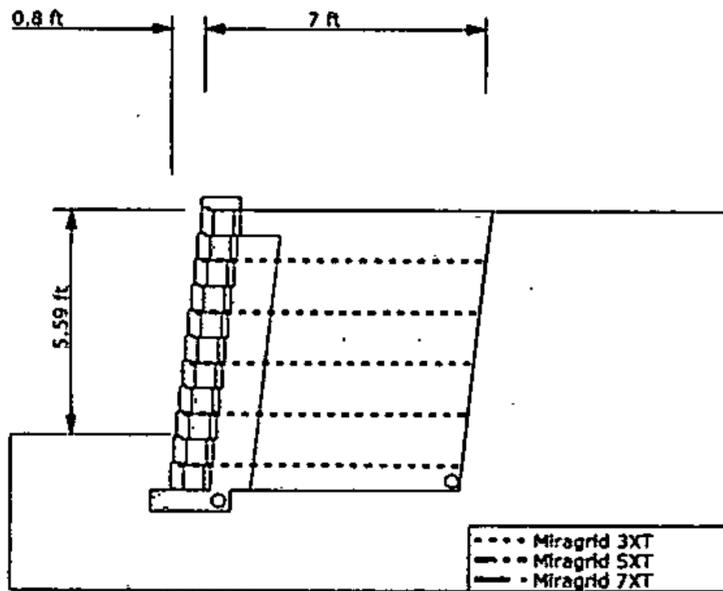


AB Classic

Project Name: Broadstone
Location: Laguna Niguel, CA
Wall Number: 1
Project Number: 17013
Designer: Jimmy Wang
Date: 2/7/2017

ABI Engineering Consultants, Inc.
1701 E Edinger Avenue, Suite A9
Santa Ana, California 92705
(888) 220-5596
www.abiconsultants.com





Section 1 of 1
Section 0 ft - 10.3 ft

Base Information:
Base Width: 2 ft
Base Depth: 0.5 ft
Base From Toe: 0.5 ft

Geogrid Information:
5 x Miragrid 3XT @ 7 ft
Number Of Geogrid 5

Allan Block Disclaimer:

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AB Walls LS contains DEFAULT values for all data inputs that the user MUST change or verify as appropriate for the project conditions being analyzed. These DEFAULT values do NOT ensure a conservative design for any site condition. The final design must provide for proper wall drainage to prevent the buildup of hydrostatic pressures over the service life of the structure. In the event additional water is introduced into the general wall area, either above or below grade, any designs from this software would be invalid unless otherwise noted by the engineer of record. It is also recommended that an independent assessment of the foundation soil for settlement potential and wall deflections for the proposed structure be performed. Changes in the subsoil conditions are not included in this software. These additional potential failure modes should be evaluated by the engineer of record prior to initiating wall construction and may require site inspection by the on-site soils engineer. All installers must conform to the Allan Block Spec Book. (Refer to R0901).

MathCAD files for hand calculations to support the software's consideration of internal, external and internal compound stability of the reinforced composite mass are provided on the software disc. These files are to be configured so that the engineer of record can evaluate the output of the software. Individual equations may be altered at the discretion of the engineer of record.

Wall Design Variables	ABI ENGINEERING CONSULTANTS, INC. ABI Engineering Consultants, Inc. 1701 E Edinger Avenue, Suite A9 Santa Ana, California 92705 (888) 220-5596 www.abiconsultants.com
AB Classic Section Height 7.62 ft Total Panel Height 6.99 ft Block Height 0.635 ft Angle of Setback 6 Deg. Depth of Block 0.99 ft Length of Block 1.47 ft	
Safety Factors Static External Actual Sliding 2.05 >= 1.5 Actual Overturning 10.05 >= 2	
Safety Factors Seismic External Seismic Coefficient = 0.37 Actual Sliding 1.13 >= 1.125 Actual Overturning 4.56 >= 1.5	
Infill Soil Friction Angle 30 Deg. Unit WT 120 pcf	
Retained Soil Friction Angle 20 Deg. Unit WT 120 pcf	
Foundation Soil Friction Angle 20 Deg. Unit WT 120 pcf Cohesion 100 psf	
Bearing Capacity Factor of Safety 2.9 Sigma_ult - 3285.41 psf Sigma_max - 1131.46 psf	
Internal Compound Stability Ics not calculated	
Wall Rock Requirements Variable Depth Height Depth Bottom 6.35 ft 1 ft	

Project Name: Broadstone
Location: Laguna Niguel, CA
Wall Number: 1
Project Number: 17013
Designer: Jimmy Wang
Date: 2/7/2017

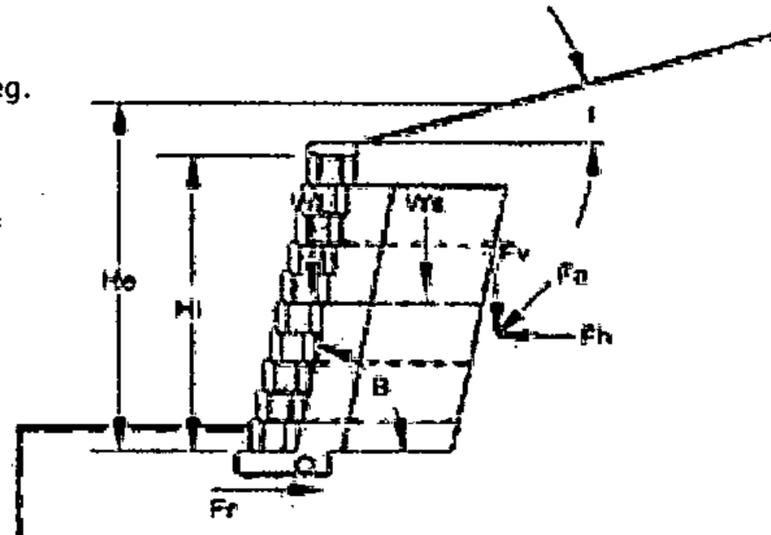
Page #:

1

Wall Design Variables

Kai = Active Earth Pressure Coefficient Infill = 0.252
 Kar = Active Earth Pressure Coefficient Retained = 0.395
 H = Wall Height = 6.99 ft
 He = Effective Height = 6.99 ft
 He_i = Effective Height = 6.99 ft
 i = Slope = 0 Deg.
 i_{int} = Effective Slope = 0 Deg.
 i_{ext} = Effective Slope = 0 Deg.

Setback = 90 - Beta Angle = 6.73 Deg.
 Wf = Weight of Facing = 892.62 plf
 Wt = Total Weight = 6086.77 plf
 Fa = Active Force = 1156.55 plf
 Fav = Vertical Force = 266.72 plf
 Fah = Horizontal Force = 1125.38 plf
 Fr = Resistance Force = 2312.48 plf



Internal Design Calculations (Static)

Section: 1

Geogrid Number	Geogrid Elevation ft	Geogrid Length ft	Tensile Force plf	Allowable Load plf	Factor Safety Overstress	Factor Safety Pullout Block	Factor Safety Pullout Soil	Efficiency
5A	282.12	7	51.63	1332.67	38.72	37.27	9.42	3.87
4A	280.85	7	91.79	1332.67	21.78	22.44	11.15	6.89
3A	279.58	7	137.68	1332.67	14.52	15.94	12.71	10.33
2A	278.31	7	183.57	1332.67	10.89	12.69	14.28	13.77
1A	277.03	7	229.46	1332.67	8.71	10.74	15.85	17.22

Geogrid Legend

A - Miragrid 3XT
 B - Miragrid 5XT
 C - Miragrid 7XT
 Min. Length of Geogrid: 7 ft



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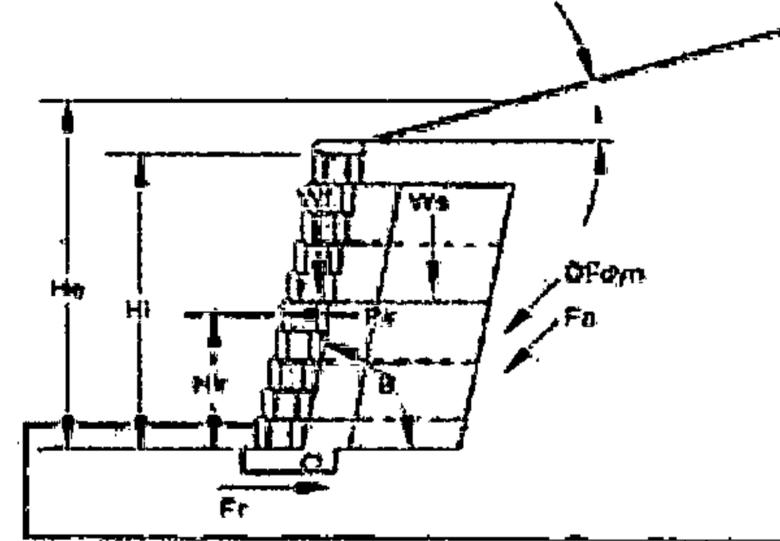
Project Name: Broadstone
 Location: Laguna Niguel, CA
 Wall Number: 1
 Project Number: 17013
 Designer: Jimmy Wang
 Date: 2/7/2017

Page #:

2

Wall Design Variables

A_o = Seismic Coefficient = 0.37
 d_1 = Allowable Lateral Deflection Internal = 3 in
 d_2 = Allowable Lateral Deflection External = 3 in
 K_{aei} = Dynamic Earth Pressure Coefficient Infill = 0.37
 K_{aer} = Dynamic Earth Pressure Coefficient Retained = 0.55
 K_{hi} = Horizontal Seismic Coefficient Internal = 0.16
 K_{hr} = Horizontal Seismic Coefficient Retained = 0.16
 DF_{dyn} = Dynamic Earth Force = 457.09
 DF_{dynh} = Dynamic Earth Force Horizontal = 444.77
 DF_{dynv} = Dynamic Earth Force Vertical = 105.41
 P_{ir} = Seismic Internal Force = 510.59 plf
 H_{ir} = Seismic Internal Force Location = 3.49 ft



Internal Design Calculations (Seismic)

Section: 1

Geogrid Number	Geogrid Elevation ft	Geogrid Length ft	Tensile Force plf	Allowable Load plf	Factor Safety Overstress	Factor Safety Pullout Block	Factor Safety Pullout Soil	Efficiency
5A	282.12	7	177.27	3034.85	18.83	10.86	1.83	5.84
4A	280.85	7	175.55	3034.85	19.02	11.73	4.8	5.78
3A	279.58	7	221.44	3034.85	15.08	9.91	7.03	7.3
2A	278.31	7	267.33	3034.85	12.49	8.71	9.23	8.81
1A	277.03	7	313.22	3034.85	10.66	7.87	11.41	10.32

Geogrid Legend

A - Miragrid 3XT
 B - Miragrid 5XT
 C - Miragrid 7XT
 Min. Length of Geogrid: 7 ft



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Project Name: Broadstone
 Location: Laguna Niguel, CA
 Wall Number: 1
 Project Number: 17013
 Designer: Jimmy Wang
 Date: 2/7/2017

Page #:

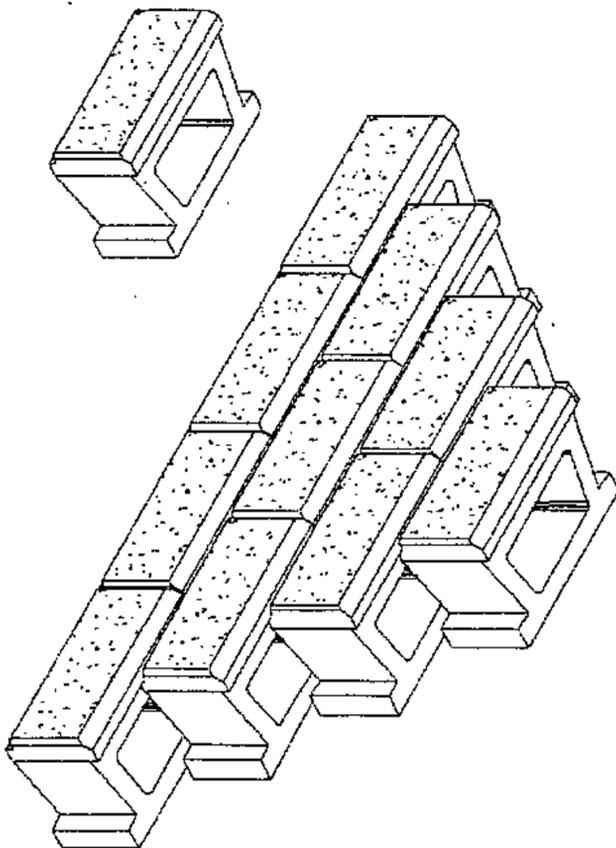
3

Broadstone

Laguna Niguel, CA

Page Index

- 1 Section View External Calculations
- Section View Internal Calculations

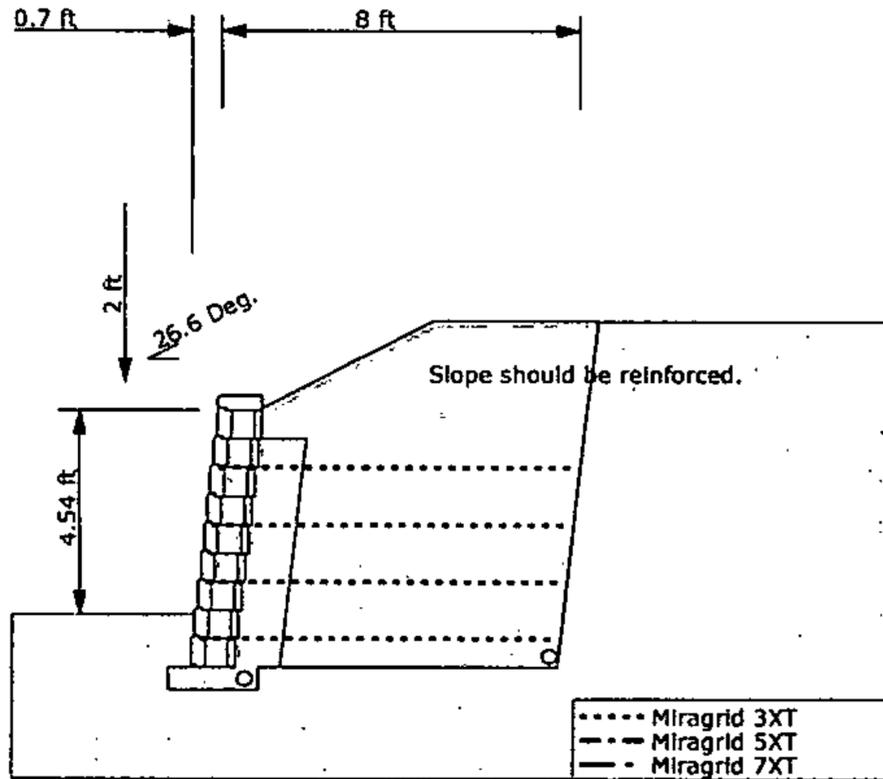


AB Classic

Project Name: Broadstone
Location: Laguna Niguel, CA
Wall Number: 2
Project Number: 17013
Designer: Jimmy Wang
Date: 05/22/2017

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Santa Ana, California 92705
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Section 1 of 2
Section 0 ft - 6.6 ft

Base Information:
Base Width: 2 ft
Base Depth: 0.5 ft
Base From Toe: 0.5 ft

Geogrid Information:
4 x Miragrid 3XT @ 8 ft
Number Of Geogrid 4

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MathCAD files for hand calculations to support the software's consideration of internal, external and internal compound stability of the reinforced composite mass are provided on the software disc. These files are to be configured so that the engineer of record can evaluate the output of the software. Individual equations may be altered at the discretion of the engineer of record.

Wall Design Variables
AB Classic Section Height 6.35 ft Total Panel Height 5.72 ft Block Height 0.635 ft Angle of Setback 6 Deg. Depth of Block 0.99 ft Length of Block 1.47 ft
Safety Factors Static External Actual Sliding 2.94 \geq 1.5 Actual Overturning 15.28 \geq 2
Safety Factors Seismic External Seismic Coefficient = 0.37 Actual Sliding 1.59 \geq 1.125 Actual Overturning 7.22 \geq 1.5
Infill Soil Friction Angle 30 Deg. Unit WT 120 pcf
Retained Soil Friction Angle 30 Deg. Unit WT 120 pcf
Foundation Soil Friction Angle 20 Deg. Unit WT 120 pcf Cohesion 100 psf
Bearing Capacity Factor of Safety 3.66 Sigma_ult - 3119.51 psf Sigma_max - 852.73 psf
Internal Compound Stability Factor of Safety 2.42 Course Number 8
Wall Rock Requirements Variable Depth Height Depth Bottom 5.08 ft 1 ft



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Santa Ana, California 92705
(888) 220-5596
www.abiconsultants.com

Project Name: Broadstone
Location: Laguna Niguel, CA
Wall Number: 2
Project Number: 17013
Designer: Jimmy Wang
Date: 05/22/2017

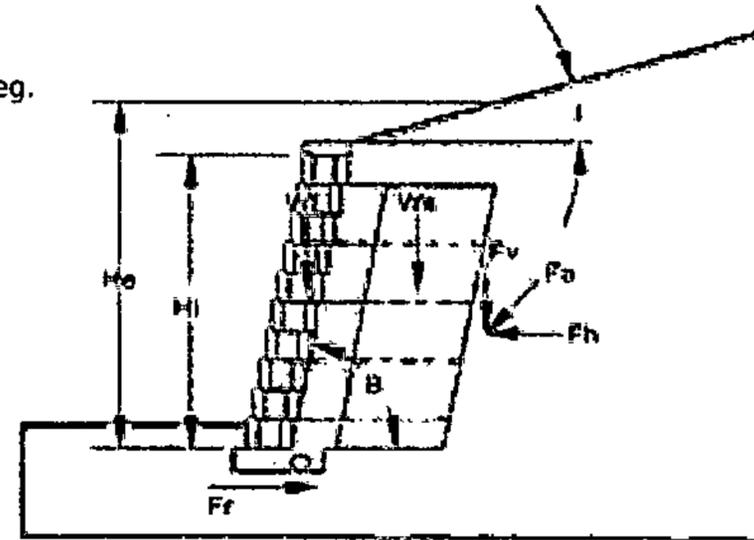
Page #:

1

Wall Design Variables

Kai = Active Earth Pressure Coefficient Infill = 0.285
 Kar = Active Earth Pressure Coefficient Retained = 0.252
 H = Wall Height = 5.72 ft
 He = Effective Height = 7.72 ft
 He_i = Effective Height = 6.59 ft
 i = Slope = 26.6 Deg.
 i_int = Effective Slope = 9.92 Deg.
 i_ext = Effective Slope = 0 Deg.

Setback = 90 - Beta Angle = 6.73 Deg.
 Wf = Weight of Facing = 730.32 plf
 Wt = Total Weight = 5666.32 plf
 Fa = Active Force = 900.84 plf
 Fav = Vertical Force = 308.11 plf
 Fah = Horizontal Force = 846.52 plf
 Fr = Resistance Force = 2488.67 plf



Internal Design Calculations (Static)

Section: 1

Geogrid Number	Geogrid Elevation ft	Geogrid Length ft	Tensile Force plf*	Allowable Load plf	Factor Safety Overstress	Factor Safety Pullout Block	Factor Safety Pullout Soil	Efficiency
4A	279.48	8	124.21	1332.67	16.09	15.49	8.91	9.32
3A	278.21	8	139.63	1332.67	14.32	14.75	13.6	10.48
2A	276.94	8	191.61	1332.67	10.43	11.45	14.98	14.38
1A	275.67	8	243.59	1332.67	8.21	9.56	16.36	18.28

Geogrid Legend

A - Miragrid 3XT
 B - Miragrid 5XT
 C - Miragrid 7XT
 Min. Length of Geogrid: 8 ft



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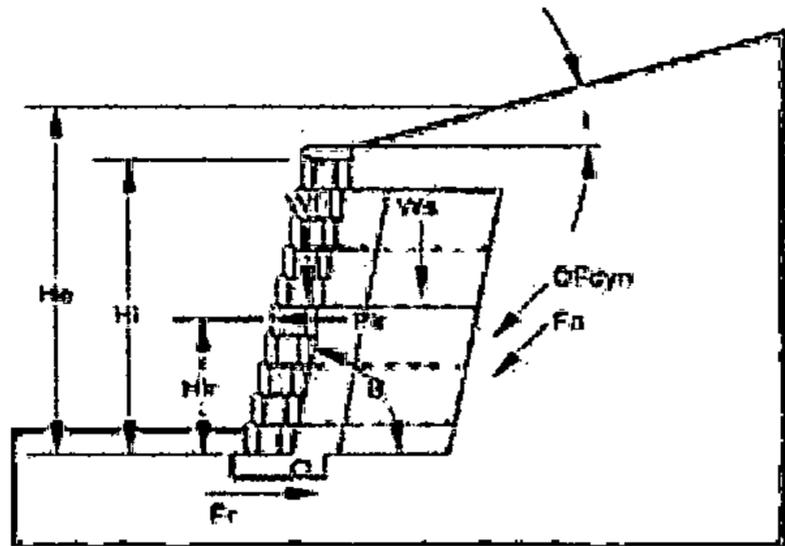
Project Name: Broadstone
 Location: Laguna Niguel, CA
 Wall Number: 2
 Project Number: 17013
 Designer: Jimmy Wang
 Date: 05/22/2017

Page #:

2

Wall Design Variables

A_0 = Seismic Coefficient = 0.37
 d_1 = Allowable Lateral Deflection Internal = 3 in
 d_2 = Allowable Lateral Deflection External = 3 in
 K_{aei} = Dynamic Earth Pressure Coefficient Infill = 0.44
 K_{hi} = Horizontal Seismic Coefficient Internal = 0.16
 K_{hr} = Horizontal Seismic Coefficient Retained = 0.16
 P_{ae} = Dynamic Earth Force = 409.93
 P_{ae_h} = Dynamic Earth Force Horizontal = 385.21
 P_{ae_v} = Dynamic Earth Force Vertical = 140.21
 P_{ir} = Seismic Internal Force = 367.54 plf
 H_{ir} = Seismic Internal Force Location = 3.04 ft
 *Trapezoidal Wedge Method

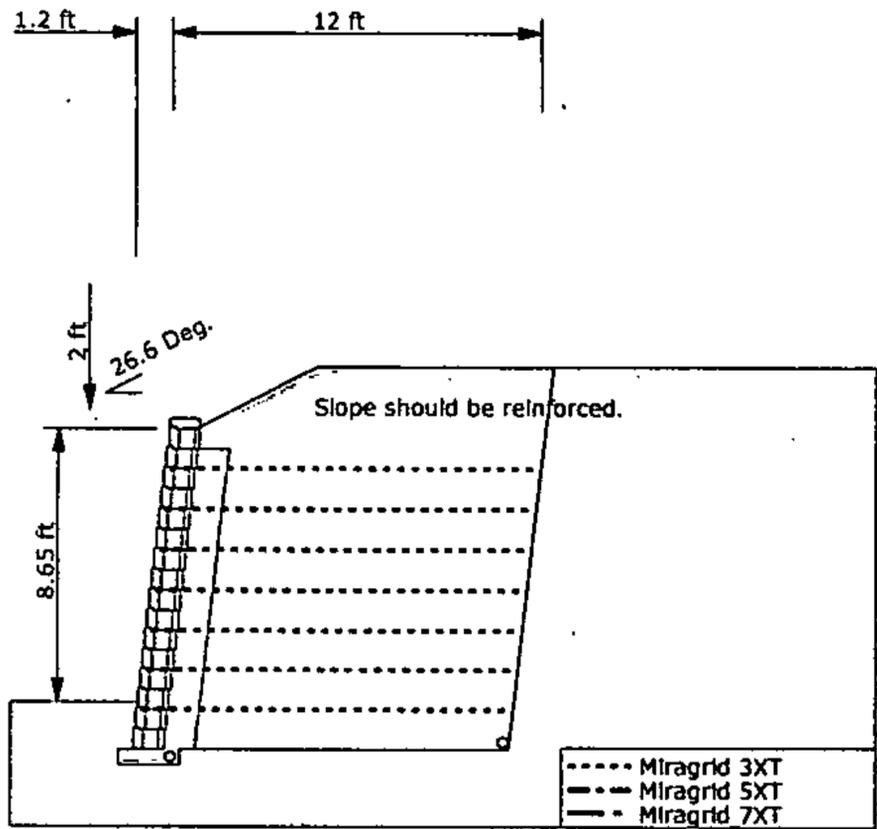


Internal Design Calculations (Seismic)

Section: 1

Geogrid Number	Geogrid Elevation ft	Geogrid Length ft	Tensile Force plf*	Allowable Load plf	Factor Safety Overstress	Factor Safety Pullout Block	Factor Safety Pullout Soil	Efficiency
4A	279.48	8	345.14	3034.85	9.67	5.58	1.62	11.37
3A	278.21	8	240.69	3034.85	13.87	8.56	5.48	7.93
2A	276.94	8	292.67	3034.85	11.41	7.5	8.17	9.64
1A	275.67	8	344.65	3034.85	9.69	6.76	10.98	11.36

Geogrid Legend
 A - Miragrid 3XT
 B - Miragrid 5XT
 C - Miragrid 7XT
 Min. Length of Geogrid: 8 ft



Section 2 of 2
Section 6.6 ft - 14 ft

Base Information:
Base Width: 2 ft
Base Depth: 0.5 ft
Base From Toe: 0.5 ft

Geogrid Information:
7 x Miragrid 3XT @ 12 ft
Number Of Geogrid 7

Wall Design Variables
AB Classic Section Height 10.17 ft Total Panel Height 10.17 ft Block Height 0.635 ft Angle of Setback 6 Deg. Depth of Block 0.99 ft Length of Block 1.47 ft
Safety Factors Static External Actual Sliding 2.95 >= 1.5 Actual Overturning 14.39 >= 2
Safety Factors Seismic External Seismic Coefficient = 0.37 Actual Sliding 1.51 >= 1.125 Actual Overturning 6.15 >= 1.5
Infill Soil Friction Angle 30 Deg. Unit WT 120 pcf
Retained Soil Friction Angle 30 Deg. Unit WT 120 pcf
Foundation Soil Friction Angle 20 Deg. Unit WT 120 pcf Cohesion 100 psf
Bearing Capacity Factor of Safety 2.36 Sigma_ult - 3378.12 psf Sigma_max - 1429.08 psf
Internal Compound Stability ics not calculated
Wall Rock Requirements Variable Depth Height Depth Bottom 9.53 ft 1 ft



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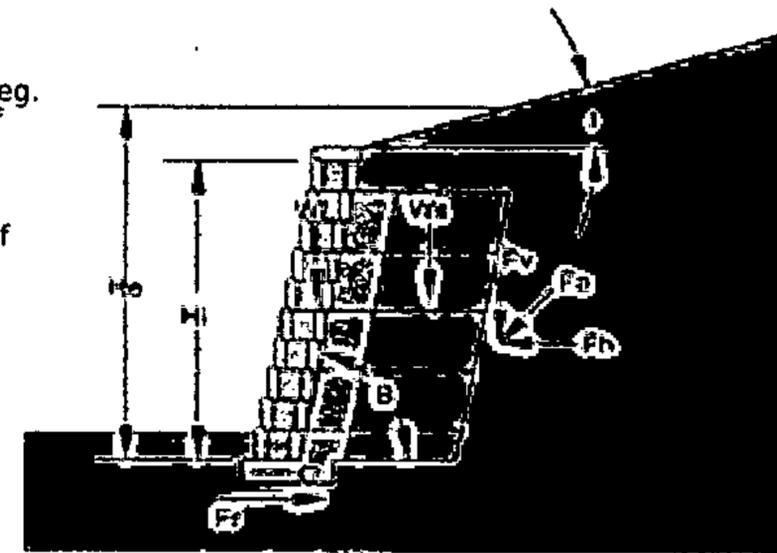
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Project Name: Broadstone
Location: Laguna Niguel, CA
Wall Number: 2
Project Number: 17013
Designer: Jimmy Wang
Date: 05/22/2017

Wall Design Variables

Kai = Active Earth Pressure Coefficient Infill = 0.269
 Kar = Active Earth Pressure Coefficient Retained = 0.252
 H = Wall Height = 10.17 ft
 He = Effective Height = 12.17 ft
 He_j = Effective Height = 11.09 ft
 i = Slope = 26.6 Deg.
 i_int = Effective Slope = 5.62 Deg.
 i_ext = Effective Slope = 0 Deg.

Setback = 90 - Beta Angle = 6.73 Deg.
 Wf = Weight of Facing = 1298.35 plf
 Wt = Total Weight = 14953.33 plf
 Fa = Active Force = 2238.19 plf
 Fav = Vertical Force = 765.51 plf
 Fah = Horizontal Force = 2103.21 plf
 Fr = Resistance Force = 6210.04 plf



Internal Design Calculations (Static)

Section: 2

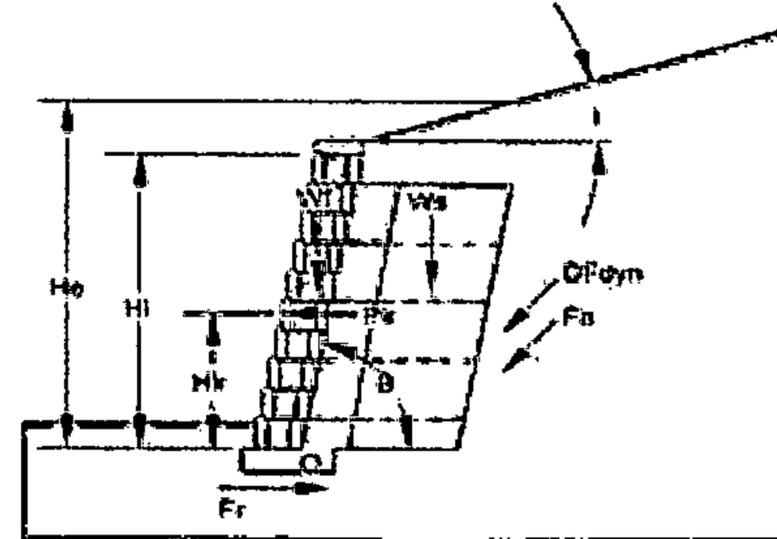
Geogrid Number	Geogrid Elevation ft	Geogrid Length ft	Tensile Force plf*	Allowable Load plf	Factor Safety Overstress	Factor Safety Pullout Block	Factor Safety Pullout Soil	Efficiency
7A	279.48	12	121.87	1332.67	16.4	15.79	13.99	9.14
6A	278.21	12	133.81	1332.67	14.94	15.39	19.72	10.04
5A	276.94	12	182.83	1332.67	10.93	12	20.81	13.72
4A	275.67	12	231.84	1332.67	8.62	10.05	22.28	17.4
3A	274.4	12	280.86	1332.67	7.12	8.77	23.74	21.07
2A	273.13	12	329.87	1332.67	6.06	7.88	25.21	24.75
1A	271.85	12	586.72	1332.67	3.41	4.66	17.23	44.03

Geogrid Legend

A - Miragrid 3XT
 B - Miragrid 5XT
 C - Miragrid 7XT
 Min. Length of Geogrid: 12 ft

Wall Design Variables

A_o = Seismic Coefficient = 0.37
 d_1 = Allowable Lateral Deflection Internal = 3 in
 d_2 = Allowable Lateral Deflection External = 3 in
 K_{aei} = Dynamic Earth Pressure Coefficient Infill = 0.4
 K_{hi} = Horizontal Seismic Coefficient Internal = 0.16
 K_{hr} = Horizontal Seismic Coefficient Retained = 0.16
 P_{ae} = Dynamic Earth Force = 1018.5
 P_{ae_h} = Dynamic Earth Force Horizontal = 957.07
 P_{ae_v} = Dynamic Earth Force Vertical = 348.35
 P_{ir} = Seismic Internal Force = 1146.26 plf
 H_{ir} = Seismic Internal Force Location = 5.53 ft
 *Trapezoidal Wedge Method



Internal Design Calculations (Seismic)

Section: 2

Geogrid Number	Geogrid Elevation ft	Geogrid Length ft	Tensile Force plf*	Allowable Load plf	Factor Safety Overstress	Factor Safety Pullout Block	Factor Safety Pullout Soil	Efficiency
7A	279.48	12	419.62	3034.85	7.96	4.59	1.12	13.83
6A	278.21	12	267.33	3034.85	12.49	7.7	4.39	8.81
5A	276.94	12	316.35	3034.85	10.55	6.94	6.93	10.42
4A	275.67	12	365.36	3034.85	9.14	6.37	9.66	12.04
3A	274.4	12	414.38	3034.85	8.06	5.95	12.51	13.65
2A	273.13	12	463.4	3034.85	7.2	5.61	15.44	15.27
1A	271.85	12	787	3034.85	4.24	3.47	12	25.93

Geogrid Legend

A - Miragrid 3XT
 B - Miragrid 5XT
 C - Miragrid 7XT
 Min. Length of Geogrid: 12 ft



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Project Name: Broadstone
 Location: Laguna Niguel, CA
 Wall Number: 2
 Project Number: 17013
 Designer: Jimmy Wang
 Date: 05/22/2017

Page #:

6

Cyndee Wilcox

From: Steve Ahuna <steveahuna@caaprofessionals.com>
Sent: Tuesday, August 29, 2017 9:27 AM
To: Cyndee Wilcox
Subject: Re: B17-1205 26033 CAPE DR

Cyndee yes revised calculations are okay.

Thanks.

Do you want me to stamp/sign cover sheet of calculations or can you do that for me?

Steve

On Tue, Aug 29, 2017 at 9:20 AM, Cyndee Wilcox <CWilcox@cityoflagunaniguel.org> wrote:

Hello Steve,

As I was getting these ready for permit issuance, I noticed we had new calcs in the file. Can you please check the new against the old, if you need me to send the plans I will.

GMU has approved these plans as well.

Thank you,

**Cyndee Wilcox, Permit Technician
Department of Building and Safety**

**Community Development
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677
949-362-4070**



Planning Division - Plan Check Routing Sheet

Plan Check #: B17-1205
 Project Address: 26033 CAPE DR

Project Description: Permit to install an Allan block segmental wall at Crown Valley Pkwy retaining wall for Cavora. Field verify for code compliance.

	SUBMITTED	DUE	CORRECTION(S)	APPROVED	INITIAL
1st Check :	06/06/17	06/20/17		6/20/17	[Signature]
2nd Check:					
3rd Check:					
4th Check:					

___ School Fees Payment or Exemption Letter Received, Date: _____
 ___ HOA Approval Received
 ___ Discretionary Application #(s), if applicable _____

APPROVAL NOTE:
~~SHALL FIRST TO BE APPROVED BY COMMUNITY DEVELOPER~~
 ALLAN BLOCK WALLS ONLY. LANDSCAPING & WALL FINISH FOR EXISTING
 RETAINING WALL TO BE APPROVED SEPARATELY OR LANDSCAPE PLANS.

**RETURN THIS SHEET WITH ORIGINAL AND REVISED PLANS
 WHEN ALL CORRECTIONS HAVE BEEN MADE.**



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: B17-1205

DATE: July 27, 2017

PROJECT DESCRIPTION: Allan Block Retaining Wall Construction

LOCATION: 26033 Cape Drive

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated July 3, 2017, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated July 24, 2017; (2) Allan Block Segmental Wall Design Calculations, Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated July 21, 2017; (3) Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated July 21, 2017.

PREVIOUSLY REVIEWED: Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated May 22, 2017.

REFERENCES: See Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENTS.*
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Ted Halsey, Kelli Fitzgerald, Cyndee Wilcox, Catherine Tuper, City of Laguna Niguel (email)
David Albus, Patrick Keefe, Albus-Keef, Inc. (email)
Mark Wilson, Alliance Residential (email)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: B17-1205

DATE: July 27, 2017

COMMENTS

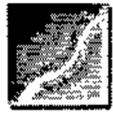
1. The geotechnical consultant shall review, approve, and sign/"review stamp" the final plans and calculations.

REVIEWED BY:

Lisa L. Bates, PG, CEG 2293
Associate Geologist

Gregory P. Silver, M.Sc., PE, GE 2336
Principal Geotechnical Engineer

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (9) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.



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FEE SHEET

ATTENTION: Building Department, City of Laguna Niguel

REFERENCE NO.: B17-1205

PROJECT ADDRESS: 26033 Cape Drive

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated May 22, 2017.	7/3/17	NOT APPROVED	\$ 287.00
(1) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated July 3, 2017, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated July 24, 2017; (2) Allan Block Segmental Wall Design Calculations, Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated July 21, 2017; (3) Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated July 21, 2017.	7/27/17	CONDITIONALLY APPROVED	\$ 519.00

Handwritten notes:
 A large diagonal line is drawn across the bottom of the table.
 A circled 'C' is written to the left of the line.
 The initials 'WJ' are written above the line.
 The date '7/28/17' is written below the line.



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
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GEOTECHNICAL REVIEW SHEET

Reviewed by:

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23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
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Page 1

REFERENCE NO.: B17-1205

DATE: July 3, 2017

PROJECT DESCRIPTION: Allan Block Retaining Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated May 22, 2017.

REFERENCES: See Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS.*
Please send responses directly to the City of Laguna Niguel, Building Department.
GMU Geotechnical can only accept responses forwarded from the City.

DISTRIBUTION: Ted Halsey, Kelli Fitzgerald, Cyndee Wilcox, Catherine Tuper, City of Laguna Niguel (email)
David Albus, Patrick Keefe, Albus-Keef, Inc. (email)
Alliance Residential (email)



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Page 2

REFERENCE NO.: B17-1205

DATE: July 3, 2017

COMMENTS

1. The geotechnical consultant shall review the plans and provide a plan review letter for submittal. (*Note: Previous geotechnical reports for this project do not include recommendations for this type of retaining wall.*)

REVIEWED BY:

Lisa L. Bates, PG, CEG 2293
Associate Geologist

Gregory P. Silver, M.Sc., PE, GE 2336
Principal Geotechnical Engineer

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (9) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.



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FEE SHEET

ATTENTION: Building Department, City of Laguna Niguel

REFERENCE NO.: B17-1205

PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated May 22, 2017.	7/3/17	NOT APPROVED	\$ 287.00

D. West
7/5/17



CAA - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B17-1205
Project Address: 26033 CAPE DR
Valuation: 30000
Project Description: *Permit to install an Allan block segmental wall at Crown Valley Pkwy retaining wall for Cavora. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	06/06/17	06/20/17		6-15-17	sa
2nd Check:					
3rd Check:					
4th Check:					

Comments:

PENDING APPROVAL FROM SOILS ENGR.

Final Approval By: _____ **Date:** _____

Attached is:

- ___ Set of Plans
- ___ Set of Structural Calculations
- ___ Soil Report
- ___ Title 24 Energy Calculations
- ___ Set of ES Reports
- ___ Plan Check Correction List



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

July 24, 2017
J.N.: 2176.00

Mr. Mark Wilson
Alliance Residential
450 Newport Center Drive, Suite 550
Newport Beach, California 92660

RECEIVED

JUL 25 2017

**CITY OF LAGUNA NIGUEL
COMMUNITY DEVELOPMENT**

B17-1205

Subject: Response to City of Laguna Niguel's Review Sheet dated July 3, 2017, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California

References: Albus-Keeffe & Associates, 2014, *Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California*, dated May 15, 2014 (J.N. 2176.00)

ABI Engineering Consultants, Inc., *Allan Block Retaining Wall Plan, for Broadstone Laguna Niguel, Laguna Niguel Crossing Site, Laguna Niguel, California*, dated July 21, 2017

Dear Mr. Wilson,

Albus-Keeffe & Associates, Inc. is pleased to present to you our response to the comments presented in the review sheet by the city of Laguna Niguel dated July 3, 2017. A copy of the review sheet is attached herein for reference.

Item 1:

We have reviewed the referenced segmental wall plans and associated engineering calculations. Based on our review of the plans and the data contained in our referenced report, design of the walls may utilize the parameters summarized below. We conclude the proposed walls will be globally stable and are in conformance with our recommendations.

	Reinforced Soil (Imported Soil)	Retained Soil	Foundation Soil
Internal Friction Angle, Φ°	30	20	20
Cohesion, C (psf)	0	0	0
Soil Unit Weight, γ (pcf)	120	120	120

A representative of this firm should observe the construction of the walls as well as provide appropriate field and laboratory testing to verify compliance with the plans and our recommendations.

Closing

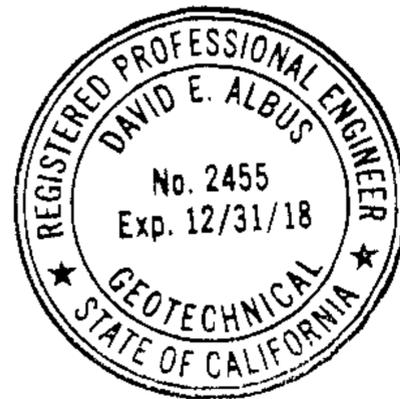
We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
GE 2455



Enclosure:

City of Laguna Niguel Geotechnical Review Sheet



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 1

REFERENCE NO.: B17-1205

DATE: July 3, 2017

PROJECT DESCRIPTION: Allan Block Retaining Wall Construction

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: Allan Block Retaining Wall Plan for Broadstone Laguna Niguel, prepared by ABI Engineering Consultants, Inc., dated May 22, 2017.

REFERENCES: See Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS.*
Please send responses directly to the City of Laguna Niguel, Building Department.
GMU Geotechnical can only accept responses forwarded from the City.

DISTRIBUTION: Ted Halsey, Kelli Fitzgerald, Cyndee Wilcox, Catherine Tuper, City of Laguna Niguel (email)
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Page 2

REFERENCE NO.: B17-1205

DATE: July 3, 2017

COMMENTS

1. The geotechnical consultant shall review the plans and provide a plan review letter for submittal. *(Note: Previous geotechnical reports for this project do not include recommendations for this type of retaining wall.)*

REVIEWED BY:

Lisa L. Bates, PG, CEG 2293
Associate Geologist

Gregory P. Silver, M.Sc., PE, GE 2336
Principal Geotechnical Engineer

REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (5) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (6) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (7) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (8) Retaining Wall Design Analysis, Alliance Residential Company, Broadstone Laguna Niguel, 27742 Forbes Road, Laguna Niguel, California; prepared by KHR Associates, dated June 17, 2015; (9) Alliance Residential Company, Broadstone Laguna Niguel, Retaining Wall Plans, Forbes Road and Getty Drive, Laguna Niguel, California; prepared by KHR Associates, dated June 19, 2015.



Cash Register Receipt
City of Laguna Niguel

Receipt Number
R17-1839

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$758.11
B17-1205 Address: 26033 CAPE DR Apn: 63603403 Type: RESIDENTIAL Subtype: RALT Description: Retaining wall off Crown Valley. "Cavora"			\$758.11
BUILDING			\$457.21
CBSC FEE			\$2.00
PLAN CHECK			\$298.90
TOTAL FEES PAID BY RECEIPT:R17-1839			\$758.11

Date Paid: Tuesday, July 11, 2017

Paid By: BROADSTONE LAGUNA NIGUEL LLC

Payee Address: 450 NEWPORT CENTER DRIVE, STE 550 NEWPORT BEACH, CA 92660

Cashier: CWIL

Pay Method: CHECK 3324





ABDULLAH - Plan Check Routing Sheet

(please return this form & all plans with your next submittal)

Plan Check #: B17-1205
Project Address: 26033 CAPE DR
Valuation: 30000
Project Description: *Permit to install an Allan block segmental wall at Crown Valley Pkwy retaining wall for Cavora. Field verify for code compliance.*

	SUBMITTED	DUE	CORRECTION	CLEARED	P/C INITIAL
1st Check :	06/26/17	ASAP			
2nd Check:					
3rd Check:					
4th Check:					

Comments:

Please send plan & calculation to GMU.
AS

Final Approval By: _____ **Date:** _____

Attached is:

- Set of Plans
- Set of Structural Calculations
- Soil Report
- Title 24 Energy Calculations
- Set of ES Reports
- Plan Check Correction List

CONTROL SHEET

CHECK LIST FOR APPROVALS REQUIRED FOR PERMIT ISSUANCE

The following departments and agencies must approve the project in order to obtain a building permit.

PLAN REVIEW NO. B17-1205 ADDRESS: 26033 CAPE DR.

Reviewing Agency/Required Reviews	Required	Approved
1. Non-Structural/Architectural	<u>per Tied CAA only</u>	
2. Structural	<u>ct</u>	<u>SA @ 1/5/17</u>
3. MEP's		
4. Planning	<u>ct</u>	
5. Public Works./Encroachment	<u>aw</u>	
6. City Grading/Engineer		
7. Geotechnical/GMU	<u>ct</u>	<u>7/27 GMU</u>
8. Moulton Niguel Water District		
9. Orange County Fire Authority		
10. Environmental Health		
11. AQMD		

DOCUMENTS REQUIRED PRIOR TO ISSUANCE OF PERMIT/INSPECTIONS REQUIRED

1. Asbestos Clearance	_____	_____
2. Lead	_____	_____
3. Encroachment Permit	_____	_____
4. Grading Permit (pool demo's)	_____	_____
5. Grading Release (new construction)	_____	_____
6. OCFA Commercial TI Questionnaire	_____	_____
7. OCFA SFR Questionnaire	_____	_____
8. Business Ownership form #127 (CofO pkt)	_____	_____
9. Water District Will Serve Letter	_____	_____
10. Pool Pre-site	_____	_____
11. Landscape	_____	_____
12. Water Quality / NPDES	_____	_____

FEES AND MISCELLANEOUS

1. Transportation Corridor Fees	_____	_____
2. School Fees	_____	_____
3. Planning	_____	_____
4. GMU Fees	<u>ct</u>	_____
5. Recycling Deposit	_____	_____
6. Other _____	_____	_____

SPECIAL CONDITIONS/COMMENTS: _____

Contact Person: _____

Phone Number/email _____